

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-26-044
PROPOSED DEVELOPMENT:	Multiple Dwellings (Two New)
LOCATION:	61 Mahoney Drive, Austins Ferry
APPLICANT:	Taylor and Beeson Building
ADVERTISING START DATE:	24/07/2026
ADVERTISING EXPIRY DATE:	07/08/2026

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **07/08/2026**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **07/08/2026**, or for postal and hand delivered representations, by 5.00 pm on **07/08/2026**.

Site Information

Land Title Reference:

CT 185686/8

Wind Classification:

TBC

Soil Classification:

TBC

Climate Zone:

7

Bushfire Attack Level:

TBC

Alpine Area:

N/A Less than 900m AHD

Corrosion Environment:

TBC

Other Hazards:

TBC

Zoning:

GENERAL RESIDENTIAL

AREA SCHEDULE

Site Area

:

751 m²

U1-Ground Floor

:

44.9 m²

U1-First Floor

:

78.6 m²

U1-Total

:

123.5 m²

PORCH/DECK

:

15.3 m²

Carport

:

27.4 m²

U2-Ground Floor

:

82.6 m²

PORCH/DECK

:

18.3 m²

Total Floor U1+U2

:

206.1 m²

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SIGNATURE:

DATE:

CONSULTANT COORDINATION & CERTIFICATION :

This architectural documentation is part of a complete set of drawings. All trades must refer to and coordinate works with all consultant documentation (Structural Engineer, Hydraulic Consultant, Energy Assessor, etc.). The respective consultants are responsible for certifying their specific scope of work. In the event of discrepancy, the most stringent requirement or the certified engineer's documentation shall take precedence



NOTE:
3D View colours/materials is indicative only and is subject to final selection.

SHEET	SHEET NAME	SHEET	SHEET NAME
01	SITE PLAN	06	U2-GROUND FLOOR PLAN
01 A	SHADOW ANALYSIS	07	U2- ROOF PLAN
02	U1-LOWER FLOOR PLAN	08	U2- ELEVATIONS
02A	U1-UPPER FLOOR PLAN	09	U2-ELECTRICAL_GROUND FLOOR
03	U1- ROOF PLAN	10	DRAINAGE PLAN
04	U1- ELEVATIONS	11	3D VIEWS
04 A	U1- SECTION	11A	3D VIEWS
05	U1-ELECTRICAL_LOWER & UPPER FLOOR	12	CALCULATIONS

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-26-044

DATE RECEIVED: 16 July 2026

GLAZING NOTE:
All windows are Double glazed

BAL : TBC

3	Updated as Civil plans	16.07.2026	RK
2	Modified as Council PLN-26-044	10.06.2026	RK
1	DA PLANS	17.03.2026	RK
Document Set ID: 3641477 Amendment		Date	Drawn
Version: 1, Version Date: 20/07/2026			



PERYTON HOMES Pty Ltd
177 Pulpit Rock Road, New Norfolk
Hobart TAS 7140

Designer: Ranjot Kaur
Mob. 0450 656 007
Email: ranjot@perytonhomes.com.au
Licence Number: 173530973

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TITLE

COVER SHEET

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Scale:	1 : 200	Client / Project Name	TAYLOR & BEESON PTY.LTD.	Job No:	TB_20
Date:	16.07.2026	Project Address	61 MAHONEY DRIVE, AUSTINS FERRY	Sheet No:	00
Drawn by:	RK				

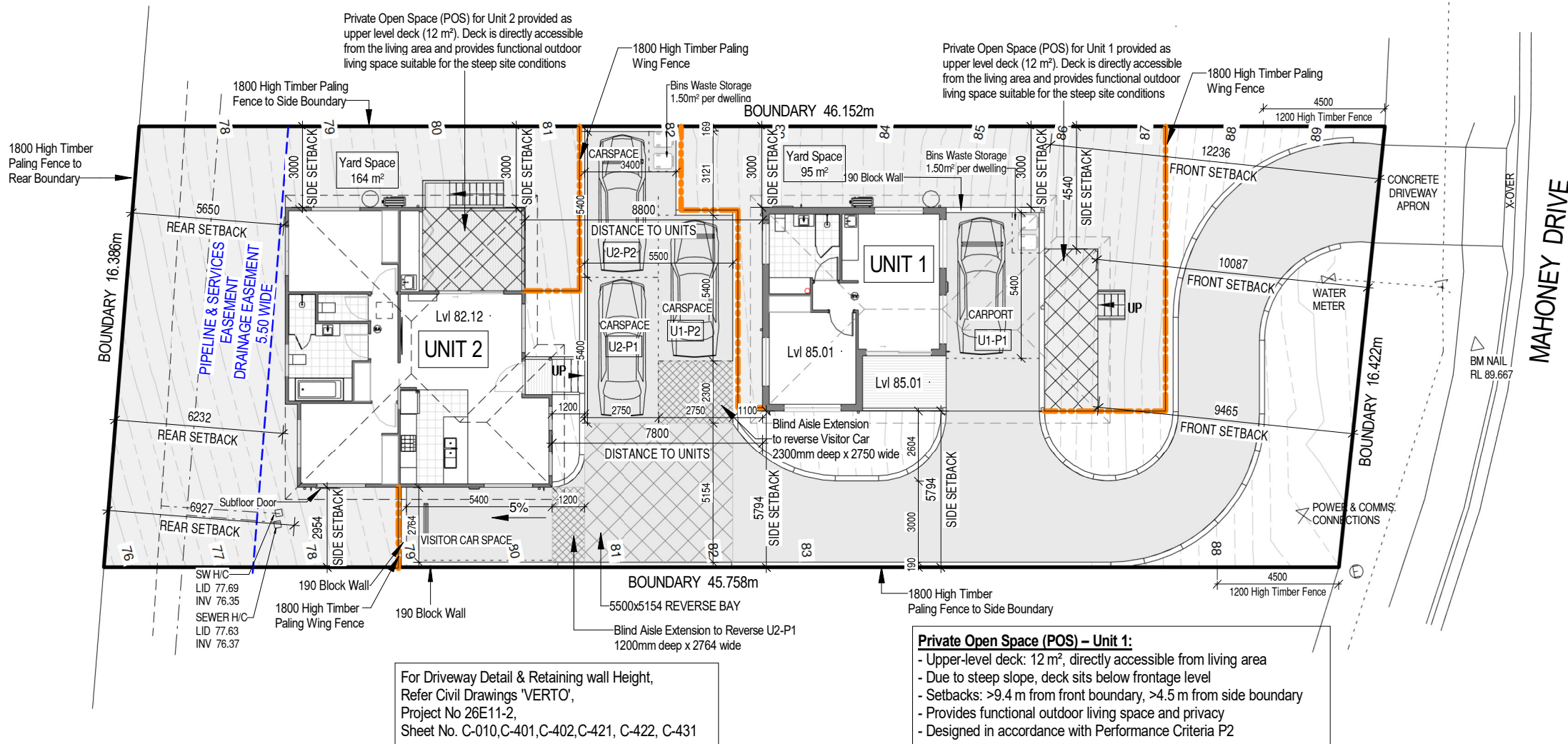
U1-Lower Fl	85.010
U1-Lower Fl CL	87.410
U1-Upper Fl	87.710
U1-CL	90.110

U2-Ground Floor	82.120
U2-CL	84.520

**GLENORCHY CITY COUNCIL
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AREA SCHEDULE

Site Area	: 751 m²
U1-Ground Floor	: 44.9 m²
U1-First Floor	: 78.6 m²
U1-Total	: 123.5 m²
PORCH/DECK	: 15.3 m²
Carport	: 27.4 m²
U2-Ground Floor	: 82.6 m²
PORCH/DECK	: 18.3 m²
Total Floor U1+U2	: 206.1 m²

NOTE:
Blockwork walls Detail as per Structural Engineer's details.

NOTE:
Builders' responsibility to protect stormwater pipes during construction.

GLAZING NOTE:
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Residential Density – Unit 1 & 2:

- Lot area : 751 m² = 375.5 m² per dwelling (exceeds 325 m² requirement)
- Lot frontage : 16.422 m
- Site is steeply sloping
- Driveway crosses lot side-to-side to achieve safe and functional gradient
- Acceptable Solution A1 not strictly met due to slope and access
- Satisfies Performance Criteria P1:**
- Two dwellings accommodated with adequate private open space
- Solar access and internal amenity maintained
- Safe vehicle access and circulation

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SITE PLAN

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Scale: 1 : 200	Client / Project Name TAYLOR & BEESON PTY.LTD.	Job No: TB_20
Date: 16.07.2026	Project Address 61 MAHONEY DRIVE, AUSTINS FERRY	Sheet No: 01
Drawn by: RK		

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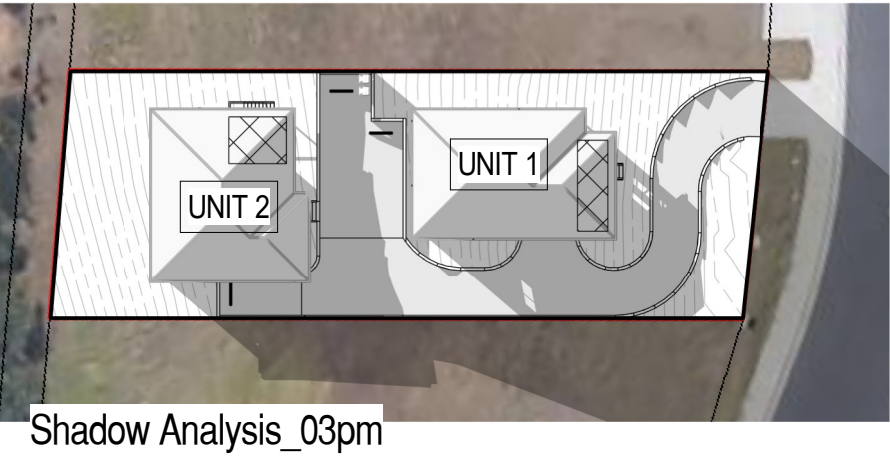
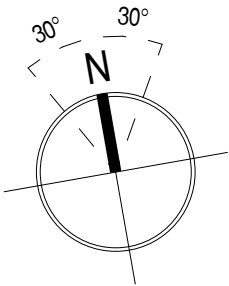
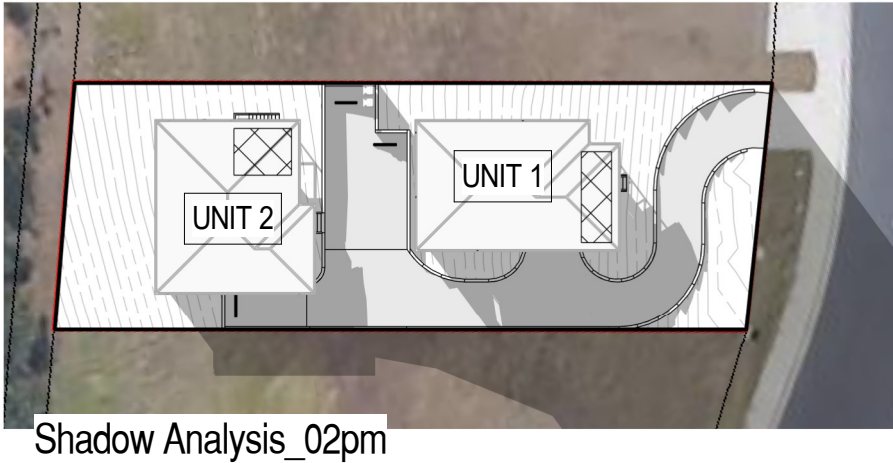
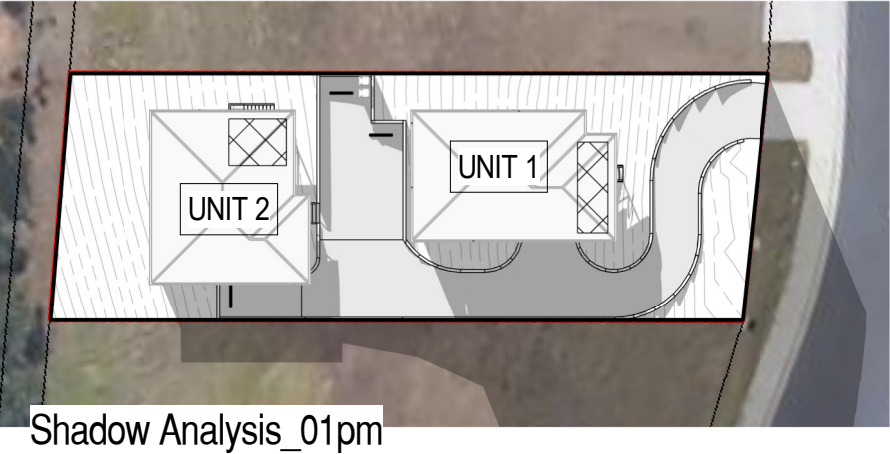
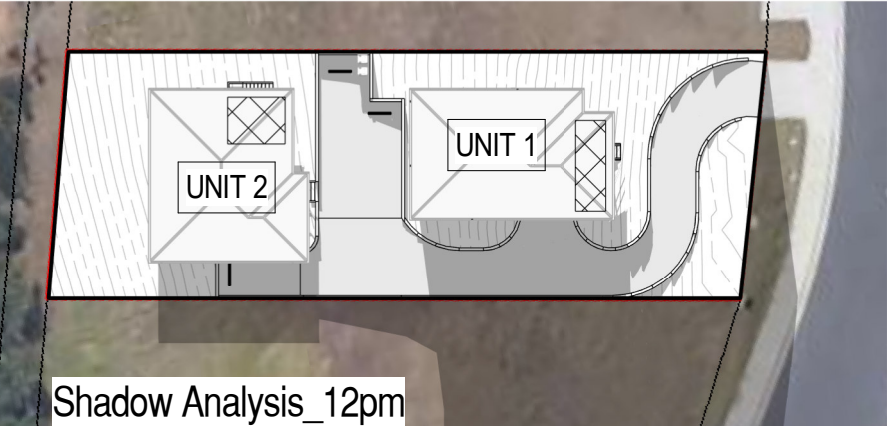
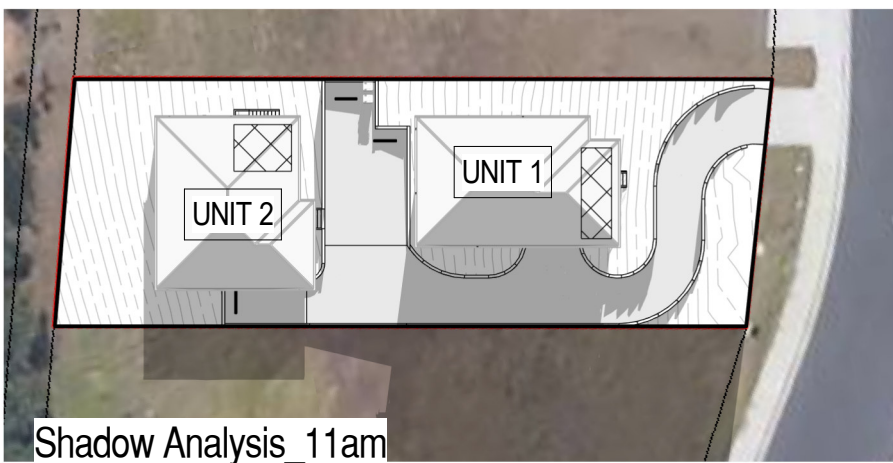
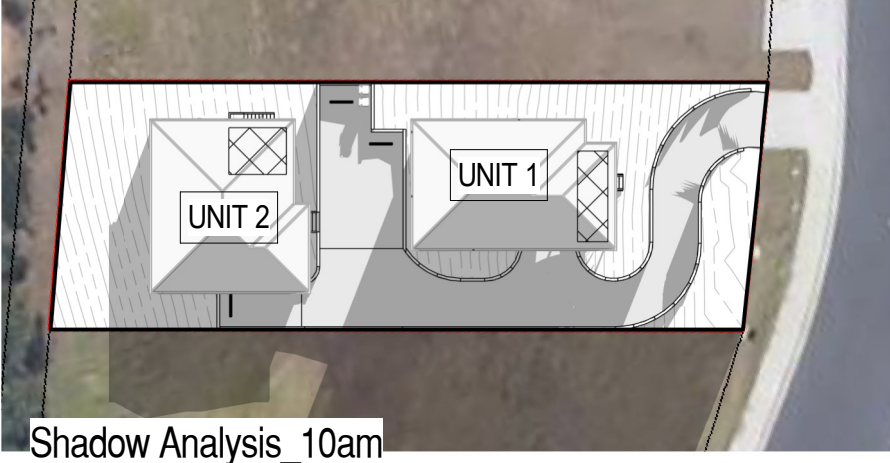
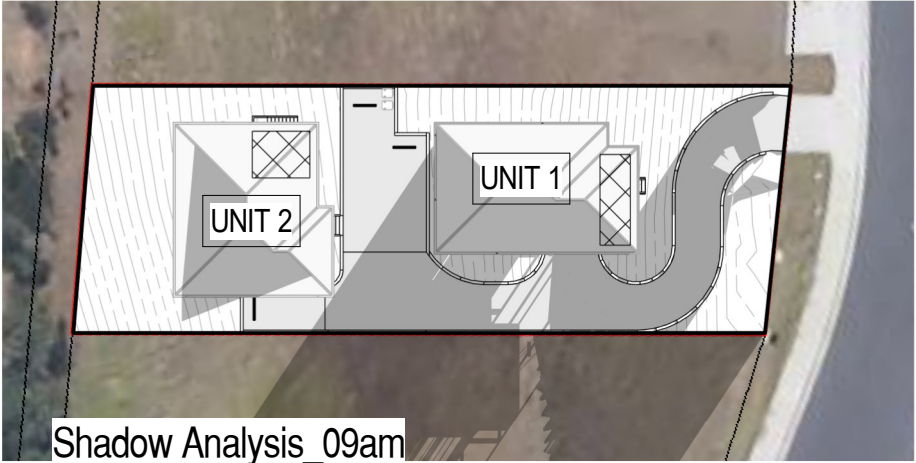
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1	DA PLANS	17.03.2026	RK
Document Set ID: 364147		Date	Drawn
Version: 1, Version Date: 20/07/2026			

