

**GLENORCHY PLANNING AUTHORITY
ATTACHMENTS
MONDAY, 10 NOVEMBER 2025**



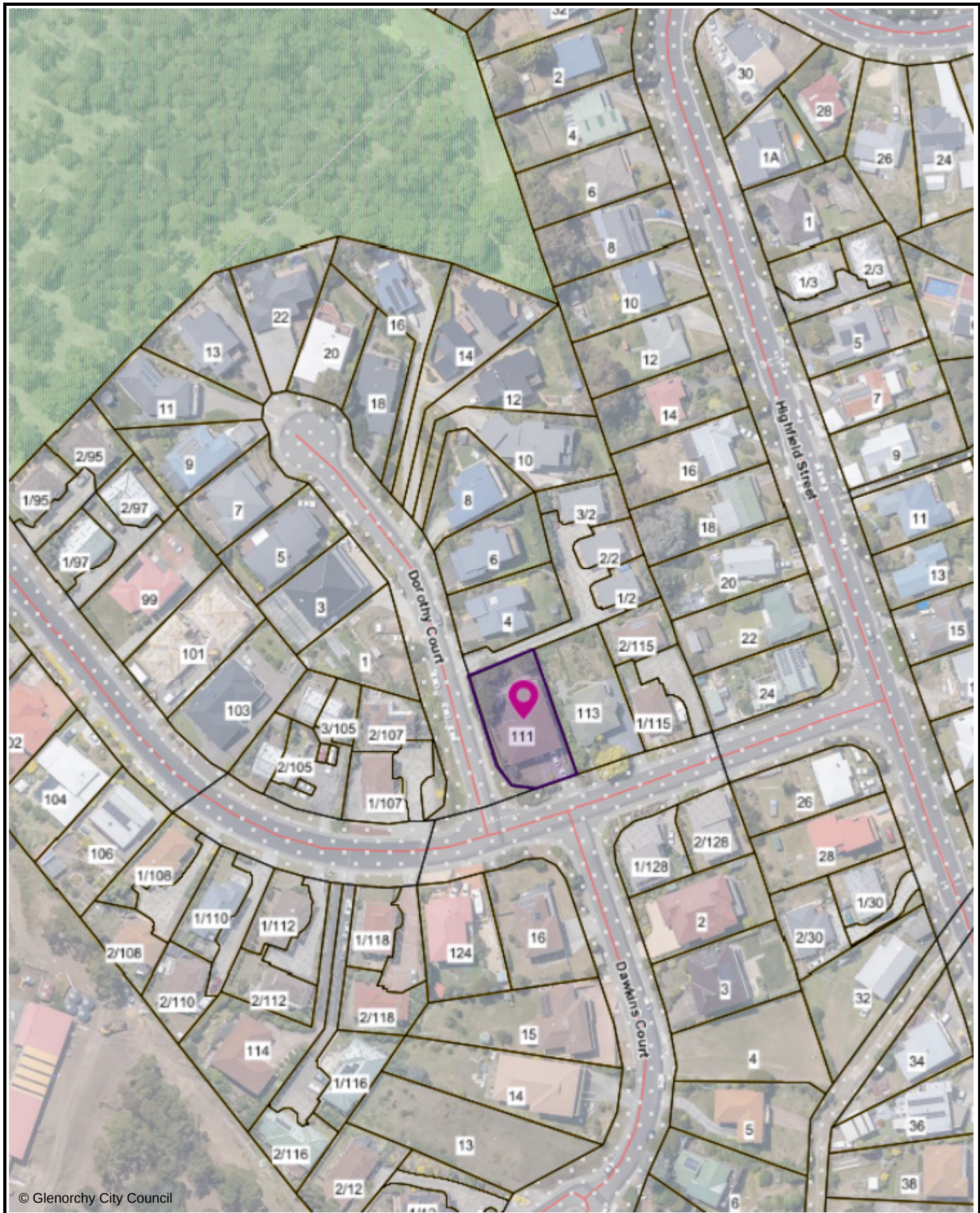
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PLANNING

5. PROPOSED USE AND DEVELOPMENT – RESIDENTIAL (CHANGE OF USE TO ASSISTED HOUSING) 111 AMY STREET, WEST MOONAH

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ATTACHMENT 1
SITE PLAN AND APPLICATION PLANS



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111 Amy Street, West Moonah TAS 7009

16-Oct-2025



The graphic information on this map is produced by Glenorchy City Council. As errors or omissions may occur please verify data before any projects are commenced. The representation of roads or tracks is no evidence of right of way. This map is not to be used as a site plan for making an application to council.

