

DEVELOPMENT APPLICATION




APPLICATION NUMBER:	PLN-26-108
PROPOSED DEVELOPMENT:	Subdivision (Consolidation) of 5 lots to form 1 lot, with easements over 31 Albert Road, Moonah
LOCATION:	45 Main Road and 31 Albert Road, Moonah
APPLICANT:	Nova Land Consulting
ADVERTISING START DATE:	26/06/2026
ADVERTISING EXPIRY DATE:	10/07/2026

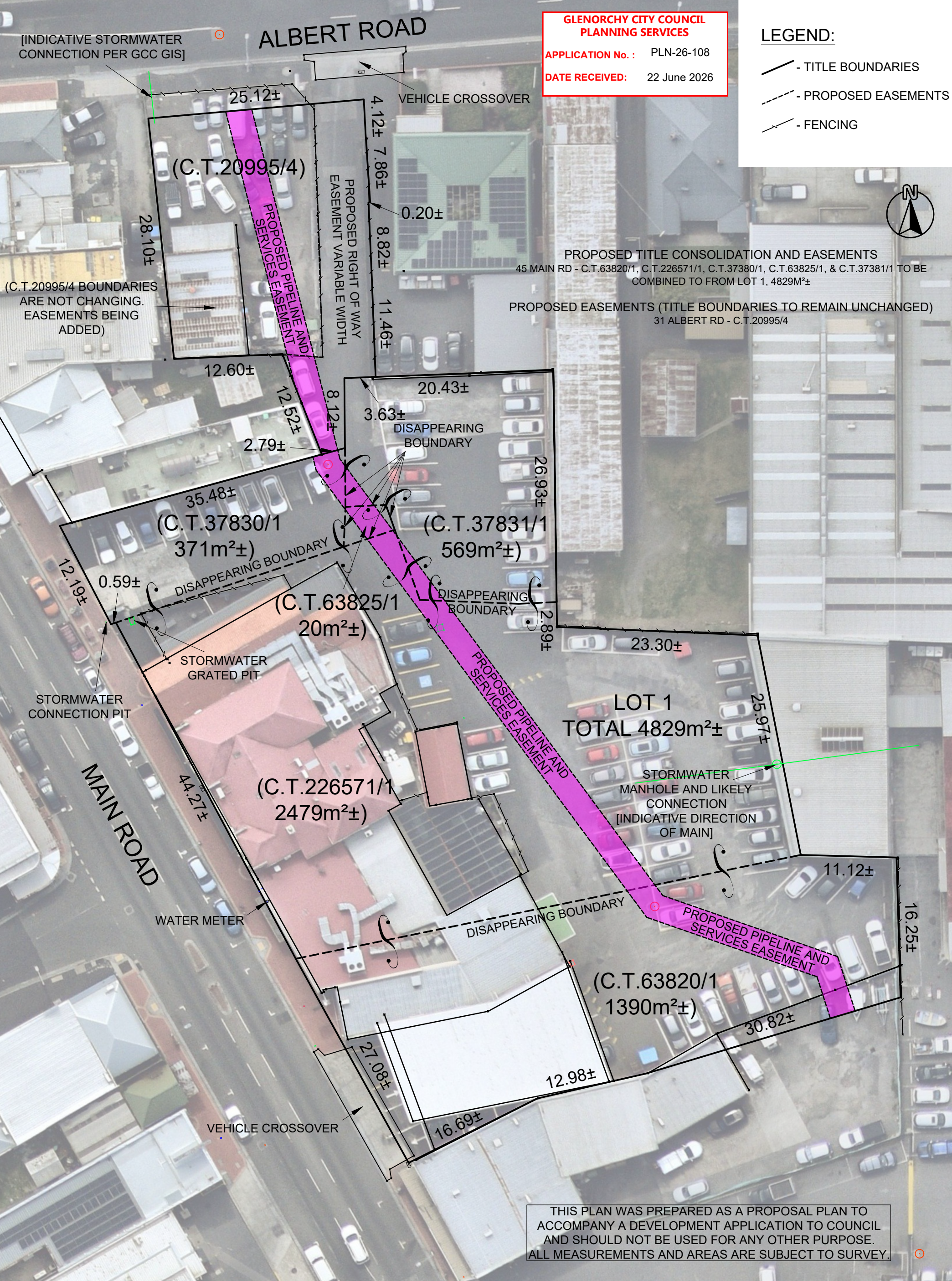
Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **10/07/2026**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.


Representations must be received by no later than 11.59 pm on **10/07/2026**, or for postal and hand delivered representations, by 5.00 pm on **10/07/2026**.

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No.: PLN-26-108
DATE RECEIVED: 22 June 2026

LEGEND:
 - TITLE BOUNDARIES
 - PROPOSED EASEMENTS
 - FENCING



THIS PLAN WAS PREPARED AS A PROPOSAL PLAN TO ACCOMPANY A DEVELOPMENT APPLICATION TO COUNCIL AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE. ALL MEASUREMENTS AND AREAS ARE SUBJECT TO SURVEY.



156 George Street,
Launceston 7250
132 Davey Street,
Hobart 7000

Phone (03) 6709 8116
Email: info@novaland.com.au

PROPOSED TITLE CONSOLIDATION
45 MAIN RD - C.T.63820/1, C.T.226571/1, C.T.37380/1,
C.T.63825/1, & C.T.37381/1
31 ALBERT RD - C.T.20995/4

File name
H260301_Detail_220626_Prop_Plan.dwg

Notes:
 - Boundaries are approximate and subject to survey.
 - Sewer and stormwater to be located to determine final easement location.
 - C.T.37831/1, C.T.37830/1, C.T.63825/1, C.T.226571/1, & C.T.63820/1 to be combined to from Lot 1, 4829m²±.

Job Number
H260301

Drawn LWB
Scale 1:400@A3
Date 22/06/26
Edition V1.0
Sheet 1/2

**GLENORCHY CITY COUNCIL
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LEGEND:
 / - TITLE BOUNDARIES



LOT 2
 UNCHANGED TITLE

LOT 1
 TOTAL 4829m²±
 CONSOLIDATED TITLE

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