PERYTON HOMES
Architectural Service Provider

PERYTON HOMES Pty Ltd
177 Pulpit Rock Road, New Norfolk
Hobart TAS 7140

Designer: Ranjot Kaur
Mob. 0450 656 007
Email: ranjot@perytonhomes.com.au
Licence Number: 173530973



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PLANNING SERVICES**

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NOTE:
Shadow diagram based on 21 June (winter solstice)
showing maximum overshadowing

GLAZING NOTE:
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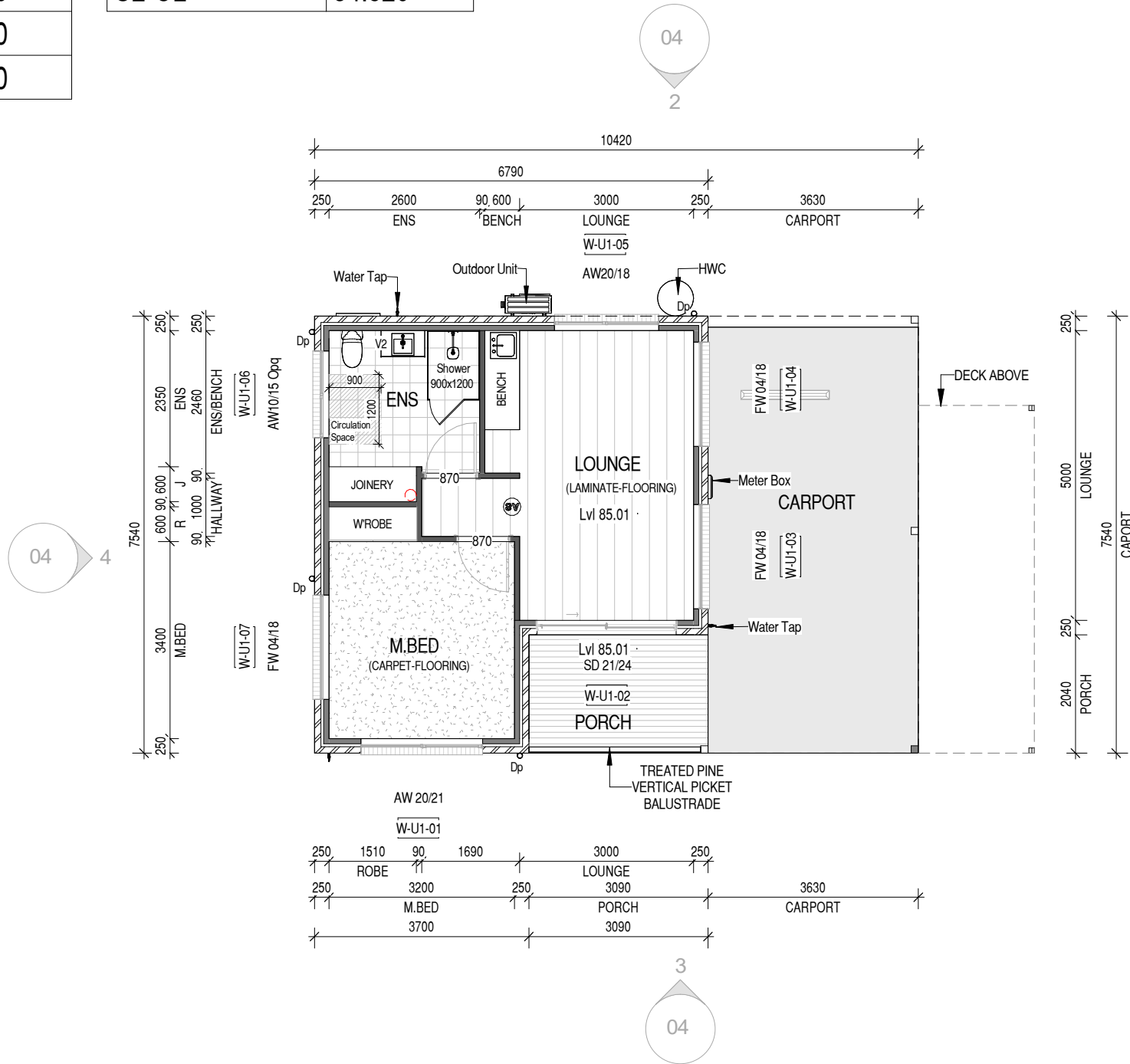
TITLE
SHADOW ANALYSIS

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Scale: 1 : 500	Client / Project Name TAYLOR & BEESON PTY.LTD.	Job No: TB_20
Date: 16.07.2026	Project Address 61 MAHONEY DRIVE, AUSTINS FERRY	Sheet No: 01 A
Drawn by: RK		

U1-Lower Fl	85.010
U1-Lower Fl CL	87.410
U1-Upper Fl	87.710
U1-CL	90.110

U2-Ground Floor	82.120
U2-CL	84.520



U1-Window Schedule								
Number	Level	Type	Size	Glass	Height	Width	Sill Height	Head Height
-U1-01	U1-Lower FL	AW	20-21	Clear	2000	2100	160	2160
-U1-02	U1-Lower FL	SD	21-24	Clear	2100	2400	0	2100
-U1-03	U1-Lower FL	FW	04-18	Clear	400	1800	1760	2160
-U1-04	U1-Lower FL	FW	04-18	Clear	400	1800	1760	2160
-U1-05	U1-Lower FL	AW	20-18	Clear	2000	1800	160	2160
-U1-06	U1-Lower FL	AW	10-15	Opaque	1000	1500	1160	2160
-U1-07	U1-Lower FL	AW	04-18	Clear	400	1800	1760	2160
-U1-08	U1-Upper FL	AW	20-18	Clear	2000	1800	100	2100
-U1-09	U1-Upper FL	AW	10-15	Opaque	1000	1500	1100	2100
-U1-10	U1-Upper FL	AW	20-27	Clear	2000	2700	100	2100
-U1-11	U1-Upper FL	SD	21-27	Clear	2100	2700	0	2100
-U1-12	U1-Upper FL	AW	20-09	Clear	2000	900	100	2100
-U1-13	U1-Upper FL	AW	20-09	Clear	2000	900	100	2100
-U1-14	U1-Upper FL	AW	20-18	Clear	2000	1800	100	2100
-U1-15	U1-Upper FL	AW	20-06	Clear	2000	600	100	2100
-U1-16	U1-Upper FL	AW	15-21	Clear	1500	2100	600	2100
-U1-17	U1-Upper FL	AW	06-18	Clear	600	1800	1500	2100
-U1-18	U1-Upper FL	AW	06-18	Clear	600	1800	1500	2100
Grand total: 18								

Vanity Legend	
VB	450 mm
V1	600 mm
V2	750 mm
V3	900 mm
V4	1200 mm
V5	1500 mm

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

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AREA SCHEDULE

Site Area	:	751 m ²
U1-Ground Floor	:	44.9 m ²
U1-First Floor	:	78.6 m ²
U1-Total	:	123.5 m²

PORCH/DECK	:	15.3 m ²
Carport	:	27.4 m ²

U2-Ground Floor	:	82.6 m²
PORCH/DECK	:	18.3 m ²

Total Floor U1+U2	:	206.1 m²
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NOTE:
Dp DownPipe

GLAZING NOTE:
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177 Pulpit Rock Road, New Norfolk
Hobart TAS 7140

