

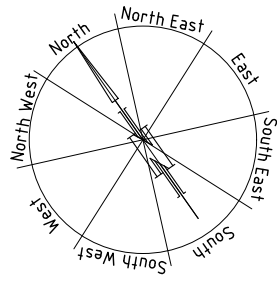
DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-26-125
PROPOSED DEVELOPMENT:	First Floor Addition to an Existing Dwelling
LOCATION:	19A Milton Crescent, Moonah
APPLICANT:	Taylor and Beeson Building
ADVERTISING START DATE:	03/07/2026
ADVERTISING EXPIRY DATE:	17/07/2026

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **17/07/2026**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **17/07/2026**, or for postal and hand delivered representations, by 5.00 pm on **17/07/2026**.



CONTENTS

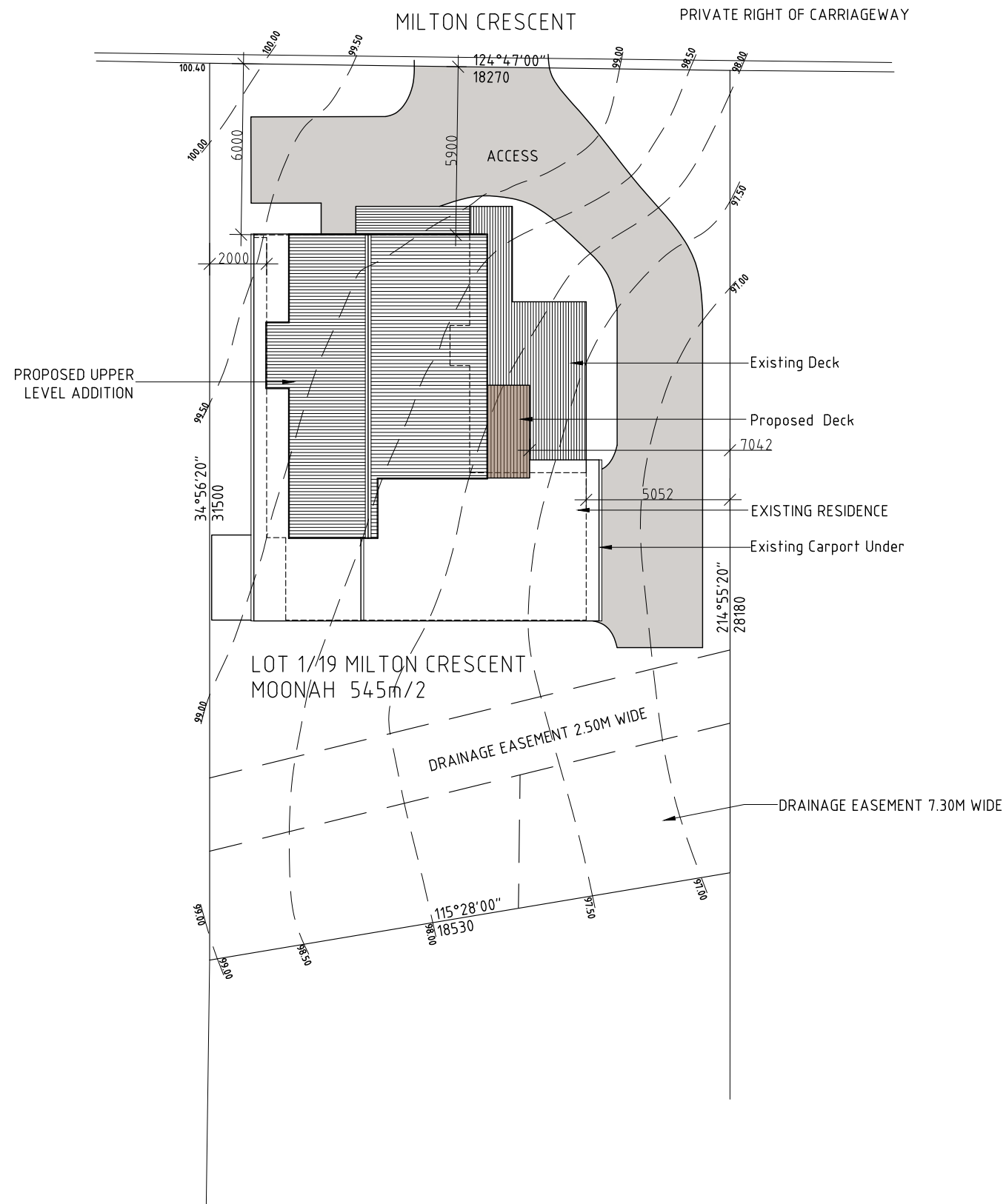
1. Site Plan
2. Existing Plan
3. Existing Elevations
4. Plan
5. Plan
6. Elevations
7. Elevations
8. Reflected Ceiling Plan
9. Glazing Schedules
10. Stormwater Concept Plan
11. Plumbing Notes
12. Plumbing Details

Planning scheme overlays:
 Zone: General Residential
 Flood Prone Hazard area.

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 PLANNING SERVICES**

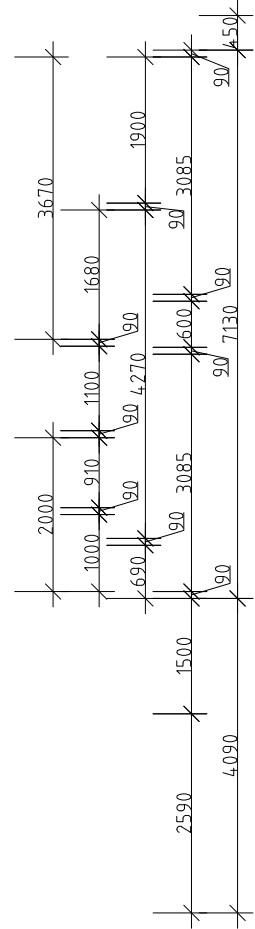
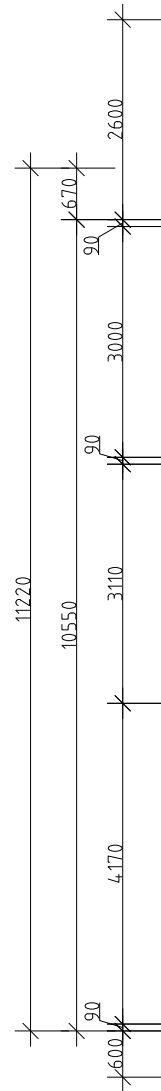
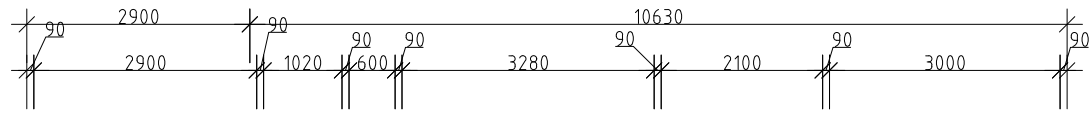
APPLICATION No. : PLN-26-125

DATE RECEIVED: 27/06/2026

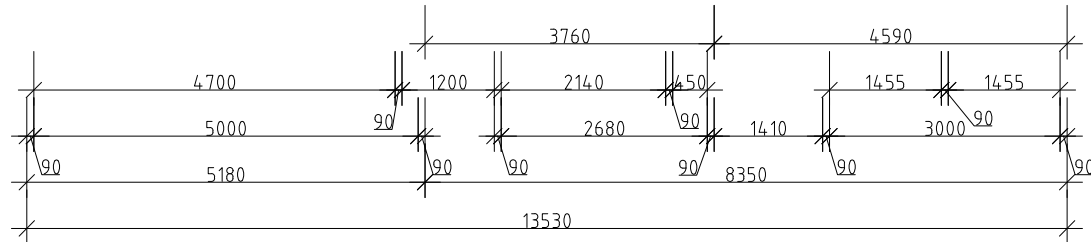


**DEVELOPMENT DRAWINGS ONLY
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PROPOSED ADDITION FOR TAYLOR AND BEESON BUILDING PTY LTD AT 19A MILTON STREET MOONAH 7009	SITE PLAN	DATE 24/06/2026	DRAWN BY G. Tilley email: gtilley7@gmail.com phone ph 0400 671 582
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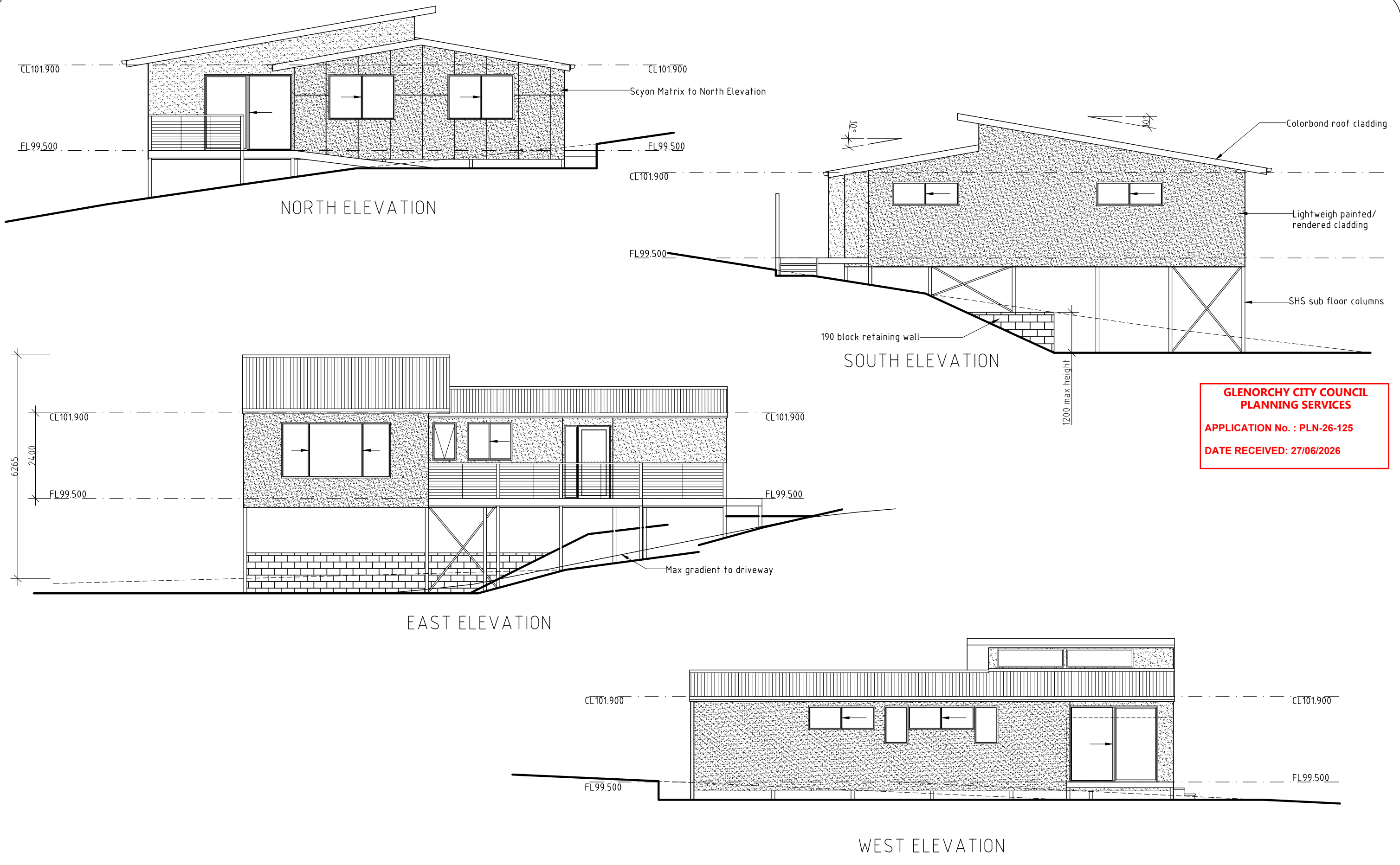
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APPLICATION No. : PLN-26-125
DATE RECEIVED: 27/06/2026