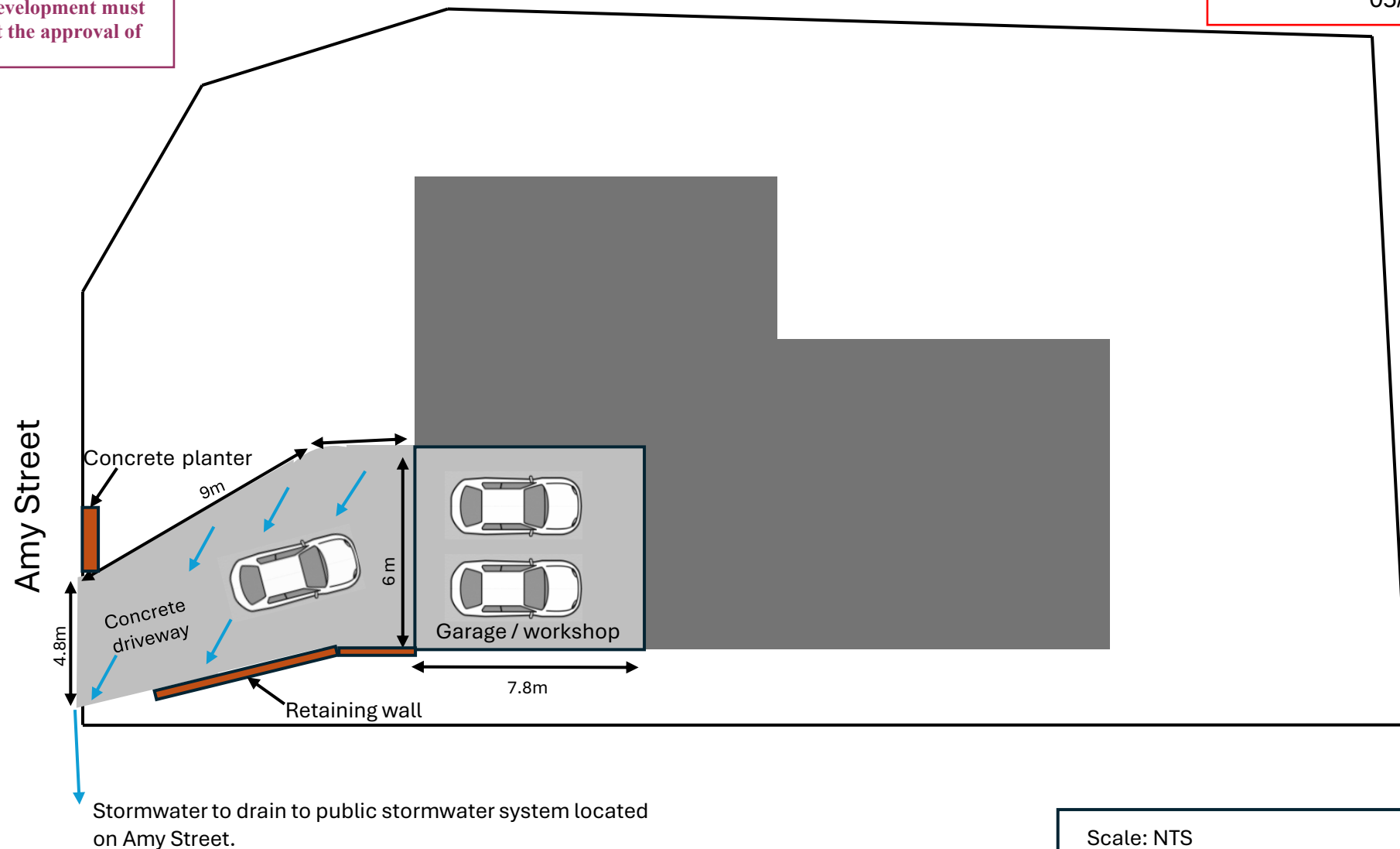


50 m

The use and development must be undertaken and completed in accordance with the approved plans, except for changes required to comply with planning permit conditions. The use and development must not be otherwise changed without the approval of Council.

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No. : PLN-25-179
DATE RECEIVED: 05/09/2025

Dorothy Court



Stormwater to drain to public stormwater system located on Amy Street.