Designer: Ranjot Kaur
Mob. 0450 656 007
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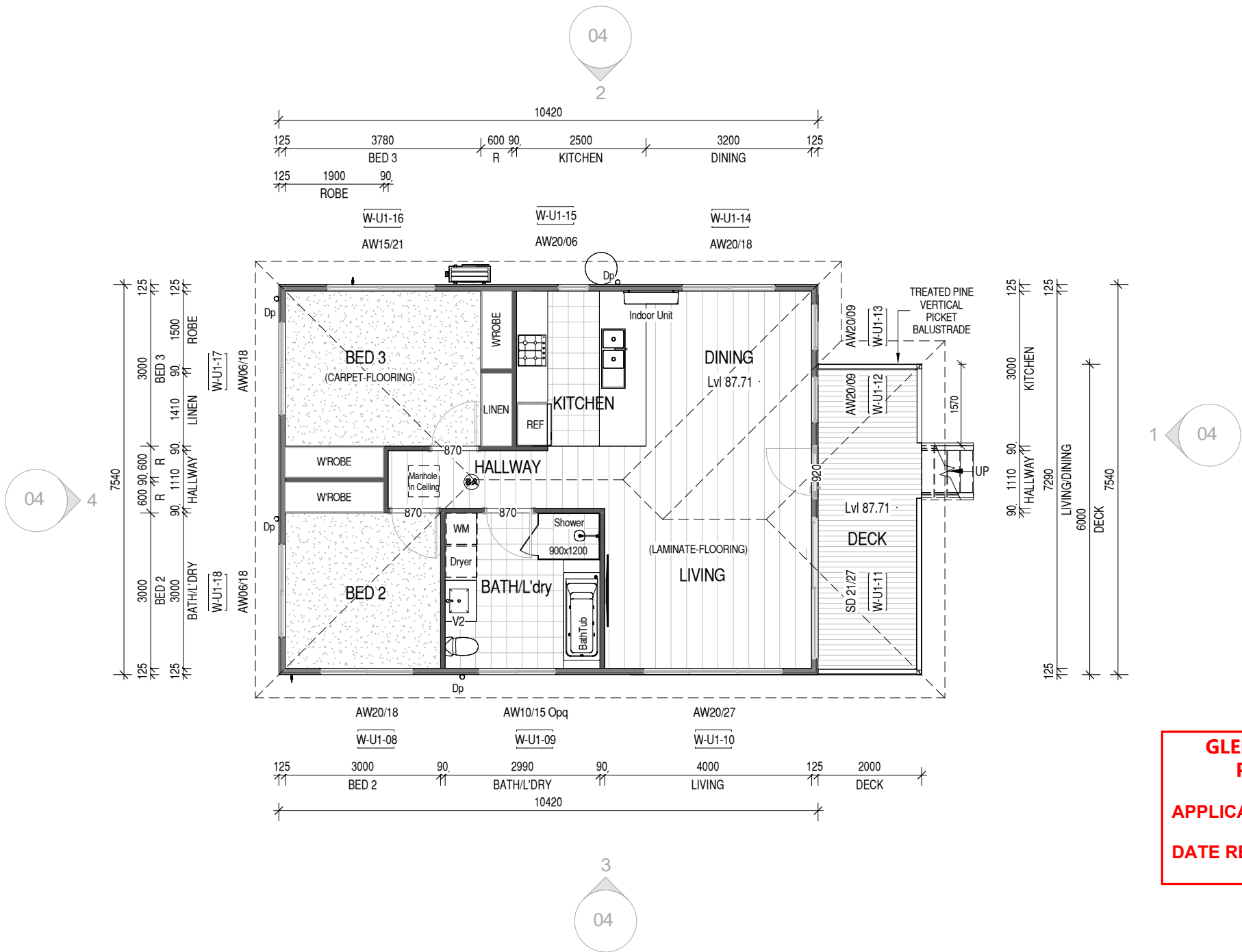
TITLE
U1-LOWER FLOOR PLAN

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Scale: 1 : 100	Client / Project Name TAYLOR & BEESON PTY.LTD.	Job No: TB_20
Date: 16.07.2026	Project Address 61 MAHONEY DRIVE, AUSTINS FERRY	Sheet No: 02
Drawn by: RK		

U1-Lower Fl	85.010
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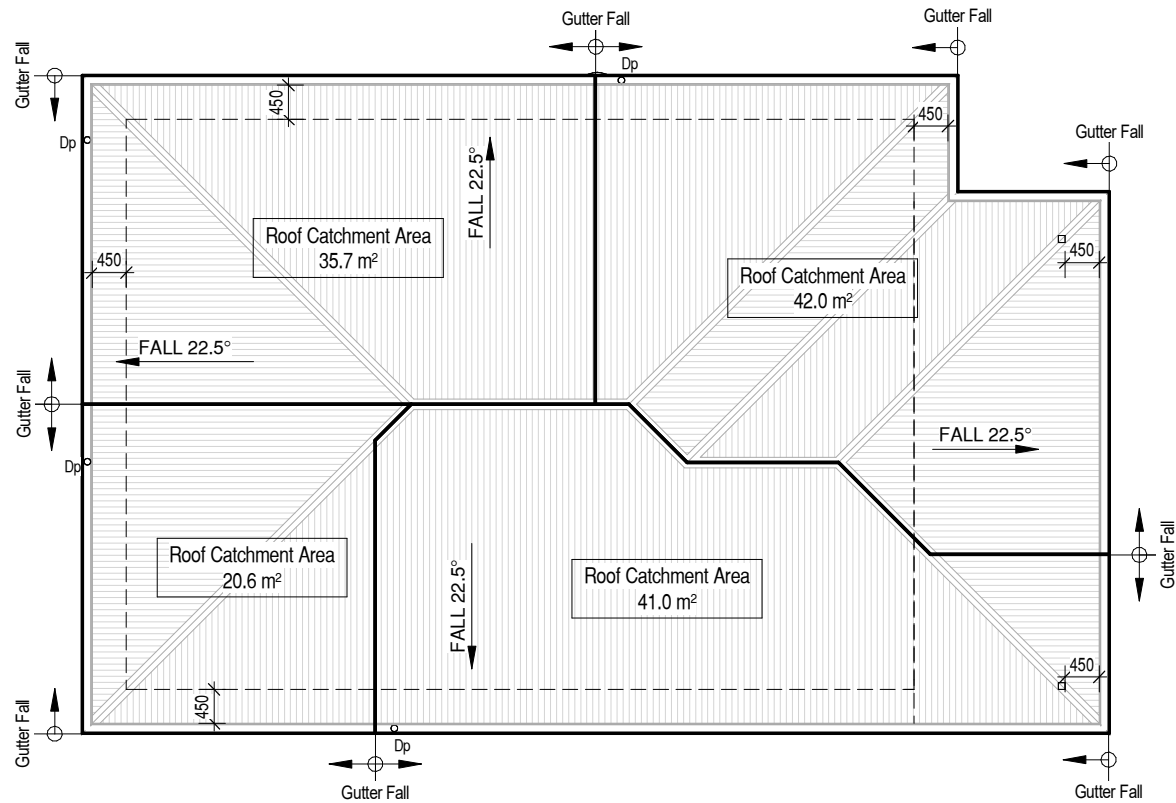
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TITLE
U1-UPPER FLOOR PLAN

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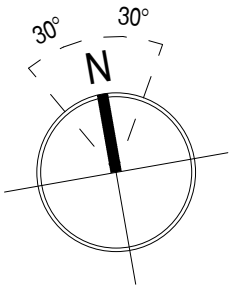
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U1-ROOF CATCHMENT AREA CALCULATION		
Ah	115.1 m²	Plan area of roof including 115mm Quad gutter (m²)
Ac	139.3 m²	catchment area of a roof - Ah x slope factor (m²)
Gutter Type	A	effective cross-sectional area 6500 mm² (determined from NCC Table 7.4.3b)
DRI	85	Design Rainfall intensity Hobart
Acdp	70	Max.catchment area of roof per 90mm downpipe(determined from NCC Table 7.4.3d)
Downpipes required	2	Ac / Acdp
Downpipes provided	4	
NOTE: Roof catcment areas to comply with AS3500.3		

IMPORTANT NOTE:
The position and quantity of downpipes are not to be altered without consulting with designer. Areas shown are surface / catchment areas NOT plan areas. Where downpipes are further than 1.2m away from valley, refer to NCC2022 7.3.5 (2). All roof areas shown are indicative only and not to be used for any further purpose.



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DATE: _____

NOTE:
Dp DownPipe

GLAZING NOTE:
All windows are Double glazed

BAL : TBC

3	Updated as Civil plans	16.07.2026	RK
2	Modified as Council PLN-26-044	10.06.2026	RK
1	DA PLANS	17.03.2026	RK
Document Set ID: 364147		Description	Date
Version: 1, Version Date: 20/07/2026		Drawn	



PERYTON HOMES Pty Ltd
177 Pulpit Rock Road, New Norfolk
Hobart TAS 7140

Designer: Ranjot Kaur
Mob. 0450 656 007
Email: ranjot@perytonhomes.com.au
Licence Number: 173530973

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TITLE

U1- ROOF PLAN

Scale: 1 : 100

Date: 16.07.2026

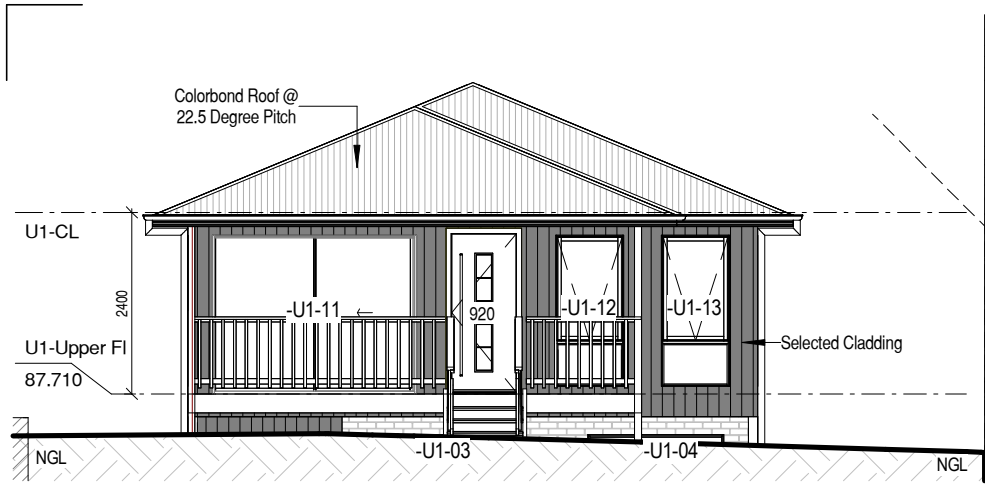
Drawn by: RK

Client / Project Name
TAYLOR & BEESON PTY.LTD.

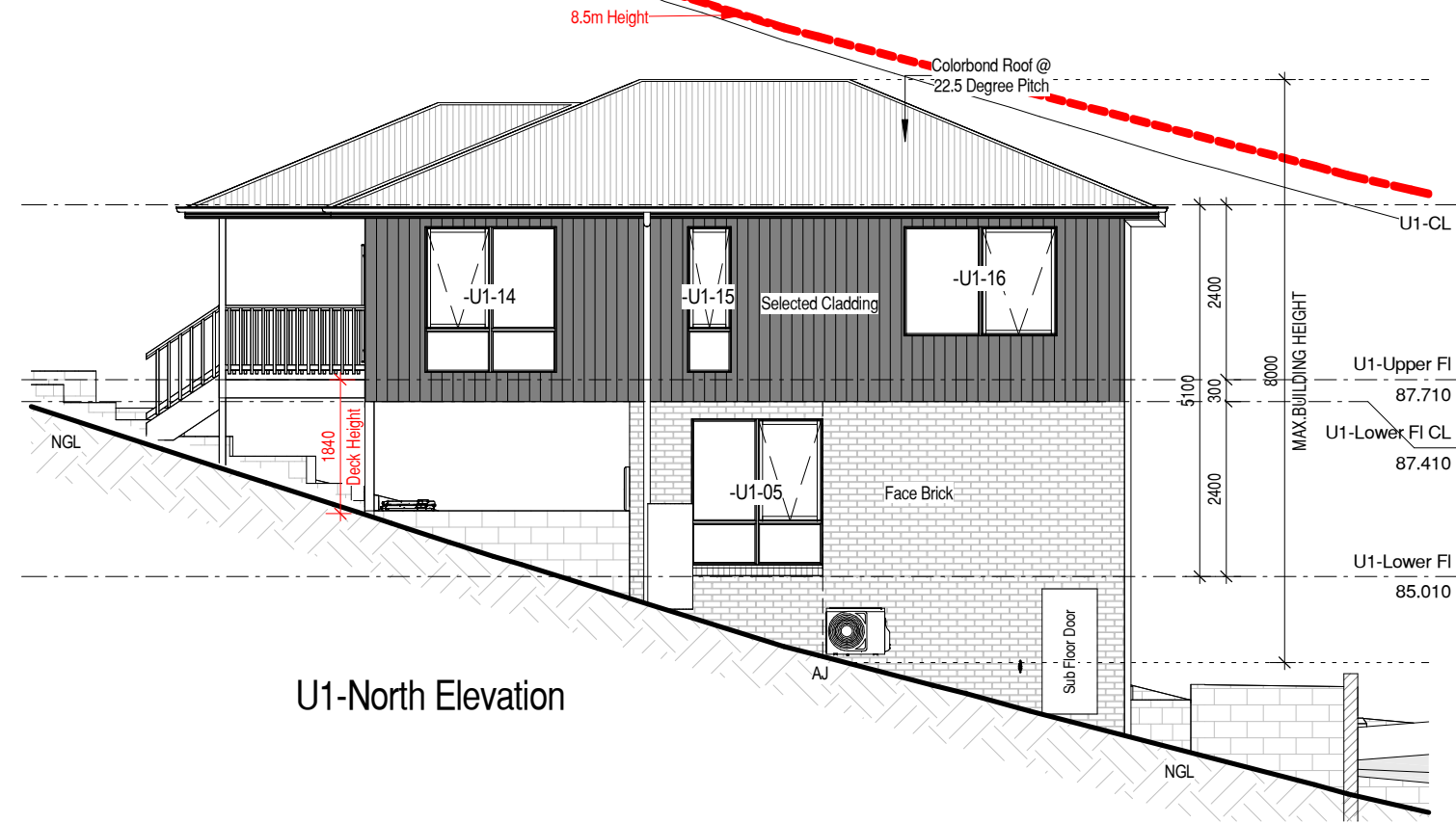
Project Address
**61 MAHONEY DRIVE,
AUSTINS FERRY**