AREAS	
Ex. Residence	114.73m ²
Ex. Decks	32.44m ²

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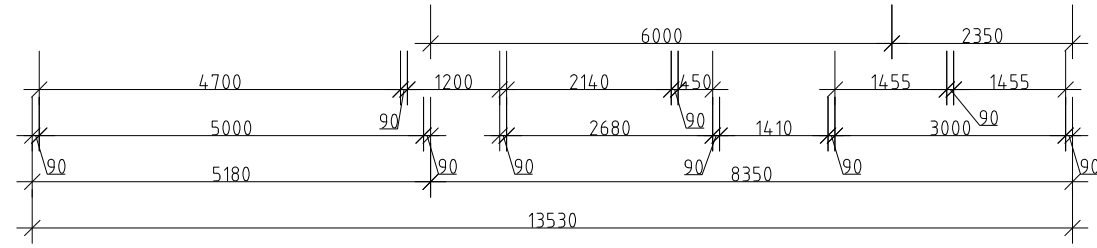
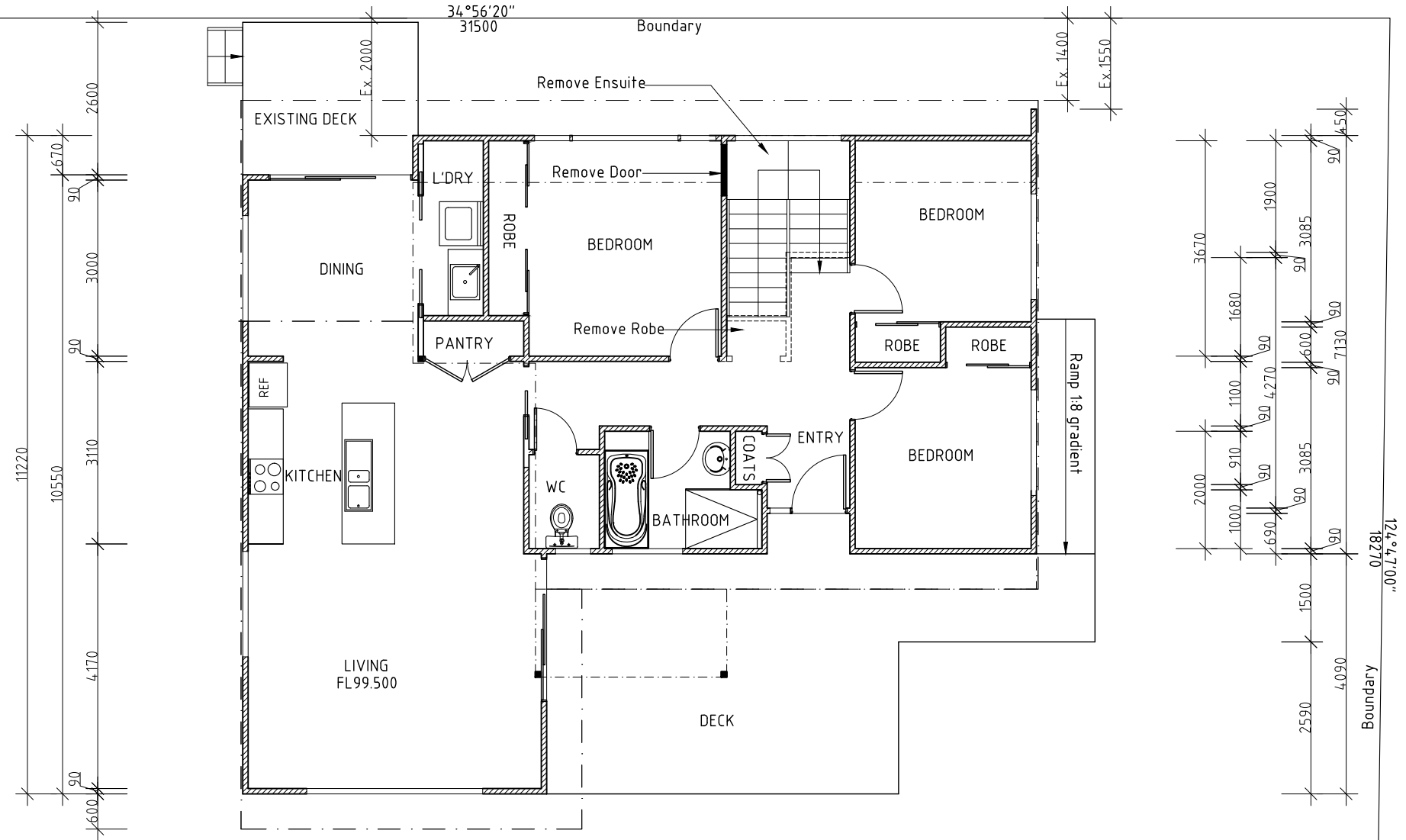
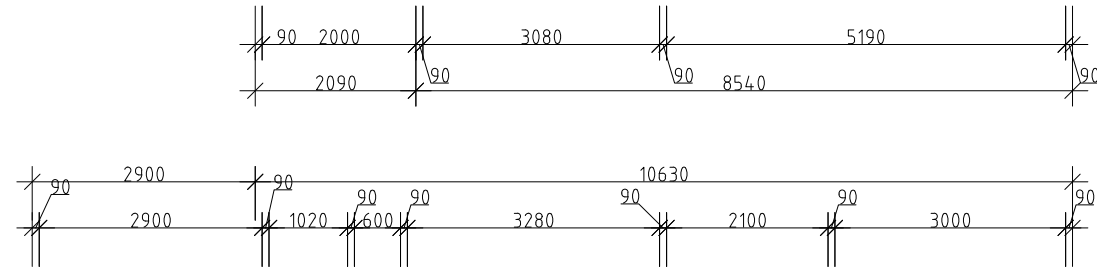
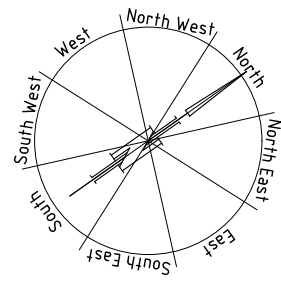
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	SCALE 1:100 0 1000 2000	AMENDED	DRAWING NO. 02 OF 12
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PROPOSED ADDITION FOR TAYLOR AND BEESON BUILDING PTY LTD AT 19A MILTON STREET MOONAH 7009	EXISTING ELEVATIONS	DATE 24/06/2026	DRAWN BY G. Tilley email: gtilley7@gmail.com phone ph 0400 671 582
	SCALE: 1:100 	AMENDED	Certified: G. Tilley Accreditation No. CC620H © copyright 2026 5126
		DRAWING NO. 03 OF 12	