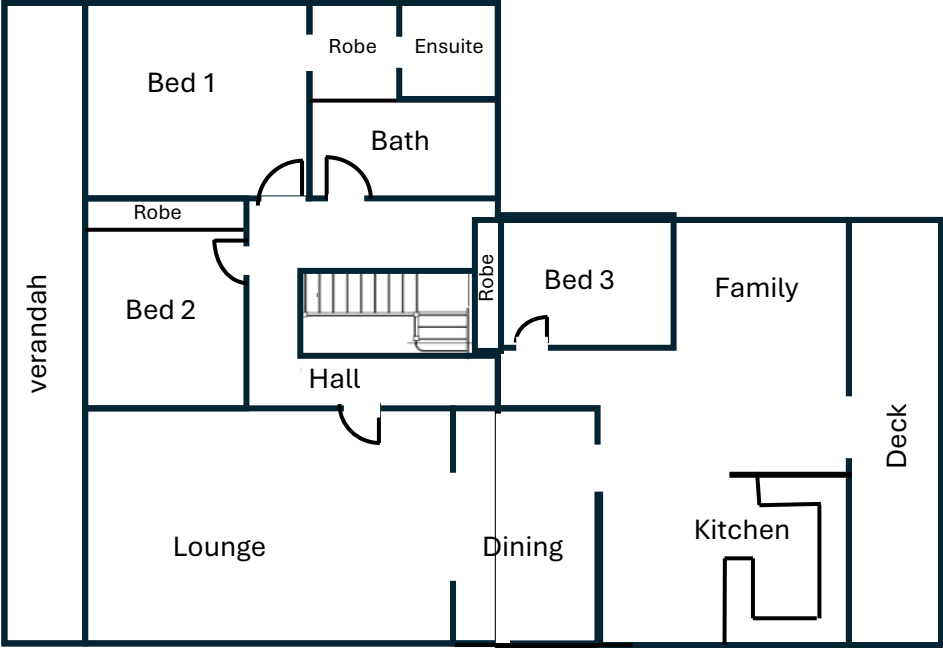
Scale: NTS

Existing site plan

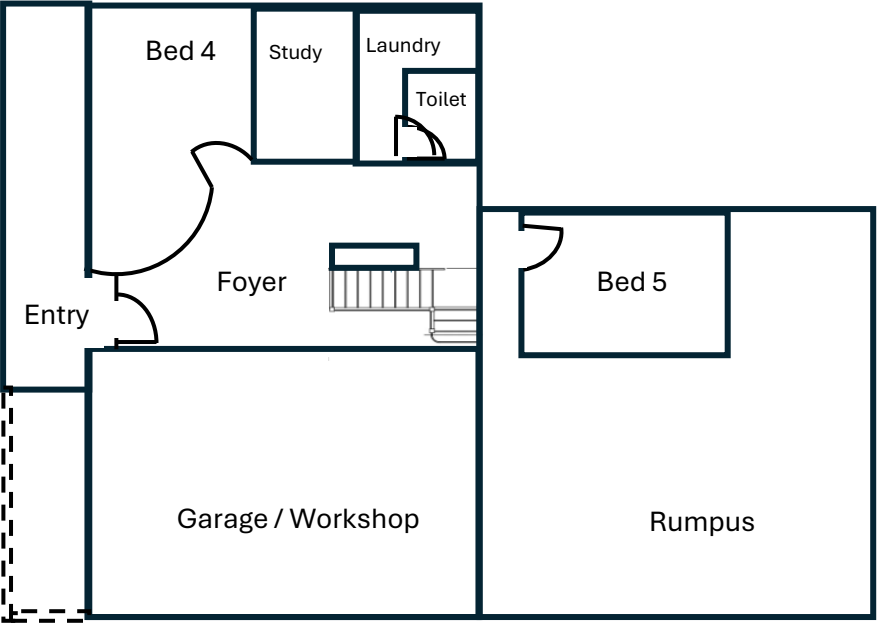


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First Floor



Ground Floor

Scale: NTS

Existing floor plans



ATTACHMENT 2
INTERNAL REFERRAL REPORTS

Internal Referral Reports

Development Engineer

Comments

The application is seeking approval to formerly change the use of a single dwelling to assisted housing. Accommodation is provided for up to 6 people in a home environment. Support is provided 24 hours a day, 7 days a week by way of on-call assistance or sleepover staff available (maximum of one) to support emergency needs overnight.

C2.0 Parking and Sustainable Transport Code

Driveway and crossover is existing, change of use only.

The proposal counts with 3 on-site parking places. Planning scheme requires 5 carparking spaces. However, the carers provide all necessary transportation, as required. A maximum of 6 carers attend the site throughout the day, but not at the same time. Only 1 carer sleeps overnight. For this reason, it is expected that generally only 2 carers will be there at any given time, with 2 separate vehicles on-site.

Accordingly, the shortfall is considered acceptable under the Performance Criteria.

C3.0 Road and Railway Assets Code

The proposal does not trigger Clause C3.5.1 as no new vehicle crossing, junction, or level crossing is proposed. The additional traffic generated by a single dwelling is well within the acceptable limits under Table C3.1 (less than 40 vehicle movements per day on a local road). Access will continue to be provided via the existing vehicle crossing, and therefore the safety and efficiency of the road network will not be adversely affected.

Other

C7.0 Natural Assets Code

There are no Natural assets issues identified through Council's records that affect the application.

C12.0 Flood-Prone Areas Hazard Code

There are no Flooding issues identified through Council's records that affect the application.

C15.0 Landslide Code

There are no landslide issues identified through Council's records that affect the application.

Standard Conditions

Nil

Advice to Applicant:

Nil