Job No:
TB_20

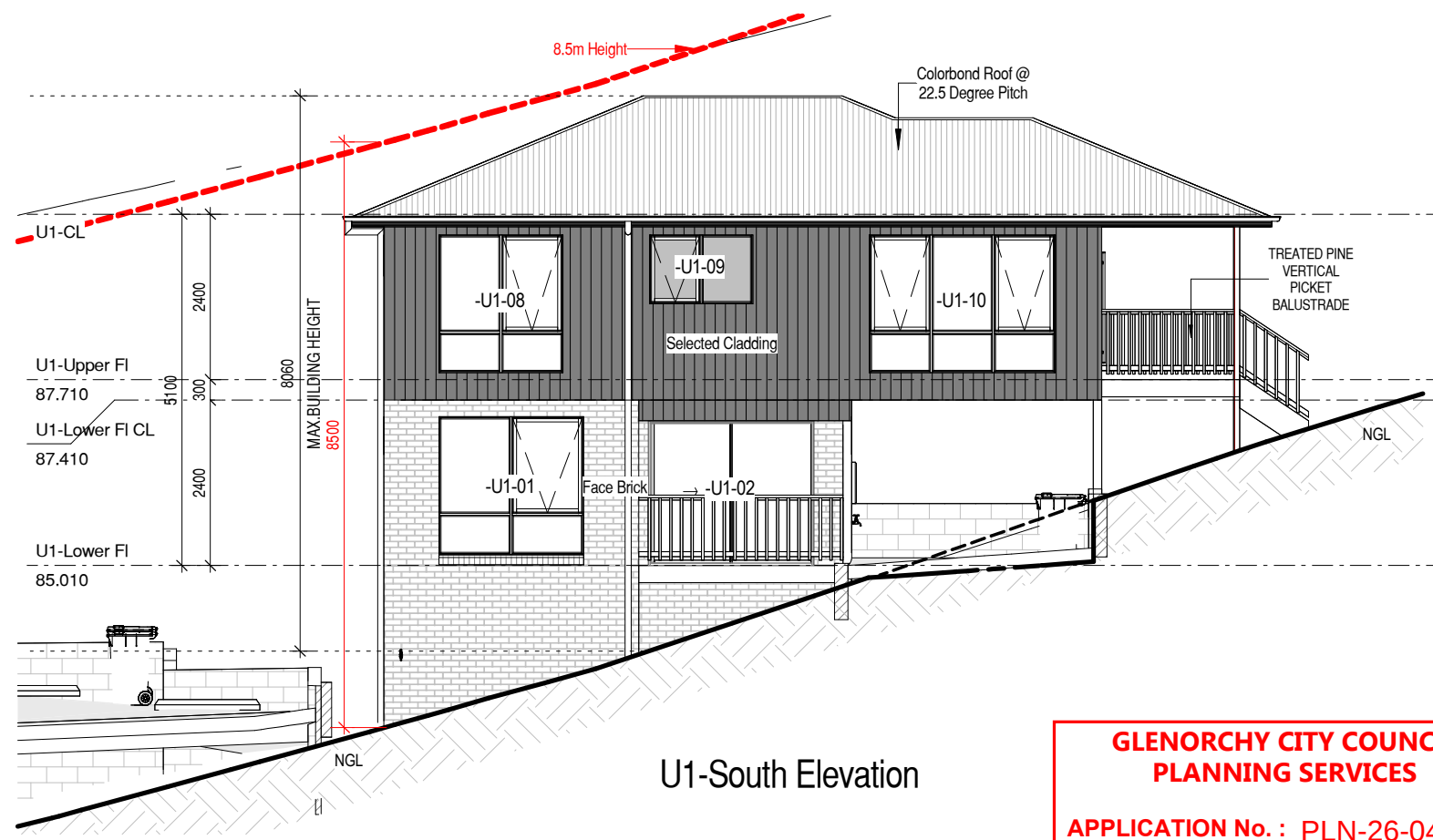
Sheet No:
03



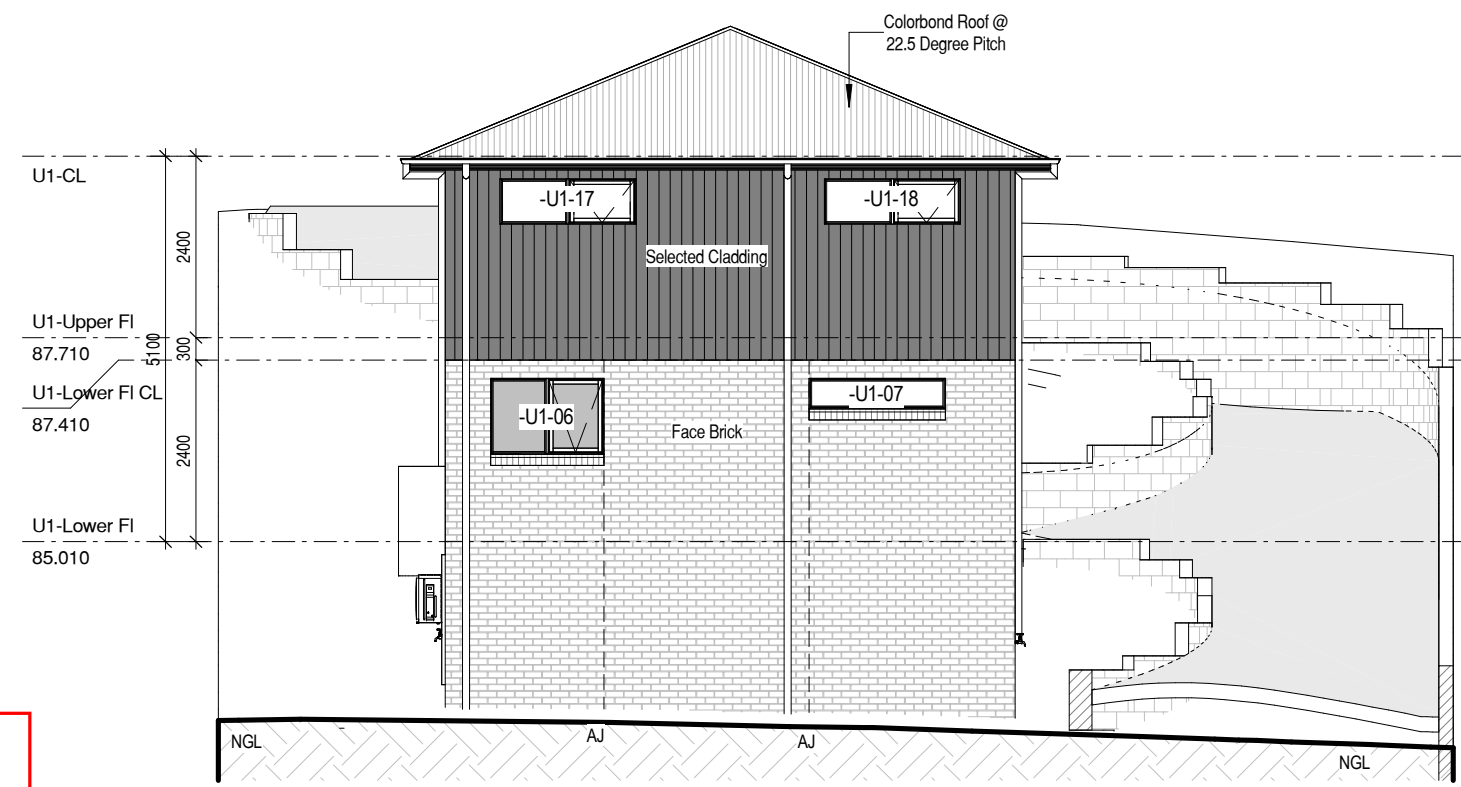
U1-East Elevation



U1-North Elevation



U1-South Elevation



U1-West Elevation

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-26-044

DATE RECEIVED: 16 July 2026

**FOR BUILDING ENVELOPE OUTLINE,
Refer Sheet U1-SECTION, Sheet no-04 A**

Provide vertical articulation joints (AJ) at maximum 6.0m centres, continuous from the concrete footing through the subfloor masonry (below FFL) to the top of the brickwork/soffit. Align joints with superstructure AJs where applicable as per NCC/BCA and AS 4773 requirements.

GLAZING NOTE:
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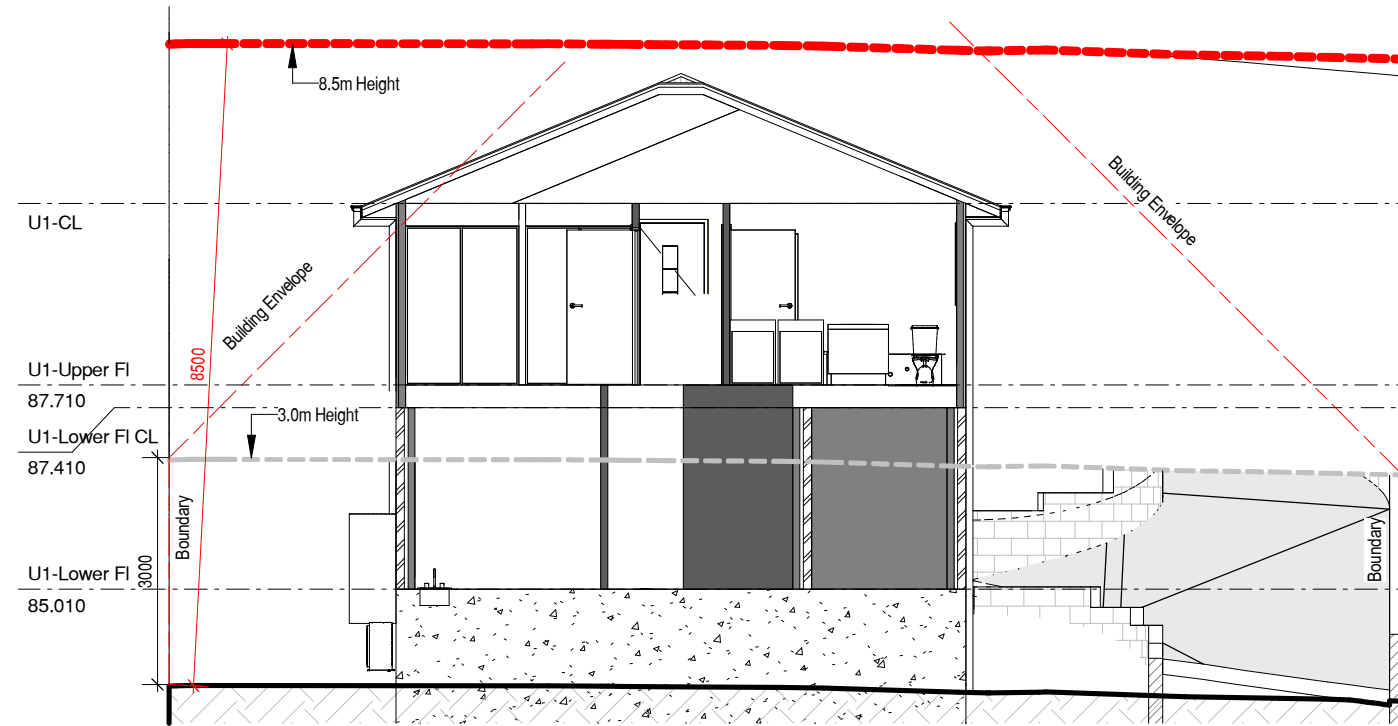
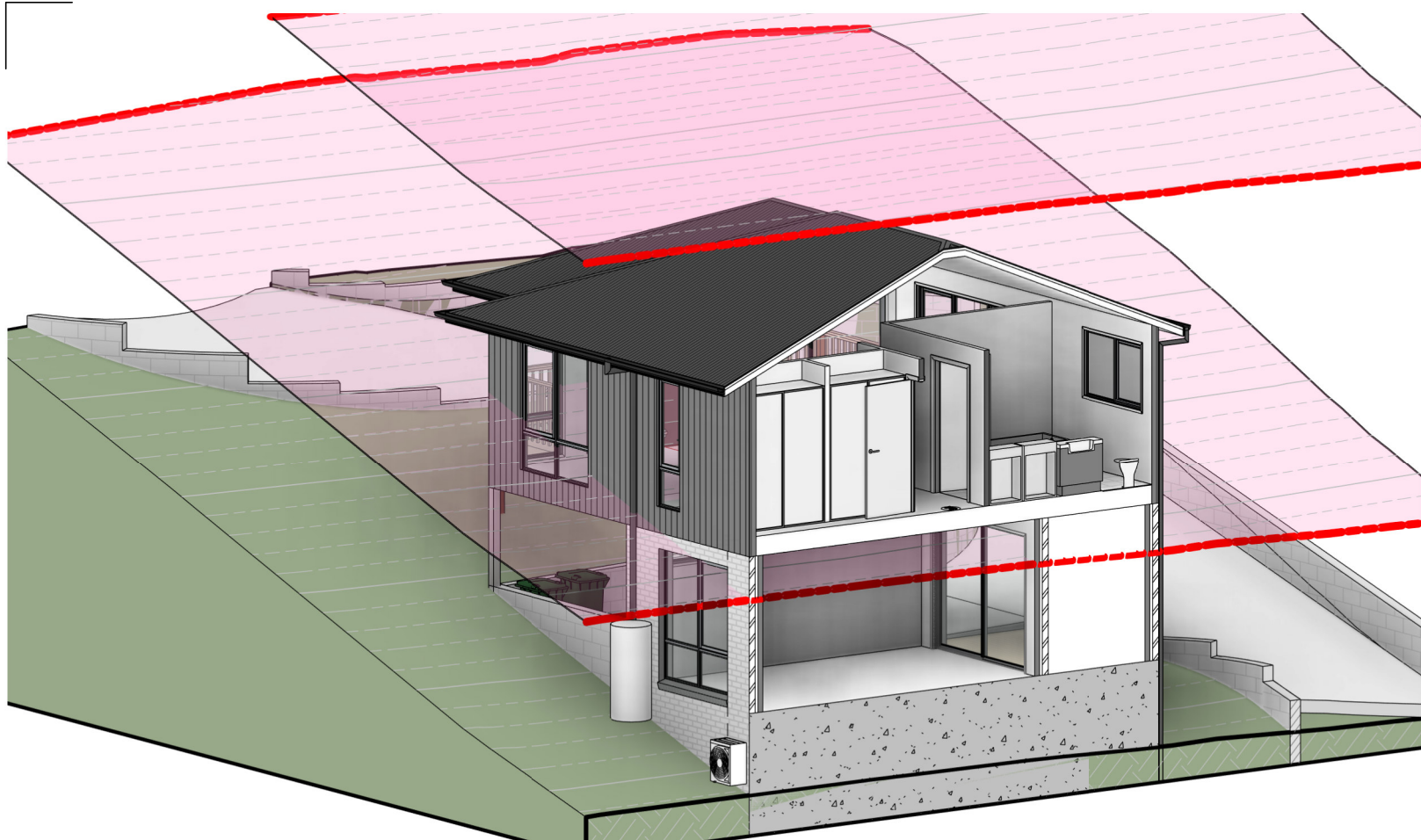