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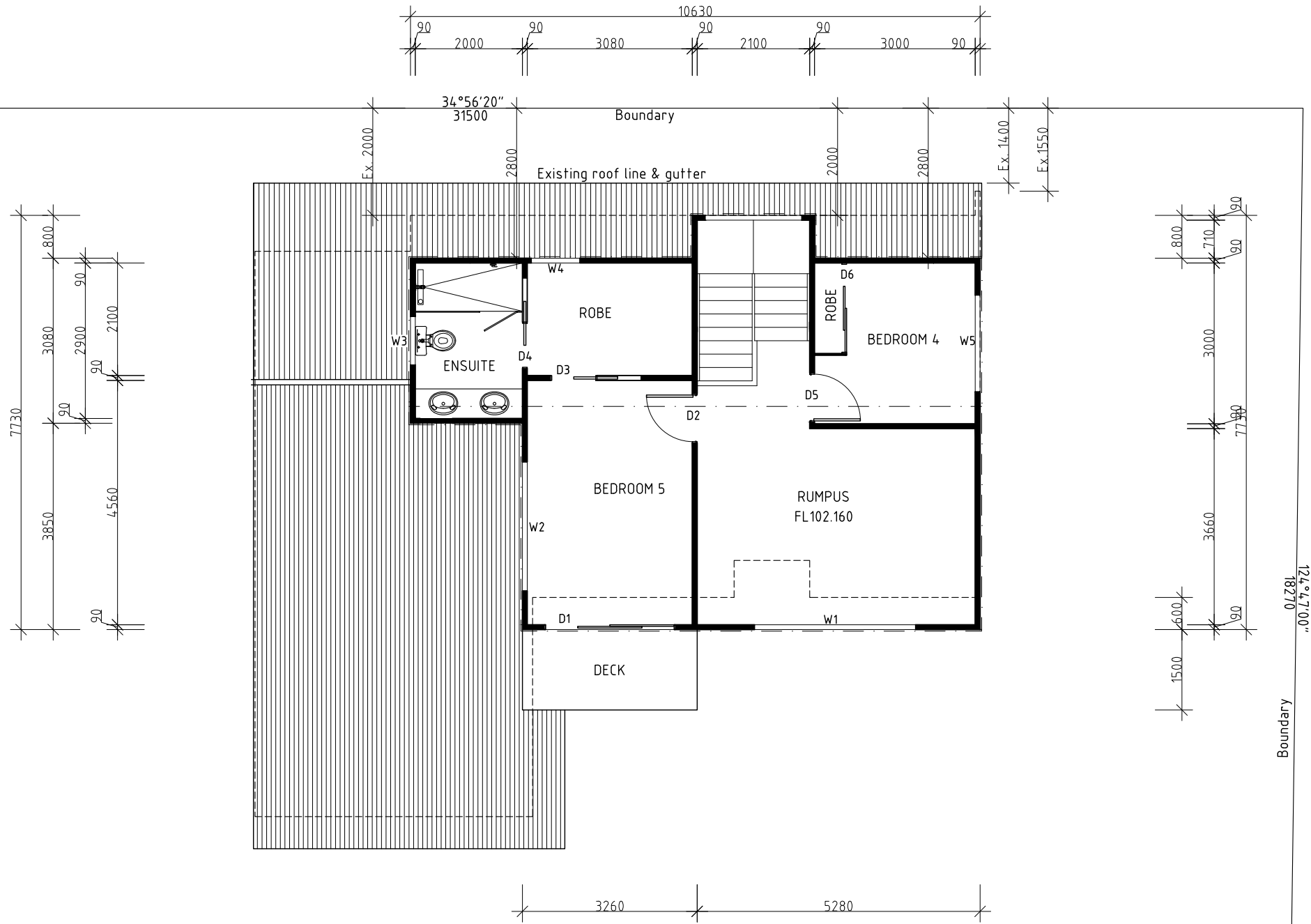
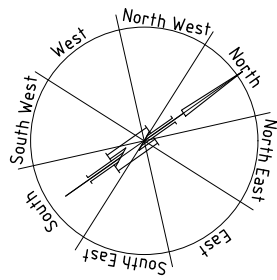
MILTON CRESCENT

----- Removed
 - - - - - Existing
 _____ Proposed

AREAS	
Ex. Residence	114.73m ²
Ex. Decks	32.44m ²
Proposed Deck	4.89m ²
Proposed addition	67.44m ²
Proposed residence	182.17m ²

**DEVELOPMENT DRAWINGS ONLY
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PROPOSED ADDITION FOR TAYLOR AND BEESON BUILDING PTY LTD AT 19A MILTON STREET MOONAH 7009	PLAN	DATE 24/06/2026	DRAWN BY G. Tilley email: gtilley7@gmail.com phone ph 0400 671 582
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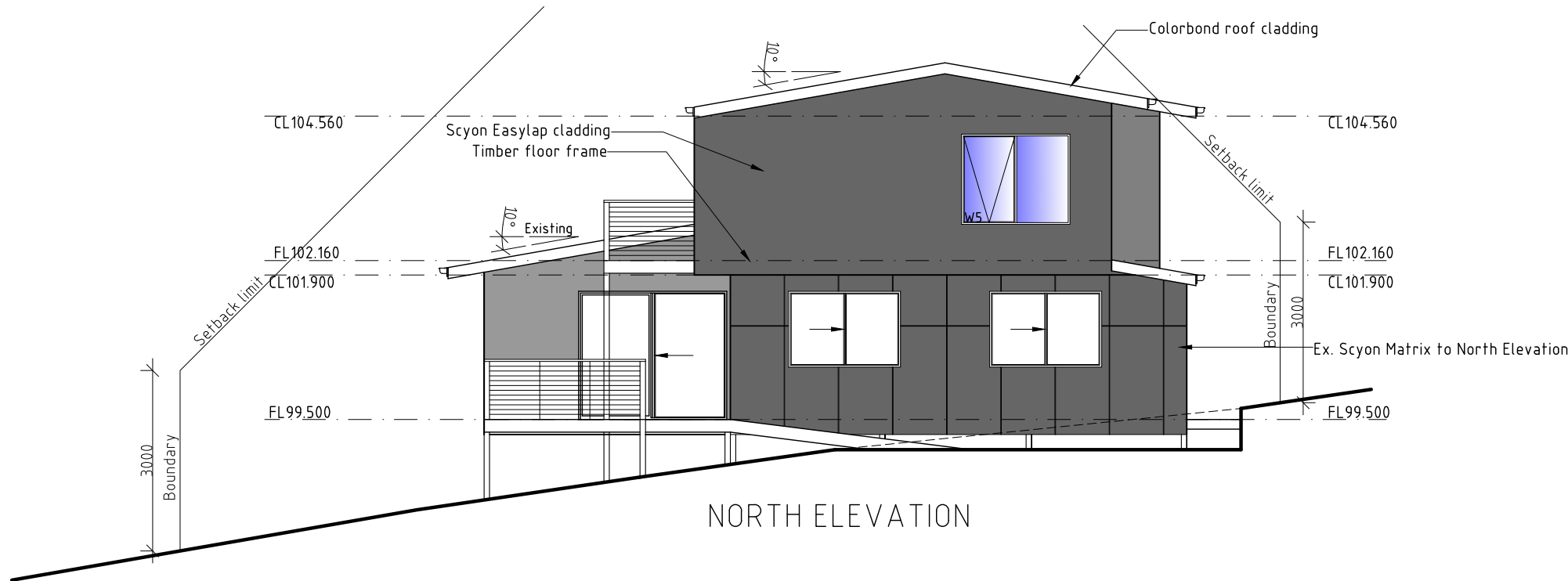
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MILTON CRESCENT

AREAS	
Ex. Residence	114.73m ²
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Proposed Deck	4.89m ²
Proposed addition	67.44m ²
Proposed residence	182.17m ²

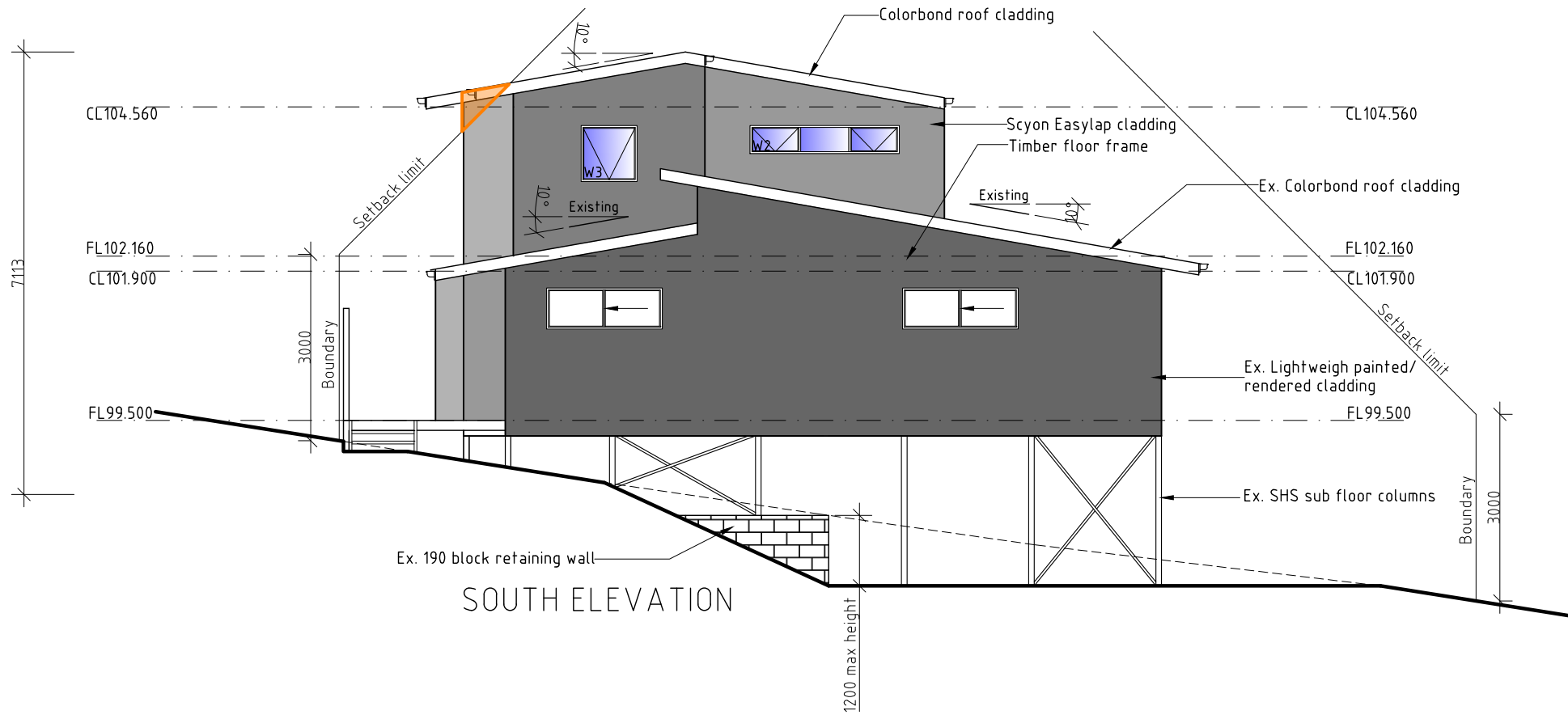
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NORTH ELEVATION