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TITLE
U1- ELEVATIONS

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Scale: 1 : 100	Client / Project Name TAYLOR & BEESON PTY.LTD.	Job No: TB_20
Date: 16.07.2026	Project Address 61 MAHONEY DRIVE, AUSTINS FERRY	Sheet No: 04
Drawn by: RK		



UNIT 1-Section A-A

UNIT 1-SECTION A-A

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-26-044

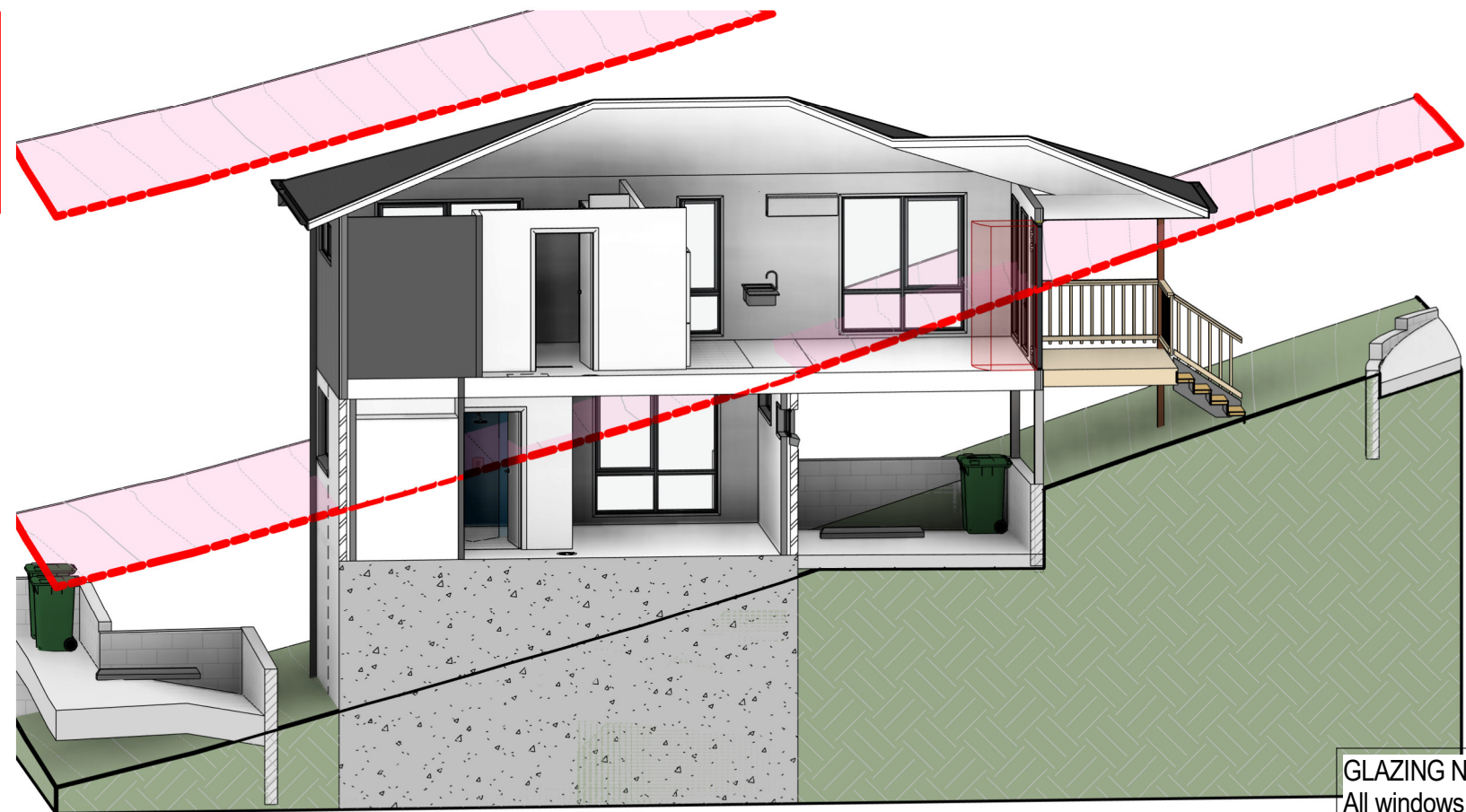
DATE RECEIVED: 16 July 2026

Building Envelope:

Dashed lines on this sheet indicate the building envelope limits in accordance with the Tasmanian Planning Scheme – General Residential Zone (Clause 8.4.2). The lower dashed line represents the 3.0 m vertical height at the boundary, and the upper dashed line represents the maximum envelope height for the hip roof edge (8.5 m from natural ground).

The building, including walls and roof form, is contained within these envelope limits. Minor wall elements (approximately 300×300) are fully within the envelope. The 3D and 2D sections illustrate compliance with the building envelope when measured from natural ground level at the site boundaries.

These sections are for envelope demonstration purposes only; detailed construction sections will be provided in the working drawings.



GLAZING NOTE:
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BAL : TBC

UNIT 1-SECTION A1-A1

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Designer: Ranjot Kaur
Mob. 0450 656 007
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TITLE

U1- SECTION

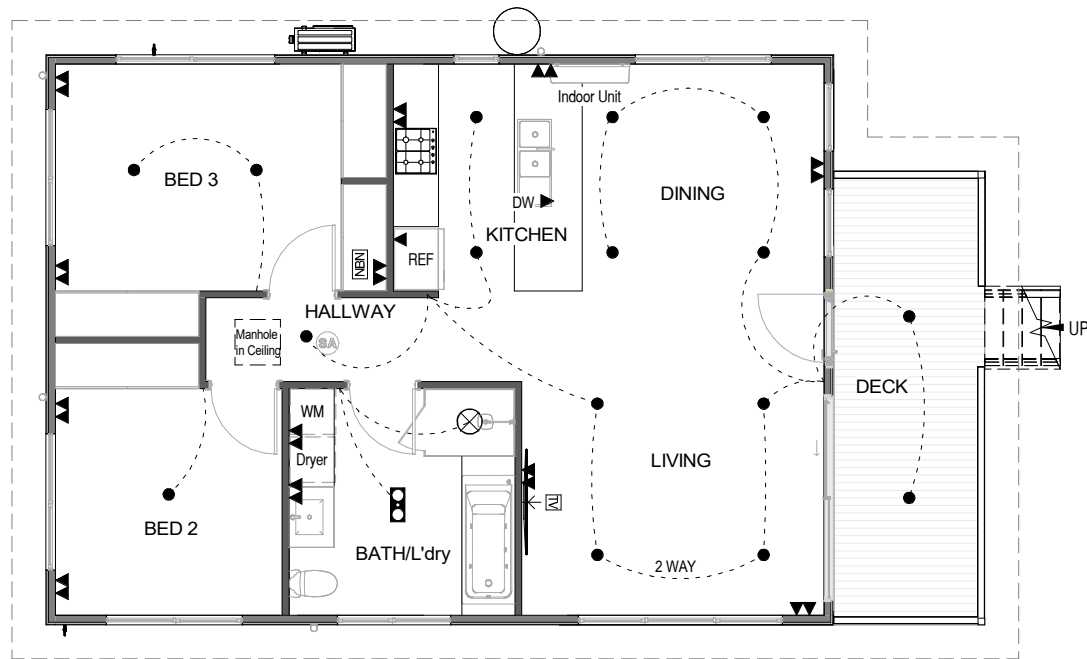
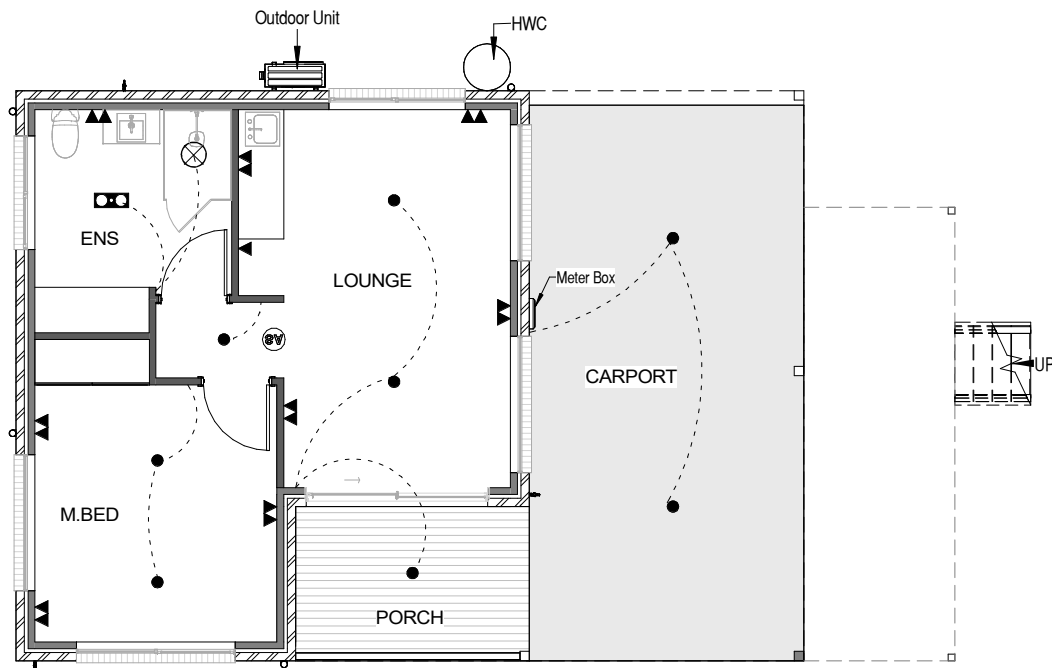
Scale: 1 : 100
Date: 16.07.2026
Drawn by: RK

Client / Project Name
TAYLOR & BEESON PTY.LTD.

Project Address
**61 MAHONEY DRIVE,
AUSTINS FERRY**

Job No:
TB_20

Sheet No:
04 A

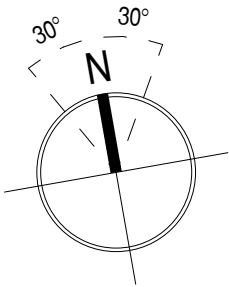


U1- ELECTRICAL LEGEND		
		No.s
▼	Single GPOs	3
▼▼	Double GPOs	20
[NBN]	Phone / NBN point	1
[TV] →	TV point	1
●	LED Downlight	24
3 Tastics	(2 heat lamps & 1 Light)	2
⊗	Mechanical Exhaust Fan	2
⊙ SA	Smoke Alarm	2

NOTES:
- Rangehood to be ducted to outside
- External NBN under meterbox [where applicable]
- Where Exhaust fans are provided with no other form of ventilation, fan must be activated simultaneously with light
- Smoke alarm to be connected to the mains power supply and possess a battery back-up and be interconnected; to provide a common alarm throughout the building, and be to AS 3786-2014,

U1-Electrical Lower Floor

U1-Electrical Upper Floor



**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-26-044

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GLAZING NOTE:
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BAL : TBC

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TITLE
**U1-ELECTRICAL_LOWER &
UPPER FLOOR**