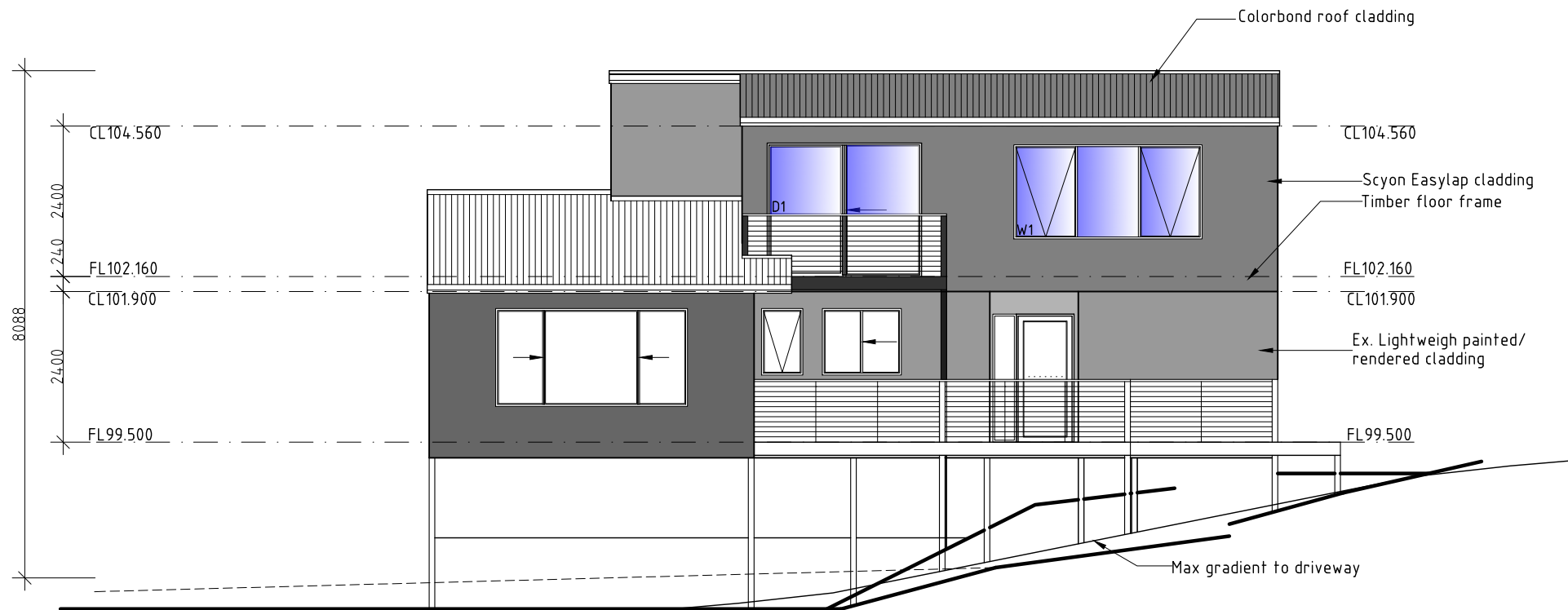
**GLENORCHY CITY COUNCIL
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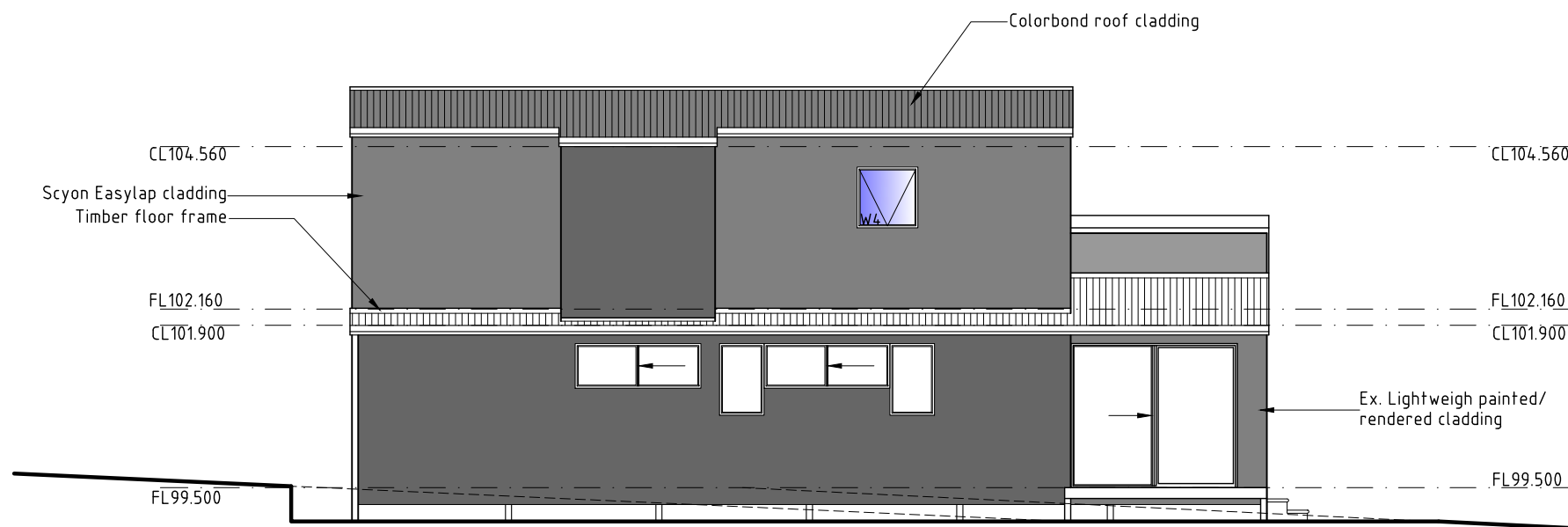
SOUTH ELEVATION

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PROPOSED ADDITION FOR TAYLOR AND BEESON BUILDING PTY LTD AT 19A MILTON STREET MOONAH 7009	ELEVATIONS		DATE 24/06/2026	DRAWN BY G. Tilley email: gtilley7@gmail.com phone ph 0400 671 582
	SCALE 1:100 	AMENDED	DRAWING NO. 06 OF 12	Certified: G. Tilley Accreditation No. CC620H copyright 2026 5126



EAST ELEVATION



WEST ELEVATION

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PROPOSED ADDITION FOR
TAYLOR AND BEESON BUILDING PTY LTD AT
19A MILTON STREET MOONAH 7009