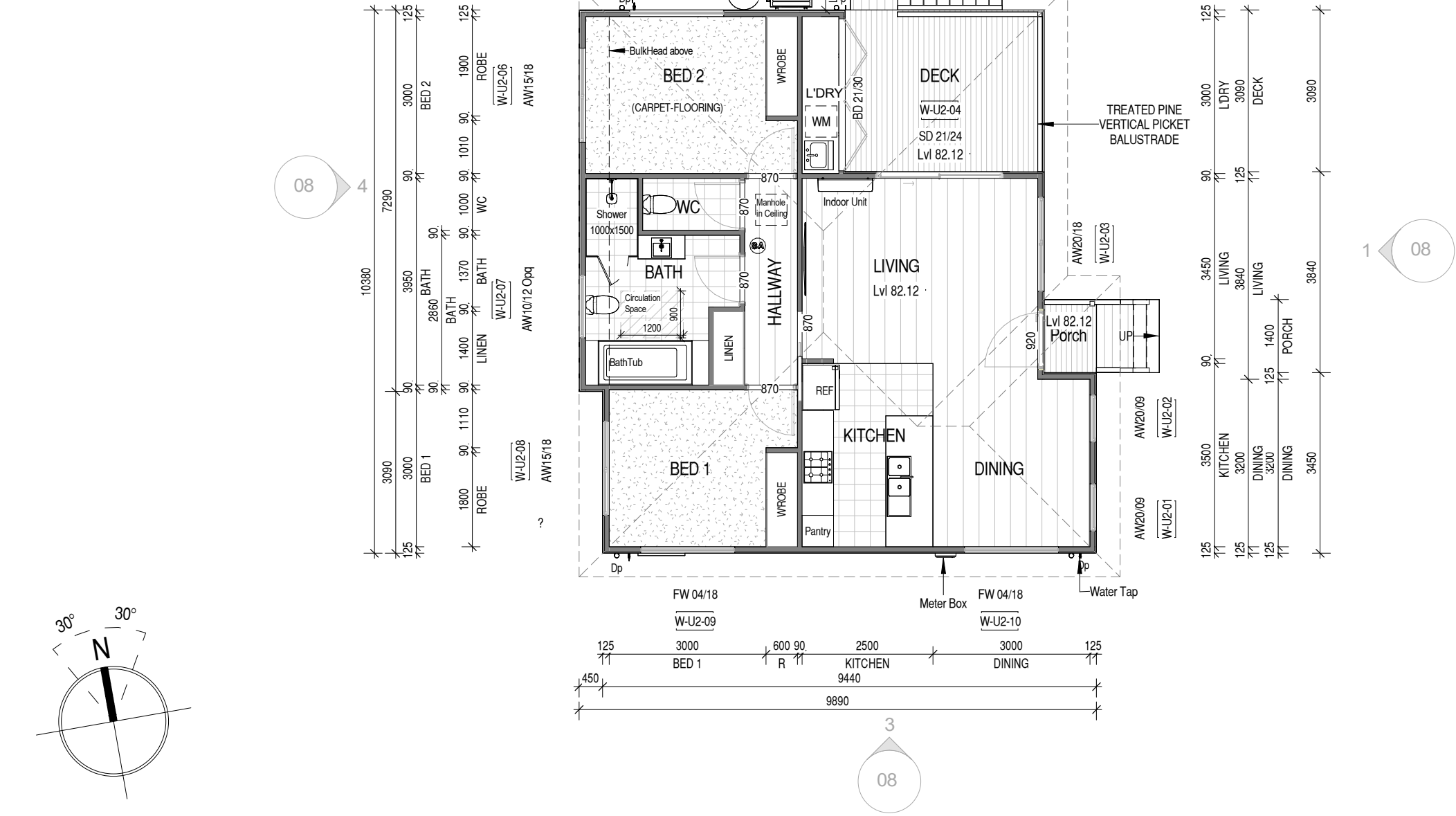
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Scale: 1 : 100	Client / Project Name TAYLOR & BEESON PTY.LTD.	Job No: TB_20
Date: 16.07.2026	Project Address 61 MAHONEY DRIVE, AUSTINS FERRY	Sheet No: 05
Drawn by: RK		

U2-Ground Floor	82.120
U2-CL	84.520

U1-Lower Fl	85.010
U1-Lower Fl CL	87.410
U1-Upper Fl	87.710
U1-CL	90.110

U2-Window Schedule								
Number	Level	Type	Size	Glass	Height	Width	Sill Height	Head Height
-U2-01	Ground FL	AW	20-09	Clear	2000	900	100	2100
-U2-02	Ground FL	AW	20-09	Clear	2000	900	100	2100
-U2-03	Ground FL	AW	20-18	Clear	2000	1800	100	2100
-U2-04	Ground FL	SD	21-24	Clear	2160	2400	0	2160
-U2-05	Ground FL	FW	04-18	Clear	400	1800	1700	2100
-U2-06	Ground FL	AW	15-18	Clear	1500	1800	600	2100
-U2-07	Ground FL	AW	10-12	Opaque	1000	1200	1160	2160
-U2-08	Ground FL	AW	15-18	Clear	1500	1800	660	2160
-U2-09	Ground FL	FW	04-18	Clear	400	1800	1700	2100
-U2-10	Ground FL	FW	04-18	Clear	400	1800	1700	2100
Grand total: 10								



Vanity Legend	
VB	450 mm
V1	600 mm
V2	750 mm
V3	900 mm
V4	1200 mm
V5	1500 mm

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-26-044

DATE RECEIVED: 16 July 2026

AREA SCHEDULE

Site Area	:	751 m ²
U1-Ground Floor	:	44.9 m ²
U1-First Floor	:	78.6 m ²
U1-Total	:	123.5 m²
PORCH/DECK	:	15.3 m ²
Carport	:	27.4 m ²
U2-Ground Floor	:	82.6 m²
PORCH/DECK	:	18.3 m²
Total Floor U1+U2	:	206.1 m²

NOTE:
Dp DownPipe

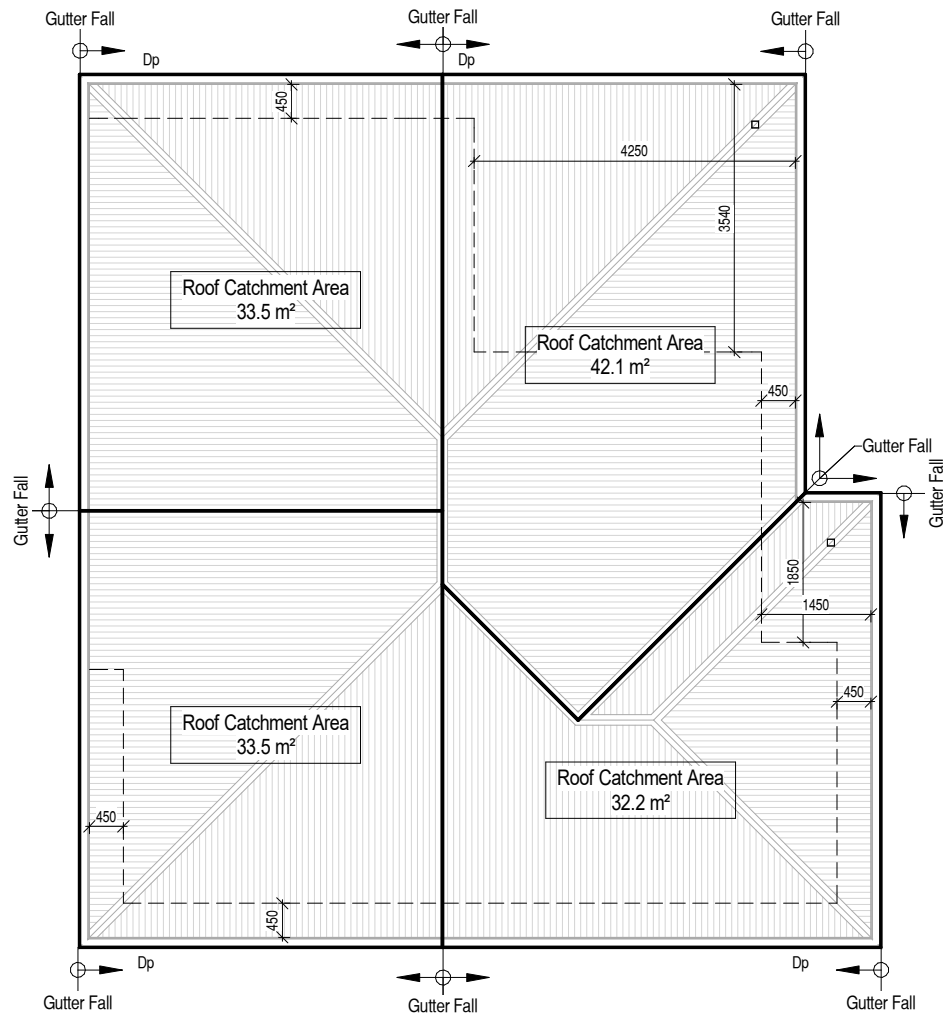
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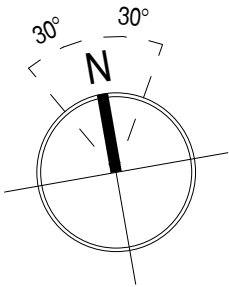
**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-26-044

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U2-ROOF CATCHMENT AREA CALCULATION		
Ah	116.8 m²	Plan area of roof including 115mm Quad gutter (m²)
Ac	141.3 m²	catchment area of a roof - Ah x slope factor (m²)
Gutter Type	A	effective cross-sectional area 6500 mm² (determined from NCC Table 7.4.3b)
DRI	85	Design Rainfall intensity Hobart
Acdp	70	Max.catchment area of roof per 90mm downpipe(determined from NCC Table7.4.3d)
Downpipes required	3	Ac / Acdp
Downpipes provided	4	
NOTE: Roof catcment areas to comply with AS3500.3		

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NOTE:
Dp DownPipe

GLAZING NOTE:
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BAL : TBC

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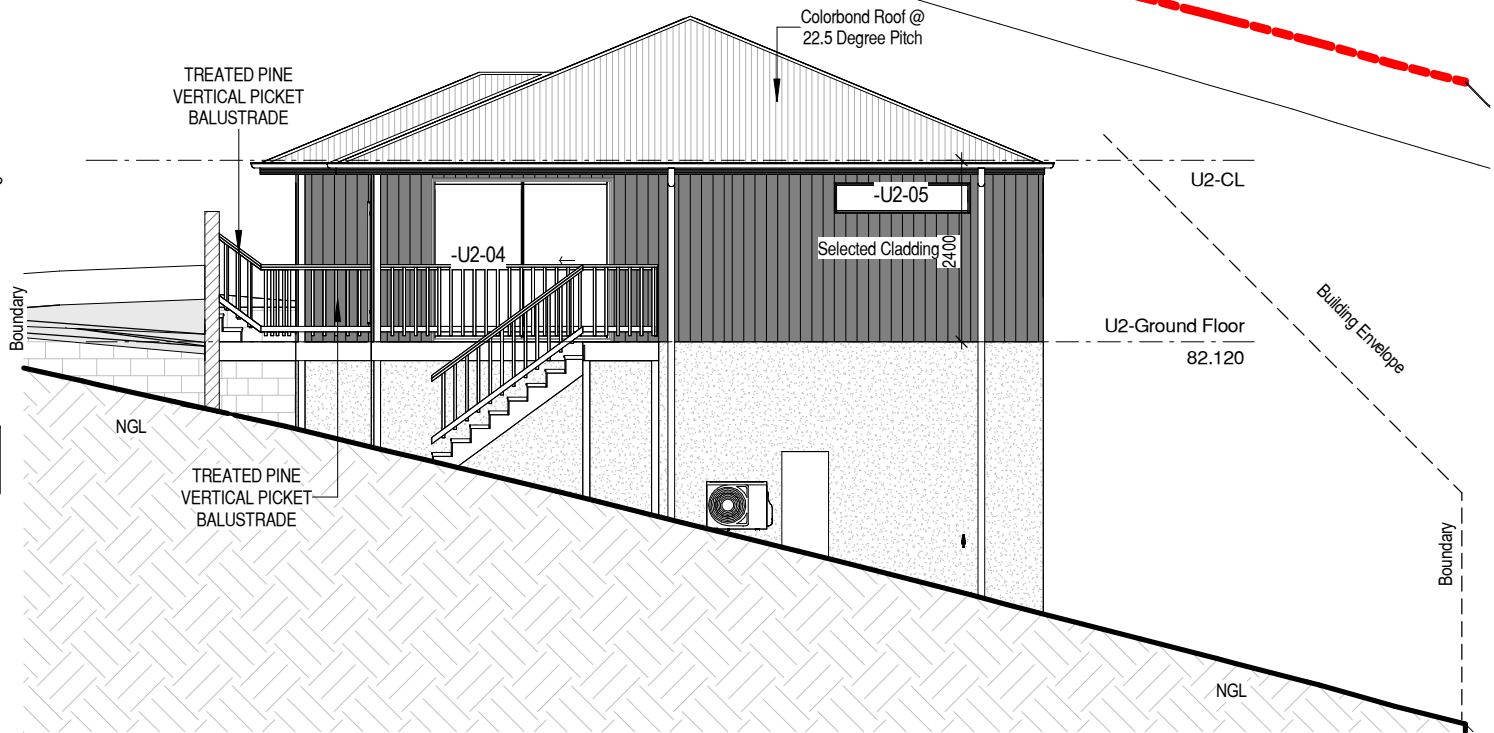
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U2- ROOF PLAN		TAYLOR & BEESON PTY.LTD.		TB_20	
Scale: 1 : 100		Project Address		Sheet No:	
Date: 16.07.2026		61 MAHONEY DRIVE, AUSTINS FERRY		07	
Drawn by: RK					