ELEVATIONS

SCALE 1:100
0 1000 2000

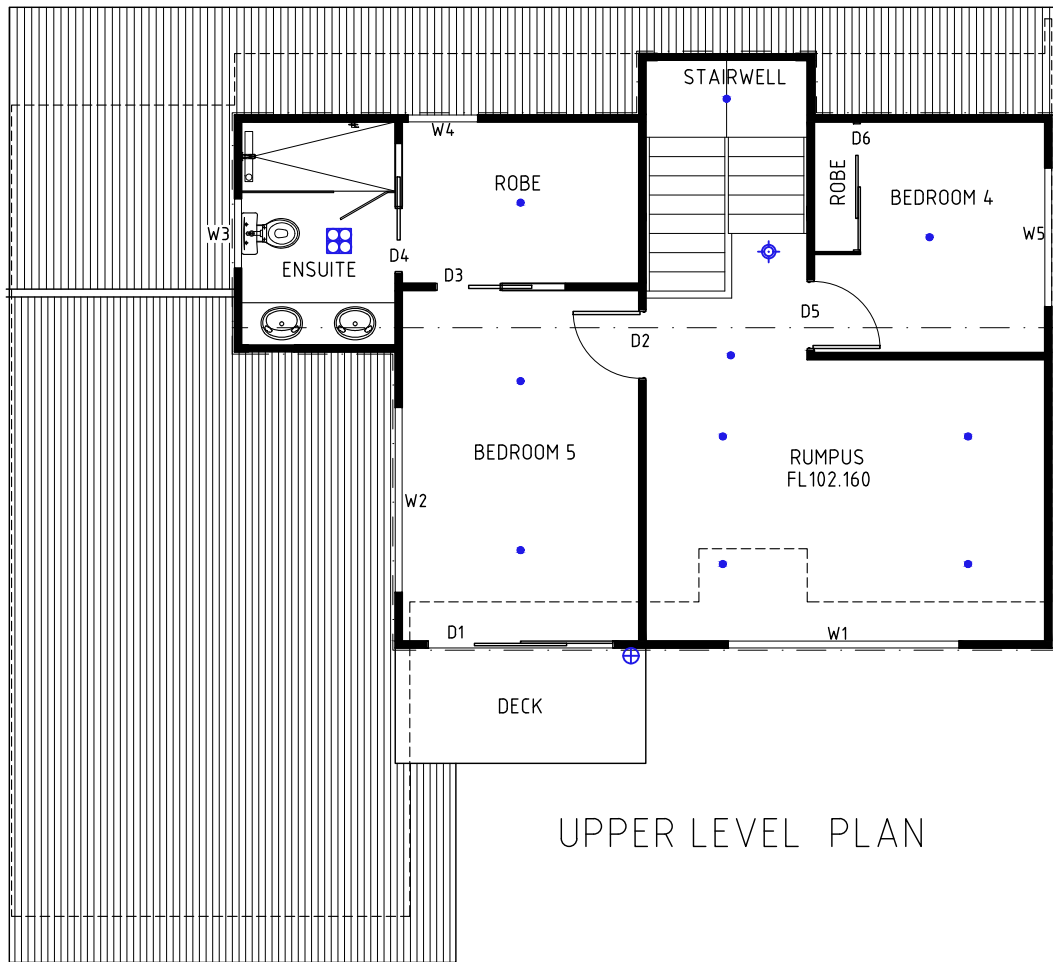
AMENDED

DATE
24/06/2026

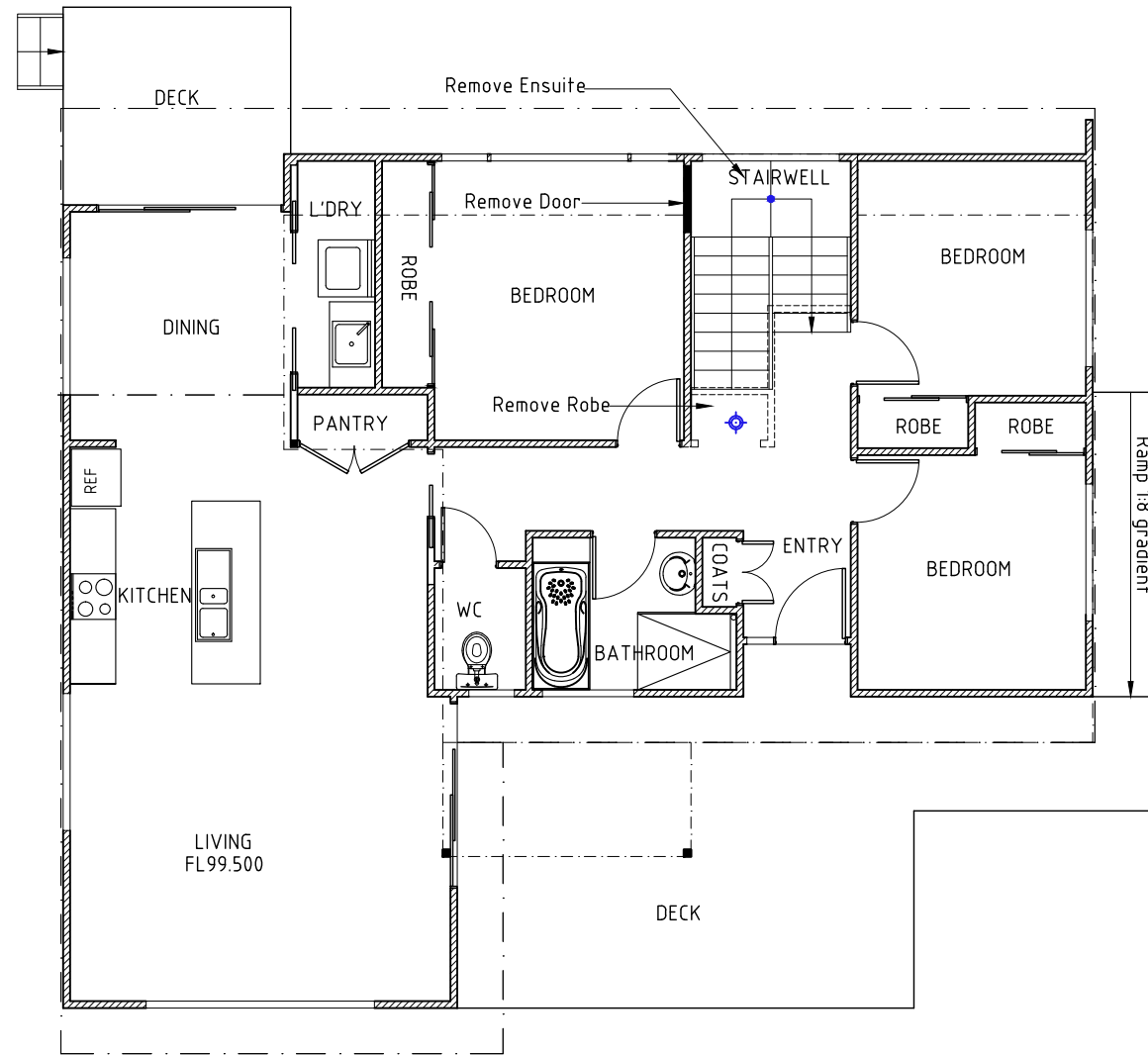
DRAWING NO.
07 OF 12

DRAWN BY G. Tilley
email: gtilley7@gmail.com
phone ph 0400 671 582

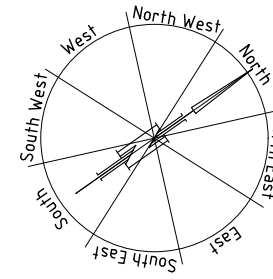
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UPPER LEVEL PLAN



LOWER LEVEL PLAN



- Downtight point
Recessed downlights to be MARTEC, GENISIS
Fully sealed recessed downlight 100° beam or similar
 - Surface mounted batten light fitting
with 12 watt LED globe
 - Surface mounted 28 watt fluorescent light fitting
 - ⊞ Combination light, fan & heat lamp unit
4/200 watt heat lamps (not included in calculation)
 - ⊕ Up/down exterior wall light 12 watt LED,
min. 2000mm above surface below.
 - RH Range hood
- For dimmer switch location, refer to lighting calculations.
External lights to be controlled by daylight sensor, or have an average light source efficacy of not less than 40 Lumens/watt.
All Bathroom fans to be fitted with backdraught dampers/shutters, and to be ducted directly to outdoor air.
See attached Lighting calculation.
- ⊞ Interconnected photoelectric smoke alarms.

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ROOM	AREA m ²
Stairwell	4.54
Rumpus	2150
Bedroom 4	9.00
Bedroom 5	14.04
Robe	6.46
Ensuite	5.80
Deck	4.89

AREAS	
Ex. Residence	114.73m ²
Ex. Decks	32.44m ²
Proposed Deck	4.89m ²
Proposed addition	67.44m ²
Proposed residence	182.17m ²

ROOF VENTILATION

SUPPLY
Continuous gap at eaves it:
25mm for <16° pitch
10mm for >16° pitch

EXHAUST
Continuous gap at ridge is min.
5mm for all roof pitches.

Refer to ABCB Housing Provisions
Table 10.8.3 for alternative.

NOTE: Glazier to verify all glass prior to manufacture of glazing Units

Glazing compliance certificate to be provided by glass supplier

**DEVELOPMENT DRAWINGS ONLY
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PROPOSED ADDITION FOR TAYLOR AND BEESON BUILDING PTY LTD AT 19A MILTON STREET MOONAH 7009	REFLECTED CEILING PLAN	DATE 24/06/2026	DRAWN BY G.Tilley email: gtilley7@gmail.com phone ph 0400 671 582
	SCALE 1:100 0 1000 2000	AMENDED	DRAWING NO. 08 OF 12

NCC Vol. 2 2022
 ABCB Housing Provisions Part 11.3.7 Protection of openable windows - bedrooms

- (1) A window opening in a bedroom must be provided with protection, where the floor below the window is 2m or more above the surface beneath.
- (2) Where the lowest level of the window opening covered by (1) is less than 1.7 m above the floor, the window opening must comply with the following:
- (a) The openable portion of the window must be protected with -
 - (i) a device capable of restricting the window opening; or
 - (ii) a screen with secure fittings.
 - (b) A device or screen required by (a) must -
 - (i) not permit a 125mm sphere to pass through the window opening or screen; and
 - (ii) resist an outward horizontal action of 250N against the -
 - (A) window restrained by a device; or
 - (B) screen protecting the opening; and
 - (iii) have a child resistant release mechanism if the screen or device is able to be removed, unlocked or overridden.
- (3) Where a device or screen provided in accordance with (2)(a) is able to be removed, unlocked or overridden, a barrier with a height not less than 865mm above the floor is required to an openable window in addition to window protection.
- (4) A barrier covered by (3) must not -
- (a) permit a 125mm sphere to pass through it; and
 - (b) have any horizontal or near horizontal elements between 150mm and 760mm above the floor that facilitate climbing.

ABCB Housing Provisions Part 11.3.8 Protection of openable windows - rooms other than bedrooms

- (1) A window opening in a room other than a bedroom must be provided with protection where the floor below the window is 4 m or more above the surface beneath.
- (2) The openable part of the window covered by (1) must be protected with a barrier with a height of not less than 865mm above the floor.
- (3) A barrier required by (2) must not -
- (a) permit a 125mm sphere to pass through it; and
 - (b) have any horizontal or near horizontal elements between 150mm and 760mm above the floor that facilitate climbing.

LEGENDS & NOTES

Flyscreens to be fitted to all openable windows and doors.
 Glazing requirement as outlined in the attached Glazing Calculator.
 Alternative options from glazing supplier may be presented to the Designer and Building Surveyor in the form of a new Glazing Calculator.
 Glazing types available in Tasmania can be access at www.wers.net

Shower screens:
 1800H Semi-frameless shower screens to comply with ABCB Housing Provisions Table 8.4.2 & AS 1288:2021. Minimum 4mm thick Grade A toughened & toughened laminated safety glass, labelled to comply with industry standards.

Opaque bands:
 Where glazed doors or side panels are capable of being mistaken for a doorway or opening, the glass must be marked to make it readily visible in accordance with ABCB Housing Provisions Part 8.4.7, as follows:

- Marking in the form of an opaque band not less than 20mm in height;
- The upper edge is not less than 700mm above the floor;
- The lower edge is not more than 1200mm above the floor.

Flashings to wall openings:
 All openings must be adequately flashed using materials that comply with AS/NZS 2904.

ALL GLAZED WINDOW & DOOR ASSEMBLIES IN EXTERNAL WALLS TO COMPLY WITH AS 2047:2014. ALL OTHER GLASS TO COMPLY WITH AS 1288:2021

PROVIDE WEATHER STRIPPING TO ALL EXTERNAL DOORS & WINDOWS.

**DEVELOPMENT DRAWINGS ONLY
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WINDOW SCHEDULE

Window	Size (w)	Size (h)	Setout	Operation	Area (m ²)	Vent. (m ²)	Glass value	Glass type	Frame	Orientation	Notes	Lintel	BAL
W.1	3000	1500	Sill @ 600 Head @ 2100	Awning	4.5	2.94	U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	SE			
W.2	2400	450	Sill @ 00 Head @ 2100	Awning	1.08	0.70	U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	SW			
W.3	900	900	Sill @ 1200 Head @ 2100	Awning	0.81	0.81	U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	SW			
W.4	900	900	Sill @ 1200 Head @ 2100	Awning	0.81	0.81	U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	NW			
W.5	1800	1500	Sill @ 600 Head @ 2100	Awning	2.7	1.33	U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	NE			

DOOR SCHEDULE

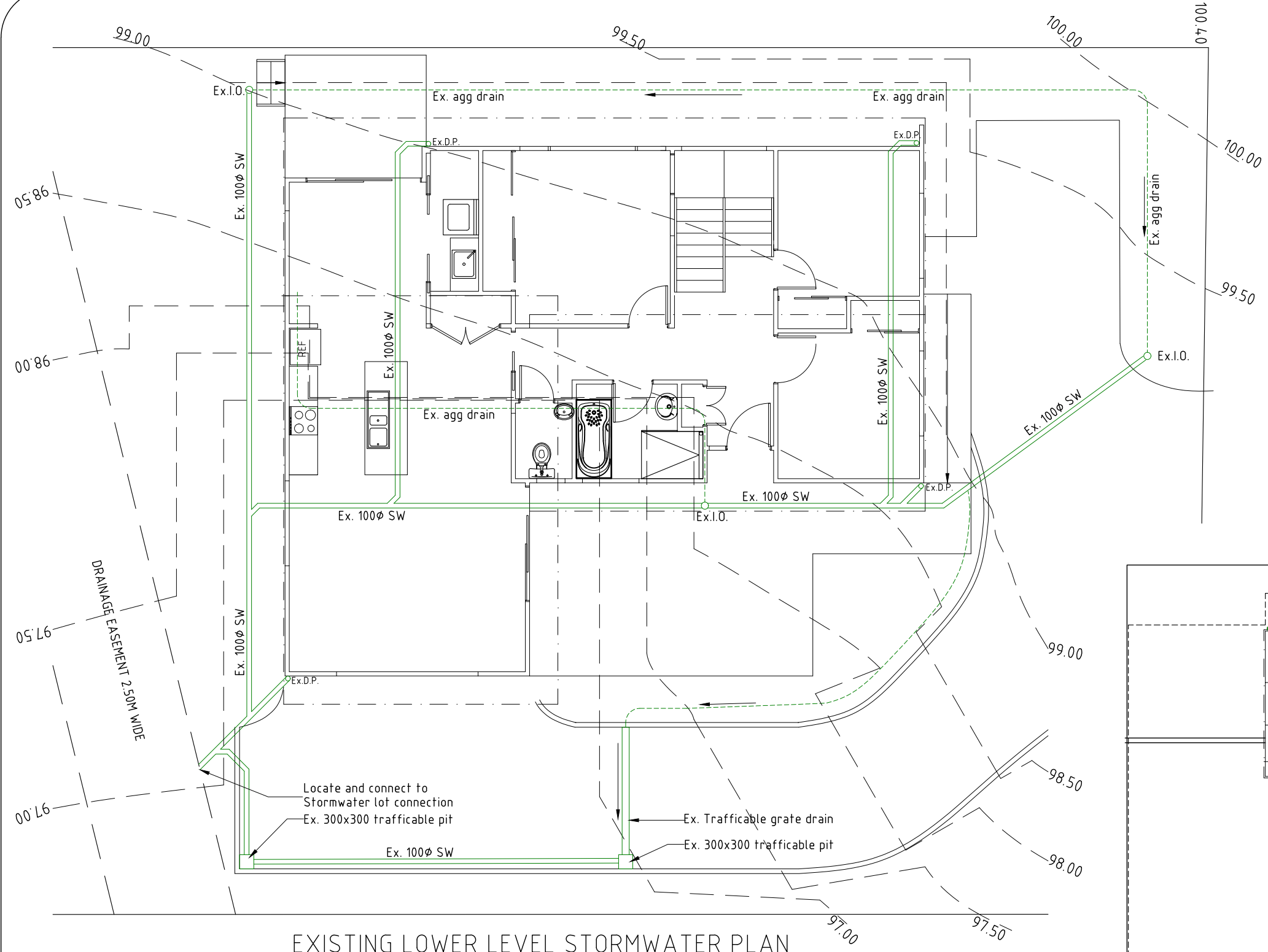
Door	Size	Setout	Operation	Area (m ²)	Vent.	Glass value	Glass type	Frame	Orientation	Notes	Lintel	BAL
D.1	2400x2100	Sill @ 00 Head @ 2100	Glass Slider	5.04	2.42	U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	SE	External		
D.2	870x2040	Sill @ 00 Head @ 2040	Hinged									
D.3	820x2040	Sill @ 00 Head @ 2040	Cavity Slider									
D.4	820x2040	Sill @ 00 Head @ 2040	Cavity Slider									
D.5	870x2040	Sill @ 00 Head @ 2040	Hinged									
D.6	27820x2040	Sill @ 00 Head @ 2040	Robe slider									

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DATE RECEIVED: 27/06/2026

PROPOSED ADDITION FOR TAYLOR AND BEESON BUILDING PTY LTD AT 19A MILTON STREET MOONAH 7009	GLAZING NOTES		DATE 24/06/2026	DRAWN BY G. Tilley email: gtilley7@gmail.com phone ph 0400 671 582
	SCALE N/A	AMENDED	DRAWING NO. 09 OF 12	Certified: G. Tilley Accreditation No. CC620H © copyright 2026 5126

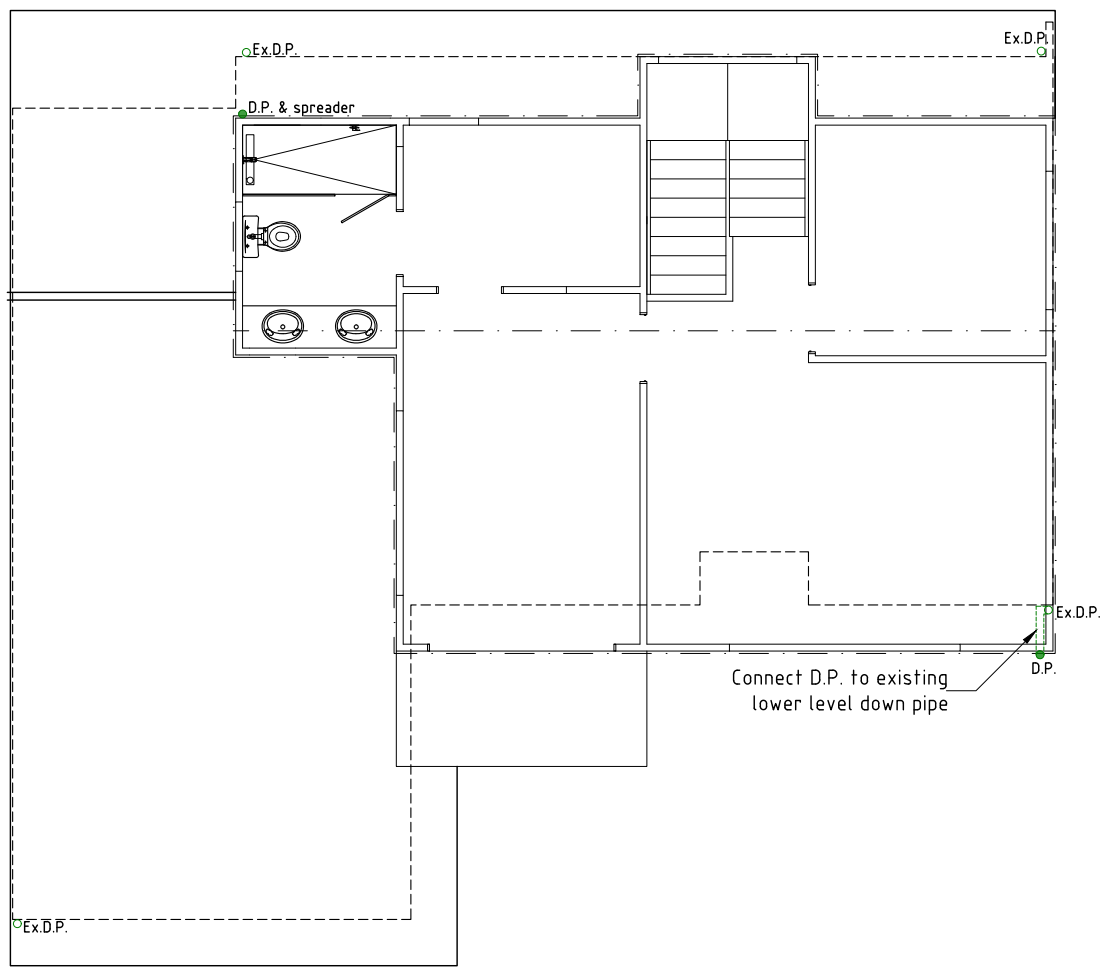


EXISTING LOWER LEVEL STORMWATER PLAN

Plumber to confirm the location of existing on-site services prior to commencement of any excavations

- S100φ 100uPVC sewerage 1.67% min. fall
- 100φ 100uPVC stormwater 1:100 min. fall
- 100x100 cast in kerb to downslope of driveway perimeter I.O. at each intersection & bend

**GLENORCHY CITY COUNCIL
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PROPOSED UPPER LEVEL STORMWATER PLAN

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PROPOSED ADDITION FOR TAYLOR AND BEESON BUILDING PTY LTD AT 19A MILTON STREET MOONAH 7009	STORMWATER PLAN	DATE 24/06/2026	DRAWN BY G. Tilley email: gtilley7@gmail.com phone ph 0400 671 582
	SCALE 1:100 	AMENDED	DRAWING NO. 10 OF 12

WET AREAS TO COMPLY WITH NCC VOL. 2 PART H4D2, ABCB HOUSING PROVISIONS PART 10.2 AND AS 3740

WATERPROOFING OF ENCLOSED & UNENCLOSED SHOWERS:

FLOOR: Waterproof entire floor if no preformed shower base provided
WALLS: Waterproof to not less than 1800mm above the floor substrate
WALL JUNCTIONS AND JOINTS: Waterproof internal and external corners and horizontal joints within a height of 1800mm above the floor level with not less than 40mm width either side of the junction
WALL/FLOOR JUNCTIONS: Waterproof internal and external corners and joints
PENETRATIONS: Waterproof all penetrations

AREAS OUTSIDE THE SHOWER ON CONCRETE SLAB OR FC FLOORING:

FLOORS: Entire floor to be water resistant
WALLS/FLOOR JUNCTIONS: Waterproof all wall/floor junctions and where a flashing is used, the horizontal leg must be not less than 40mm

AREAS OUTSIDE THE SHOWER ON TIMBER FLOOR:

FLOORS: Waterproof entire floor
WALL/FLOOR JUNCTIONS: Waterproof all wall/floor junctions and where a flashing is used, the horizontal leg must be not less than 40mm.