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U2-East Elevation

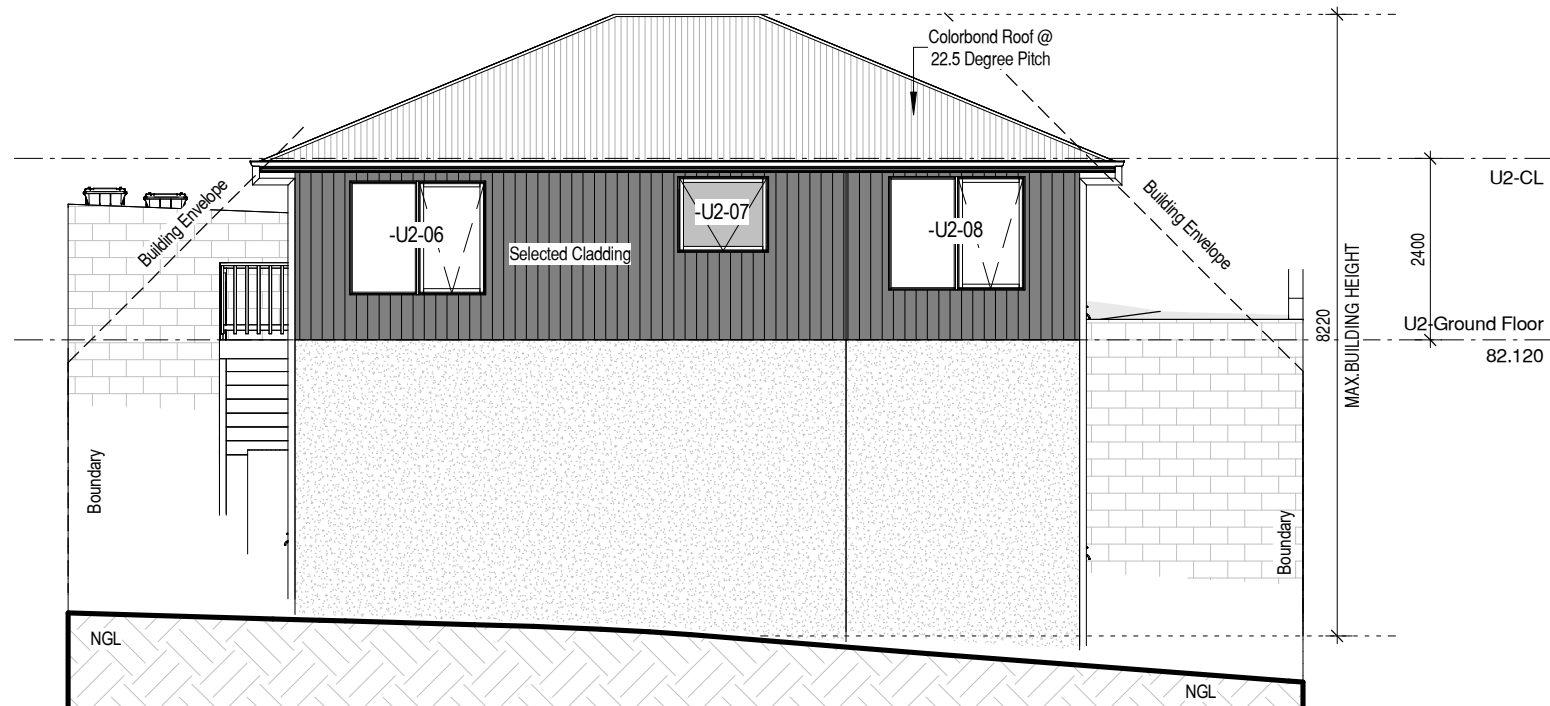


U2-North Elevation

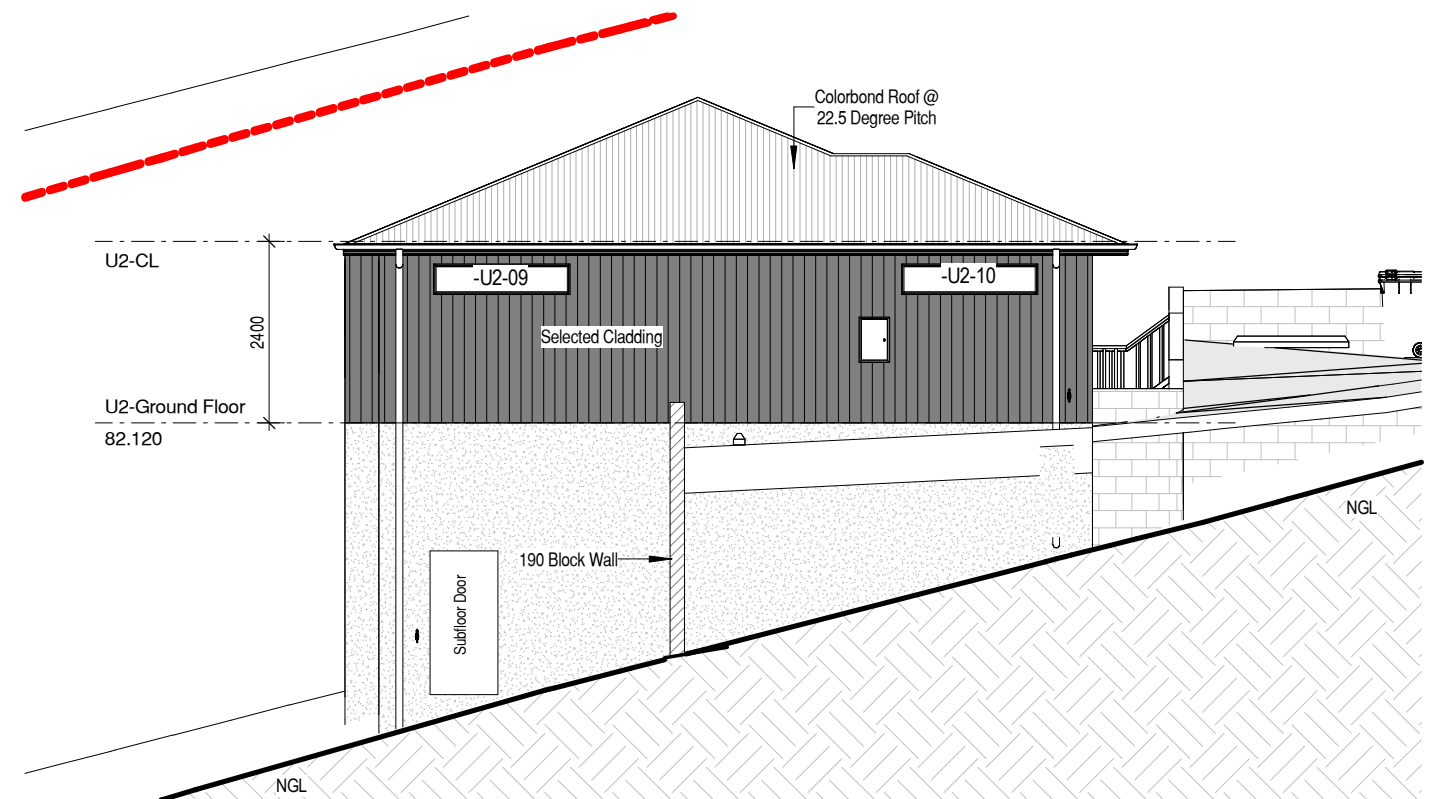
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PLANNING SERVICES**

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U2-West Elevation



U2-South Elevation

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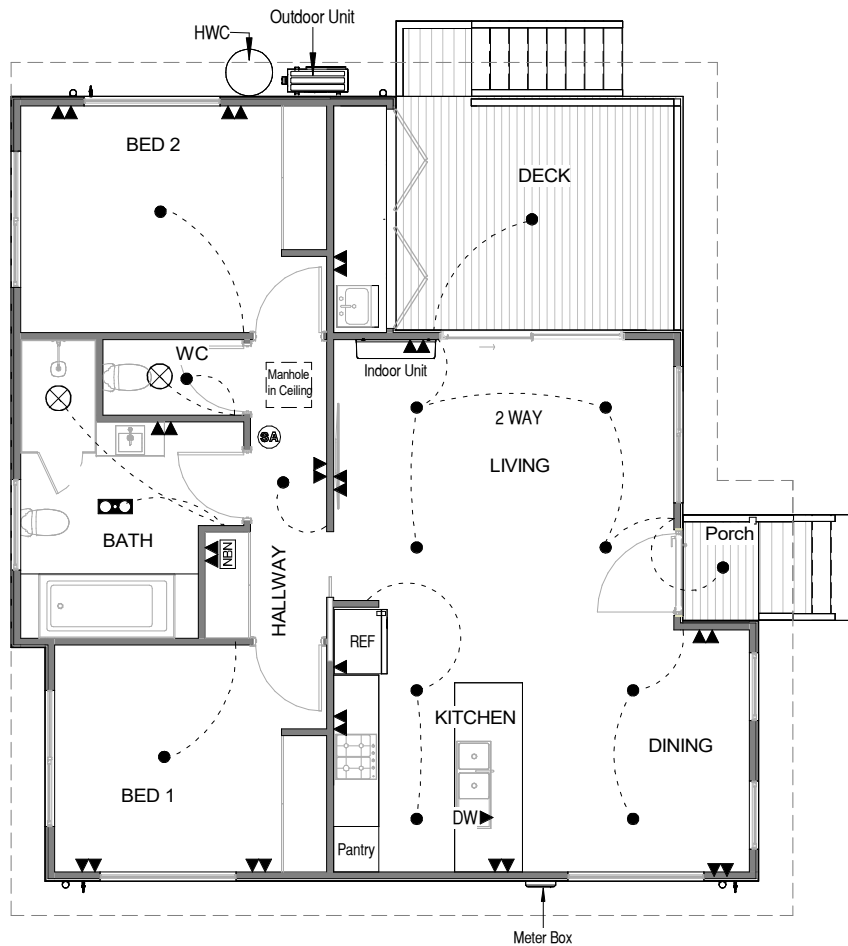


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U2- ELEVATIONS

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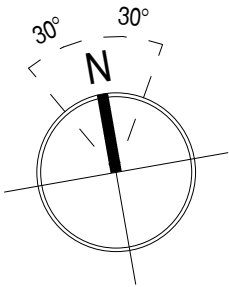
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Drawn by: RK		



U2- ELECTRICAL LEGEND		
		No.s
▼	Single GPOs	2
▼▼	Double GPOs	14
	Phone / NBN point	1
	TV point	1
●	LED Downlight	14
	3 Tastics (2 heat lamps & 1 Light)	1
	Mechanical Exhaust Fan	2
	Smoke Alarm	1

NOTES:

- Rangehood to be ducted to outside
- External NBN under meterbox [where applicable]
- Where Exhaust fans are provided with no other form of ventilation, fan must be activated simultaneously with light
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1	DA PLANS	17.03.2026	RK



PERYTON HOMES
Architectural Service Provider

PERYTON HOMES Pty Ltd
177 Pulpit Rock Road, New Norfolk
Hobart TAS 7140

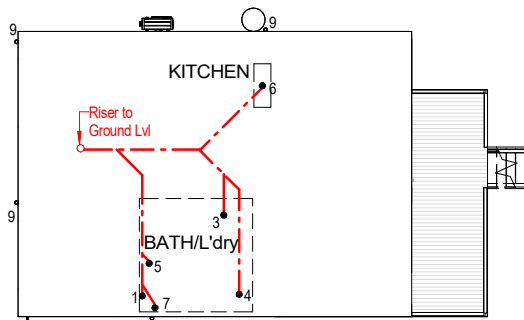
Designer: Ranjot Kaur
Mob. 0450 656 007
Email: ranjot@perytonhomes.com.au
Licence Number: 173530973

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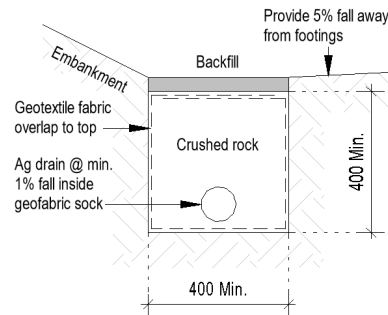
TITLE
**U2-ELECTRICAL_GROUND
FLOOR**

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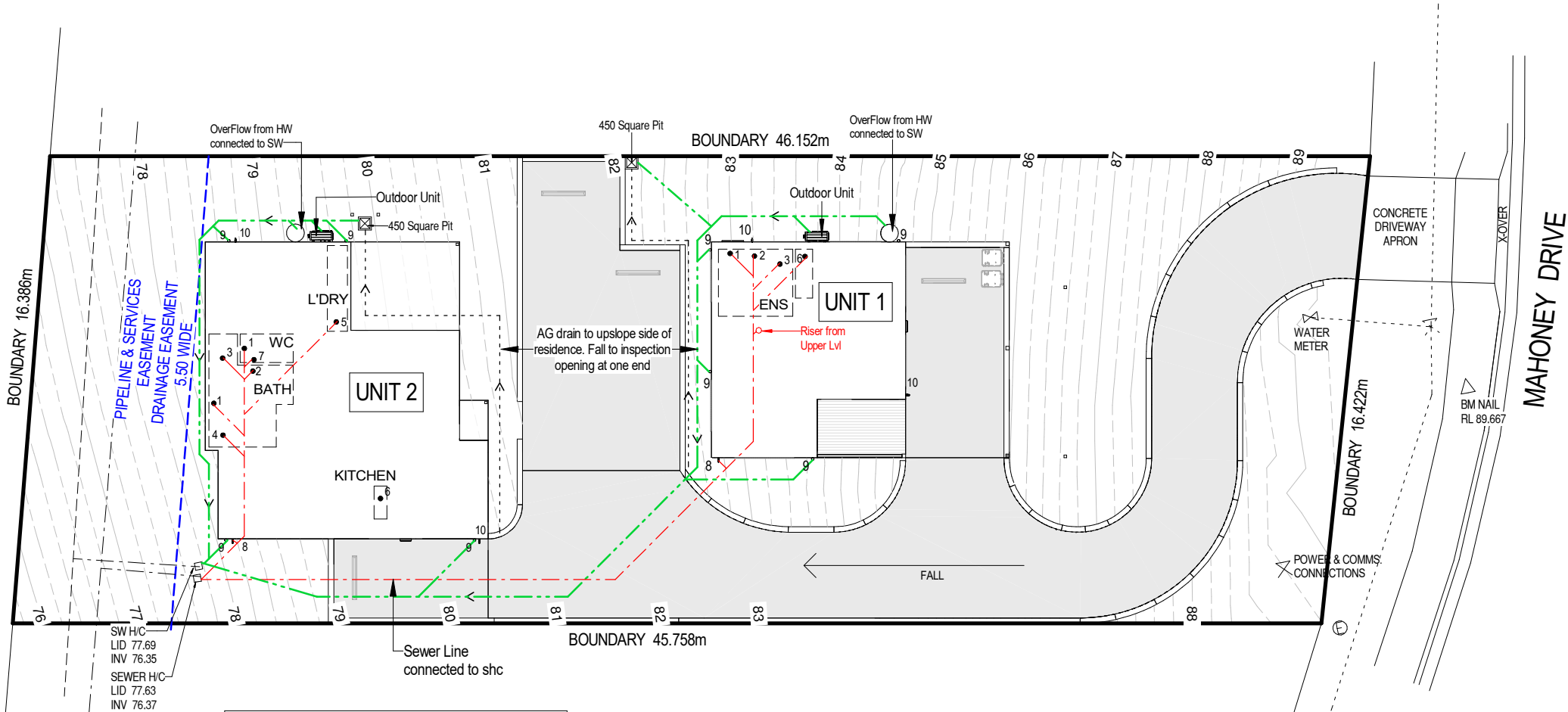
Scale: 1 : 100	Client / Project Name TAYLOR & BEESON PTY.LTD.	Job No: TB_20
Date: 16.07.2026	Project Address 61 MAHONEY DRIVE, AUSTINS FERRY	Sheet No: 09
Drawn by: RK		