AREAS ADJACENT TO NON-FREESTANDING BATHS AND SPAS (without showers):

FLOOR: Water resistant to entire floor on concrete or FC flooring; or Waterproof to entire floor on timber floor.
WALLS: Water resistant walls to a height of not less than 150mm above the vessels, for the full extent, where the vessel is within 75mm of a wall.
WALL JUNCTIONS AND JOINTS: Water resistant within 150mm above the vessel for the extent of the vessel to a width of 40mm either side of the junction
WALL/FLOOR JUNCTIONS: Waterproof for the extent of the vessel

AREAS ADJACENT TO INSERTED BATHS AND SPAS (without showers):

FLOOR: Water resistant to entire floor on concrete or FC flooring; or Waterproof to entire floor on timber floor.
HORIZONTAL SURFACES: Waterproof shelf adjoining bath or spa and include a waterstop under the vessel lip
WALLS: Waterproof walls to not less than 150mm above the lip of the vessel
WALL JUNCTIONS AND JOINTS: Waterproof junctions within 150mm of vessel to a width of 40mm either side of the junction
WALL/FLOOR JUNCTIONS: Waterproof wall/floor junctions 25mm above finished floor level
PENETRATIONS: Waterproof penetrations where they occur in horizontal surfaces, seal penetrations where they occur in vertical surfaces

OTHER AREAS (LAUNDRIES AND WCs):

FLOOR: Water resistant floor to entire room
WALLS: Water resistant wall to a height of not less than 150mm above the vessel for the extent of the vessel, where the vessel is within 75mm of a wall
WALL JUNCTIONS AND JOINTS: Waterproof junctions where a vessel is fixed to a wall
WALL/FLOOR JUNCTIONS: Water resistant wall/floor junctions with horizontal leg not less than 40mm where flashing used
PENETRATIONS: Waterproof penetrations where they occur in surfaces required to be waterproof or water resistant.

WATERPROOFING SYSTEMS:

Waterproofing systems to be in accordance with ABCB Housing Provisions Part 10.2.6.

FALLS TO WET AREA FLOORS:

Where a floor waste is installed the continuous fall of a floor plane to the waste must be no less than 1:80 and no more than 1:50.

STEPPDOWN SHOWERS:

Where steppedown showers are used, the shower area must be stepped down a minimum of 25mm below the finished floor level outside the shower. Refer to ABCB Housing Provisions Part 10.2.15 & relevant figures for details.

HOB CONSTRUCTION:

Shower hobs are to be constructed in accordance with ABCB Housing Provisions Part 10.2.16.

ENCLOSED SHOWERS WITH LEVEL THRESHOLD:

Enclosed showers with a level threshold must be provided with a waterstop in accordance with ABCB Housing Provisions Part 10.2.17 & relevant figures.

UNENCLOSED SHOWERS:

Unenclosed showers are to have a waterstop min. 1500mm from the shower rose with the vertical leg finishing flush with the top surface of the floor. Waterproof all all joints and junctions. Waterproof entire bathroom floor where unenclosed showers are installed. Refer to ABCB Housing Provisions Part 10.2.18 & relevant figures for details.

PENETRATIONS:

All penetrations in showers and wet areas must be waterproofed in accordance with ABCB Housing Provisions part 10.2.23.

FLASHINGS/ JUNCTIONS:

All flashings and junctions in wet areas to be installed in accordance with ABCB Housing Provisions Part 10.2.24 & relevant figures.

SHOWER SCREENS:

1900H Semi-frameless shower screens to comply with ABCB Housing Provisions Table 8.4.6 & AS 1288:2021. Minimum 6mm toughened safety organic coated glass, labelled to comply with industry standards. Install shower screens in accordance with ABCB Housing Provisions Part 10.2.32.

HYDRAULIC NOTES:

- All plumbing shall be in accordance with the Tasmanian Plumbing Regulations, AS 3500 and to the local authority approval.
- The location of the existing services where shown are approximate only and shall be confirmed on site where possible. Determine location of existing power, Telstra, water and drainage services prior to commencing new work.
- Conceal all pipework in ceiling space, ducts, cavities, wall chases, cupboards etc. unless otherwise approved.
- Refer to designers drawings and fixture and equipment technical specifications for pipework connections.

- Make good all disturbed surfaces to match existing.
- Remove all excess soil and surplus materials from site.
- All plumbing to be installed by a licensed plumber.

Install inspection openings at major bends for stormwater and all low points of downpipes.
 All plumbing & drainage to be in accordance with local Council requirements.
 Provide surface drain to back of bulk excavation to drain leveled pad prior to commencing footing excavation.
 Stormwater line (100mm uPVC)
 Sewer line (100mm uPVC)

SERVICES

The heated water system must be designed & installed with Part B2 of NCC Vol. 3 - Plumbing Code of Australia
 Thermal insulation for heated water piping must:
 a) be protected against the effects of weather and sunlight; and
 b) be able to withstand the temperatures within the piping; and
 c) use thermal insulation in accordance with AS/NZS 4859.1

Heated water piping that is not within a conditioned space must be thermally insulated as follows:

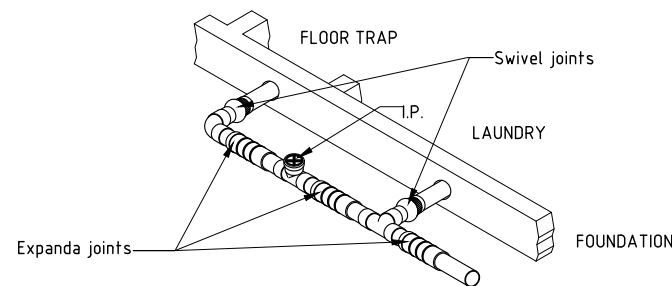
- Internal piping:
 - All flow and return internal piping that is -
 - within an unventilated wall spaces
 - within an internal floor between storeys, or
 - between ceiling and insulation and a ceiling
 Must have a minimum R-value of 0.2 (ie. 9mm of closed cell polymer insulation)
- Piping located within a ventilated wall space, an enclosed building subfloor or a roof space:
 - All flow and return piping
 - Cold water supply piping and Relief valve piping within 500mm of the connection to central water heating system
 Must have a minimum R-value of 0.45 (ie. 19mm of closed cell polymer insulation)
- Piping located outside the building or in an unenclosed building sub-floor or roof space:
 - All flow and return piping.
 - Cold water supply piping and Relief valve piping within 500mm of the connection to central water heating system
 Must have a minimum R-value of 0.6 (ie. 25mm of closed cell polymer insulation)
 Piping within an insulated timber framed wall, such as that passing through a wall stud, is considered to comply with the above insulation requirements.

Hot & Cold Water Nominal Diameters	
Branch off takes	Min. DN20
Max. off take length 6m	DN18
Max. off take length 3m	DN15
Max. off take length 1m	DN10

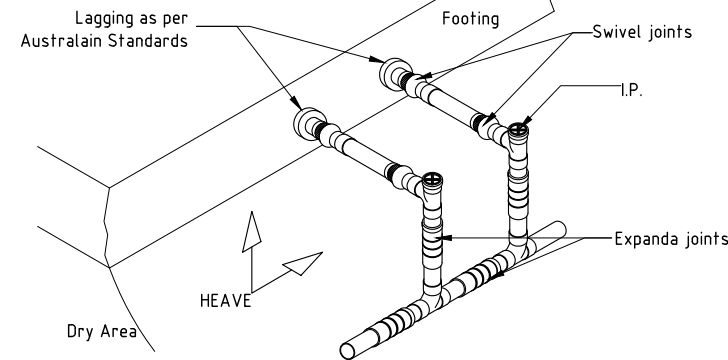
Insulation Schedule

Heated Water Pipes Type	Size Range	Insulation
Circulating Line	32-40	25mm Rockwool with foil wrap
Branch Line	20-25	19mm Bradflex
Offtake	18	13mm Bradflex
Cold Water Pipes Exposed Type	Size Range	Insulation
All	>20	13mm Bradflex
Other Cold Water Pipes Type	Size Range	Insulation
All	All	Not required

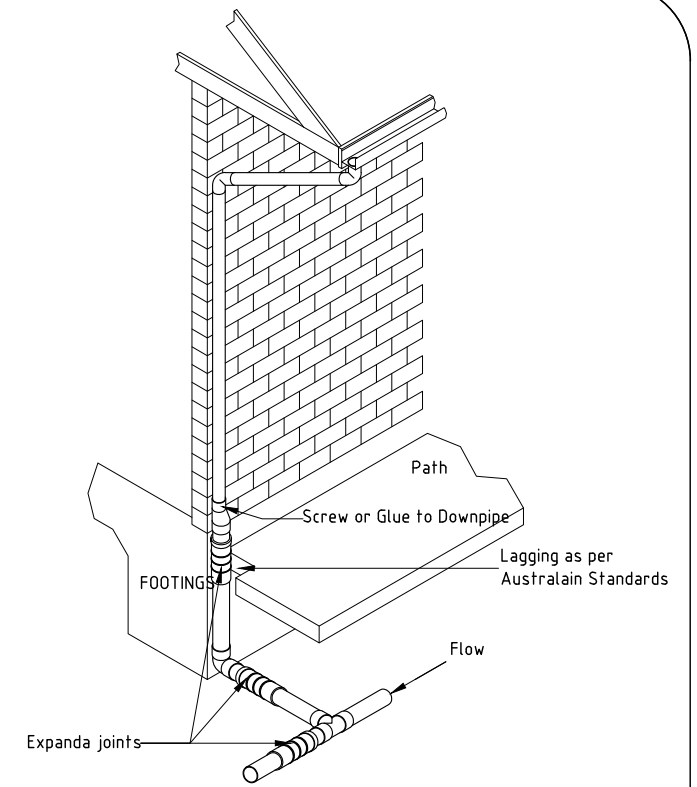
NOTE: Water pipes associated directly with plan equipment shall be insulated in accordance with the manufacturers instructions for a typical installation



GUIDELINES FOR PVC-U DRAINAGE SYSTEM WITH EXPANSION AND SWIVEL JOINT LOCATIONS FOR REACTIVE SOILS



GUIDELINES FOR PVC-U DRAINAGE SYSTEM WITH EXPANSION AND SWIVEL JOINT LOCATIONS FOR REACTIVE SOILS

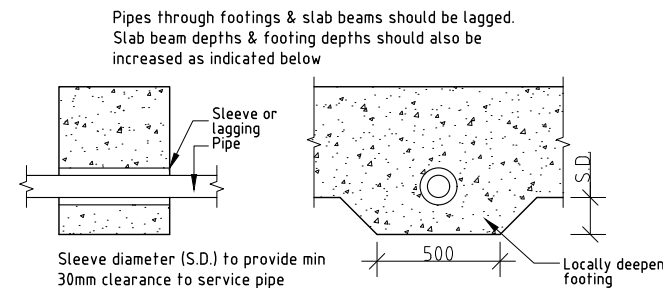


GUIDELINES FOR PVC-U DRAINAGE SYSTEM WITH EXPANSION AND SWIVEL JOINT LOCATIONS FOR REACTIVE SOILS

**GLENORCHY CITY COUNCIL
 PLANNING SERVICES**

APPLICATION No. : PLN-26-125

DATE RECEIVED: 27/06/2026



FLEXIBLE CONNECTION FOR SERVICE PIPES PASSING THROUGH FOOTINGS
 Scale 1:20

Surface drainage to conform with NCC Vol. 2 Part H2D2.
 NOTE: 50mm fall required over first 1m from building.

IMPORTANT NOTICE FOR ATTENTION OF OWNER:
 The owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSRIO Building Technology File 18 and it is the owners responsibility to maintain the site in accordance with that document.

DEVELOPMENT DRAWINGS ONLY
 NOT FOR CONSTRUCTION

PROPOSED ADDITION FOR
 TAYLOR AND BEESON BUILDING PTY LTD AT
 19A MILTON STREET MOONAH 7009

PLUMBING NOTES

SCALE N/A

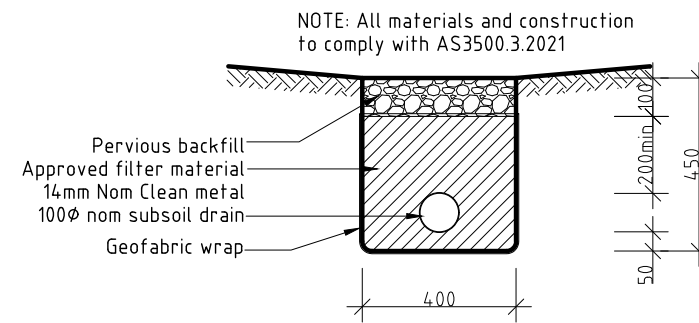
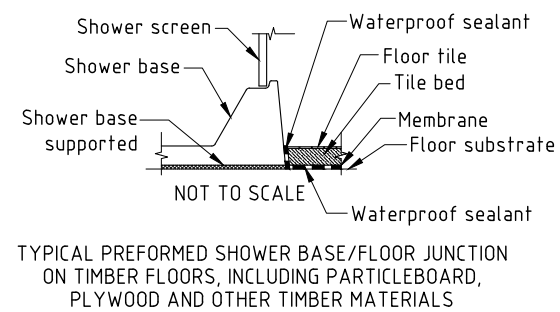
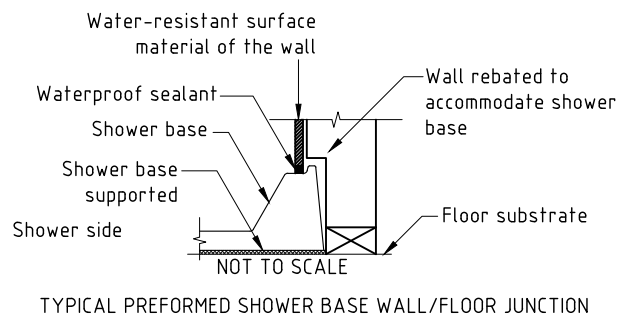
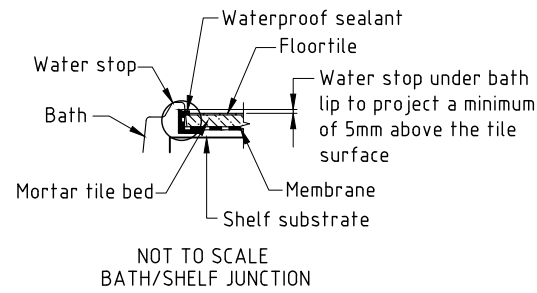
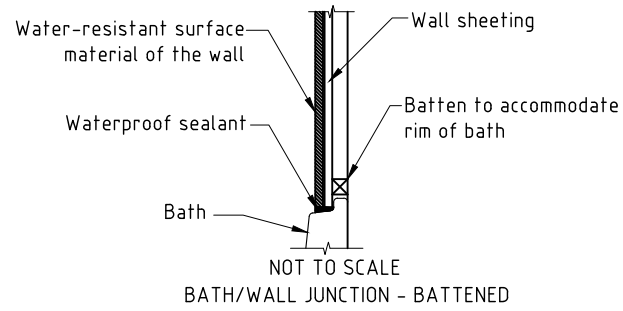
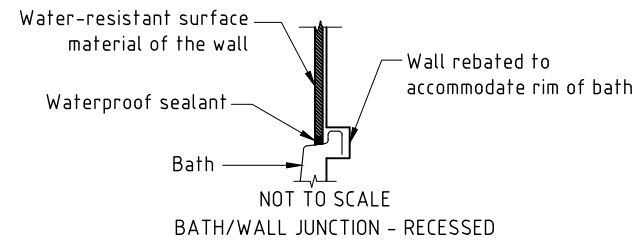
AMENDED

DATE
 24/06/2026

DRAWING NO.
 11 OF 12

DRAWN BY G.Tilley
 email: gtilley7@gmail.com
 phone ph 0400 671 582

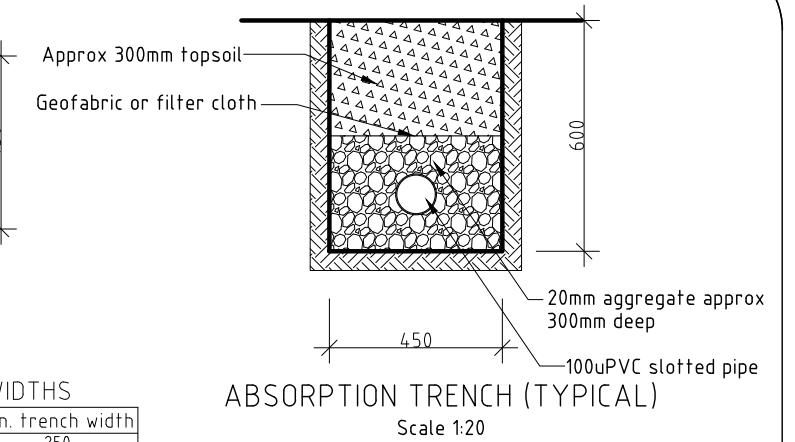
Certified: G. Tilley Accreditation No. CC620H
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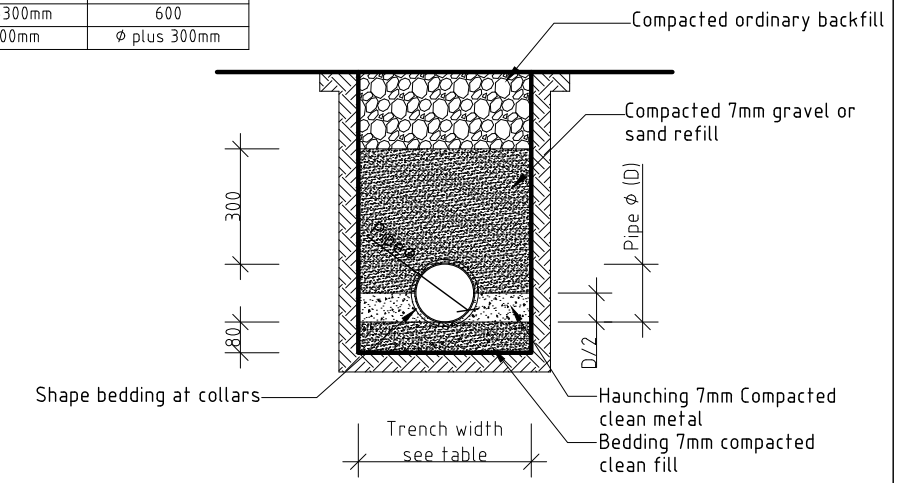
AGG DRAIN DETAIL (TYPICAL)
Scale 1:20

TRENCH WIDTHS

Pipe diameter	Min. trench width
Less than 50mm	250
75-100mm	450
150-300mm	600
>300mm	φ plus 300mm

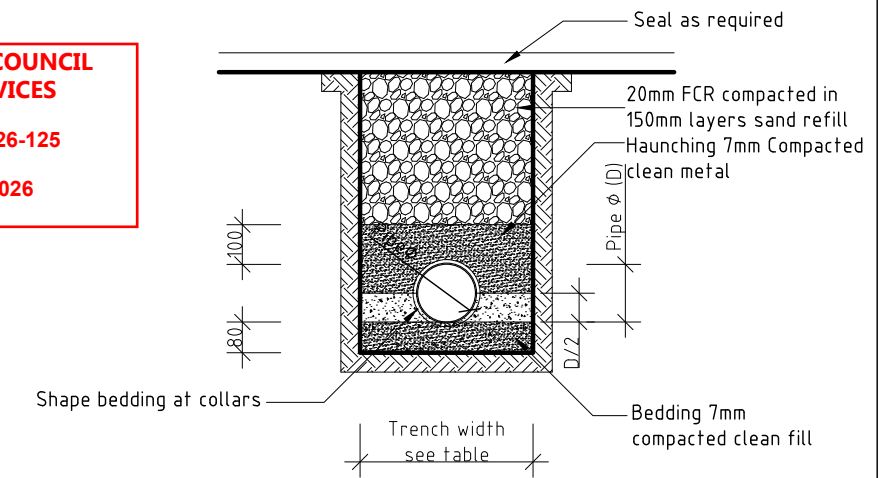


ABSORPTION TRENCH (TYPICAL)
Scale 1:20



PIPE TRENCH DETAIL TO NON-TRAFFICABLE AREAS (TYPICAL)
Scale 1:20

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No. : PLN-26-125
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PIPE TRENCH DETAIL TO TRAFFICABLE AREAS (TYPICAL)
Scale 1:20

Surface drainage to conform with NCC Vol. 2 Part H2D2.
NOTE: 50mm fall required over first 1m from building.

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PROPOSED ADDITION FOR TAYLOR AND BEESON BUILDING PTY LTD AT 19A MILTON STREET MOONAH 7009	PLUMBING DETAILS	DATE 24/06/2026	DRAWN BY G.Tilley email: gtilley7@gmail.com phone ph 0400 671 582
SCALE 1:20 0 200 400	AMENDED	DRAWING NO. 12 OF 12	Certified: G. Tilley Accreditation No. CC620H © copyright 2026 5126