U1-Drainage Upper Fl



AG Drain (Typical)



LEGEND		
Abbr.	TYPE	Min. Ø
1	Water closet pan	100
2	HandBasin	40
3	Shower	50
4	Bath	40
5	Laundry Trough	50
6	Kitchen Sink	50
7	Vent	50
8	Tap Charged ORG min.150mm below FFL	
9	Downpipe	90
10	Tap	
i.o.	Inspection Opening to Ground Lvl	
f/w	Floor Waste	
--- Sewer line 100Ø UPVC U.N.O.		
--- Stormwater line 100Ø UPVC U.N.O.		

NOTE:
Plumber to supply and install Air Admittance Valves (AAV) on fixture branch lines wherever required in strict accordance with AS/NZS 3500.2

NOTE:
Builders' responsibility to protect stormwater pipes during construction.

GLAZING NOTE:
All windows are Double glazed

BAL : TBC

For Driveway Detail & Retaining wall Height,
Refer Civil Drawings 'VERTO',
Project No 26E11-2,
Sheet No. C-010,C-401,C-402,C-421, C-422, C-431

For Driveway Drainage Detail ,
Refer Civil Drawings 'VERTO',
Project No 26E11-2,
Sheet No. C-010,C-401,C-402

DRAINAGE_SITE PLAN

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-26-044

DATE RECEIVED: 16 July 2026

GLAZING NOTE:
All windows are Double glazed

BAL : TBC

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Document Set ID: 364147		Date	Drawn
Version: 1, Version Date: 20/07/2026			



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TITLE
DRAINAGE PLAN

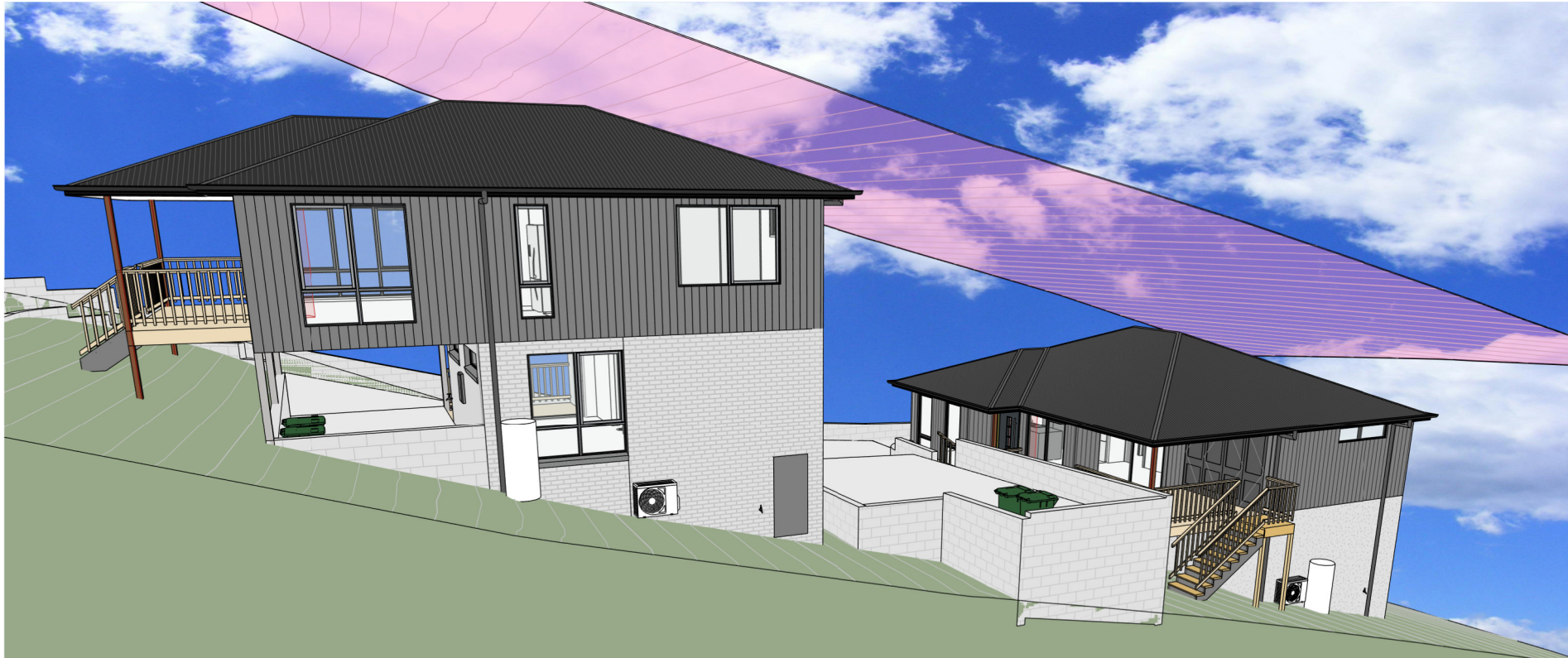
Scale: 1 : 200
Date: 16.07.2026
Drawn by: RK

Client / Project Name TAYLOR & BEESON PTY.LTD.	Job No: TB_20
Project Address 61 MAHONEY DRIVE, AUSTINS FERRY	Sheet No: 10

GLENORCHY CITY COUNCIL
PLANNING SERVICES

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TITLE

3D VIEWS

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Scale:	Client / Project Name TAYLOR & BEESON PTY.LTD.	Job No: TB_20
Date: 16.07.2026	Project Address 61 MAHONEY DRIVE, AUSTINS FERRY	Sheet No: 11
Drawn by: RK		

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PLANNING SERVICES

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TITLE

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Scale:

Date: 16.07.2026

Drawn by: RK

Client / Project Name
TAYLOR & BEESON PTY.LTD.

Project Address
**61 MAHONEY DRIVE,
AUSTINS FERRY**

Job No:
TB_20

Sheet No:
11A

Window Area Schedule			
Mark	Width	Height	window area

-U1-01	2100	2000	4 m ²
-U1-02	2400	2100	5 m ²
-U1-03	1800	400	1 m ²
-U1-04	1800	400	1 m ²
-U1-05	1800	2000	4 m ²
-U1-06	1500	1000	2 m ²
-U1-07	1800	400	1 m ²
-U1-08	1800	2000	4 m ²
-U1-09	1500	1000	2 m ²
-U1-10	2700	2000	5 m ²
-U1-11	2700	2100	6 m ²
-U1-12	900	2000	2 m ²
-U1-13	900	2000	2 m ²
-U1-14	1800	2000	4 m ²
-U1-15	600	2000	1 m ²
-U1-16	2100	1500	3 m ²
-U1-17	1800	600	1 m ²
-U1-18	1800	600	1 m ²
-U2-01	900	2000	2 m ²
-U2-02	900	2000	2 m ²
-U2-03	1800	2000	4 m ²
-U2-04	2400	2160	5 m ²
-U2-05	1800	400	1 m ²
-U2-06	1800	1500	3 m ²
-U2-07	1200	1000	1 m ²
-U2-08	1800	1500	3 m ²
-U2-09	1800	400	1 m ²
-U2-10	1800	400	1 m ²

Grand total: 28

Ceiling Schedule		
Unit Name	Name	Area

UNIT 1	LOUNGE	15.00 m ²
UNIT 1	KITCHENETTE	1.48 m ²
UNIT 1	WIR	0.91 m ²
UNIT 1	ENS	6.11 m ²
UNIT 1	M.BED	10.88 m ²
UNIT 1	BED 2	9.00 m ²
UNIT 1	BED 3	11.34 m ²
UNIT 1	LIVING	17.16 m ²
UNIT 1	DINING	9.60 m ²
UNIT 1	CARPORT	27.37 m ²
UNIT 1	BATH/L'dry	8.97 m ²
UNIT 1	KITCHEN	7.50 m ²
UNIT 1	DECK	9.00 m ²
UNIT 1	HALLWAY	4.74 m ²
UNIT 1	PORCH	6.30 m ²

UNIT 2	DINING	9.60 m²
UNIT 2	BED 2	10.35 m²
UNIT 2	BED 1	9.00 m²
UNIT 2	HALLWAY	4.83 m²
UNIT 2	KITCHEN	8.75 m²
UNIT 2	DECK	11.74 m²
UNIT 2	LIVING	15.93 m²
UNIT 2	BATH	8.63 m²
UNIT 2	WC	1.86 m²
UNIT 2	Porch	1.40 m²
UNIT 2	L'DRY	2.19 m²

Wall Schedule			
Unit Name	Description	Area	Function

UNIT 1	Selected Cladding	19 m ²	Exterior
UNIT 1	Selected Cladding	20 m ²	Exterior
UNIT 1	Selected Cladding	18 m ²	Exterior
UNIT 1	Selected Cladding	8 m ²	Exterior
UNIT 1	Face Brick	16 m ²	Exterior
UNIT 1	Face Brick	12 m ²	Exterior
UNIT 1	Face Brick	4 m ²	Exterior
UNIT 1	Face Brick	11 m ²	Exterior
UNIT 1	Face Brick	2 m ²	Exterior
UNIT 1	Face Brick	4 m ²	Exterior
UNIT 1	Selected Cladding	1 m ²	Exterior
UNIT 1	Selected Cladding	1 m ²	Exterior

UNIT 1		116 m ²	
UNIT 2	Selected Cladding	5 m ²	Exterior
UNIT 2	Selected Cladding	4 m ²	Exterior
UNIT 2	Selected Cladding	21 m ²	Exterior
UNIT 2	Selected Cladding	5 m ²	Exterior
UNIT 2	Selected Cladding	2 m ²	Exterior
UNIT 2	Selected Cladding	9 m ²	Exterior
UNIT 2	Selected Cladding	7 m ²	Exterior
UNIT 2	Selected Cladding	13 m ²	Exterior
UNIT 2	Selected Cladding	1 m ²	Exterior
UNIT 2	Selected Cladding	2 m ²	Exterior
UNIT 2	Selected Cladding	3 m ²	Exterior

UNIT 2 72 m²

**GLENORCHY CITY COUNCIL
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DATA VERIFICATION NOTE:

These areas are extracted from the design model for preliminary reporting purposes. All values and material specifications are to be verified by the Acoustic Consultant for final calculations. Report any discrepancies to the Designer prior to certification.

BAL : TBC

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Document Set ID: 3641477 Description Date Drawn



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TITLE

CALCULATIONS

Scale:

Date: 16.07.2026

Drawn by: RK

Client / Project Name

TAYLOR & BEESON PTY.LTD.

Project Address

61 MAHONEY DRIVE,
AUSTINS FERRY

Job No:

TB_20

Sheet No:

12

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CIVIL DRAWINGS
UNIT DEVELOPMENT
61 MAHONEY DRIVE
AUSTINS FERRY

C001	COVER	A	16/07/2026
C010	SITE PLAN	A	16/07/2026
C401	DRIVEWAY & STORMWATER PLAN	A	16/07/2026
C402	DRIVEWAY & STORMWATER PLAN	A	16/07/2026
C421	LONG SECTIONS	A	16/07/2026
C422	LONG SECTIONS	A	16/07/2026
C431	CROSS SECTIONS	A	16/07/2026
C491	TURNPATH PLAN	A	16/07/2026
C492	TURNPATH PLAN	A	16/07/2026
C493	TURNPATH PLAN	A	16/07/2026
C494	TURNPATH PLAN	A	16/07/2026

GLENORCHY CITY COUNCIL
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HOBART
DEVONPORT
LAUNCESTON



Launceston Office
22 - 24 Paterson Street
Launceston TAS 7250
03 6388 9200
www.vertotas.com.au

APPROVAL	REV	DESCRIPTION	DATE
DRAWN: LG			
CHECKED: DE			
DESIGN: LG			
CHECKED: DE			
VERIFIED: -	A	PLANNING APPROVAL	16/07/2026

PROJECT:
UNIT DEVELOPMENT
61 MAHONEY DRIVE
AUSTINS FERRY

SHEET:
COVER

PLANNING APPROVAL



SCALE:	PROJECT No.	SHEET No.	REV.
- (A1)	26E11-2	C001	A



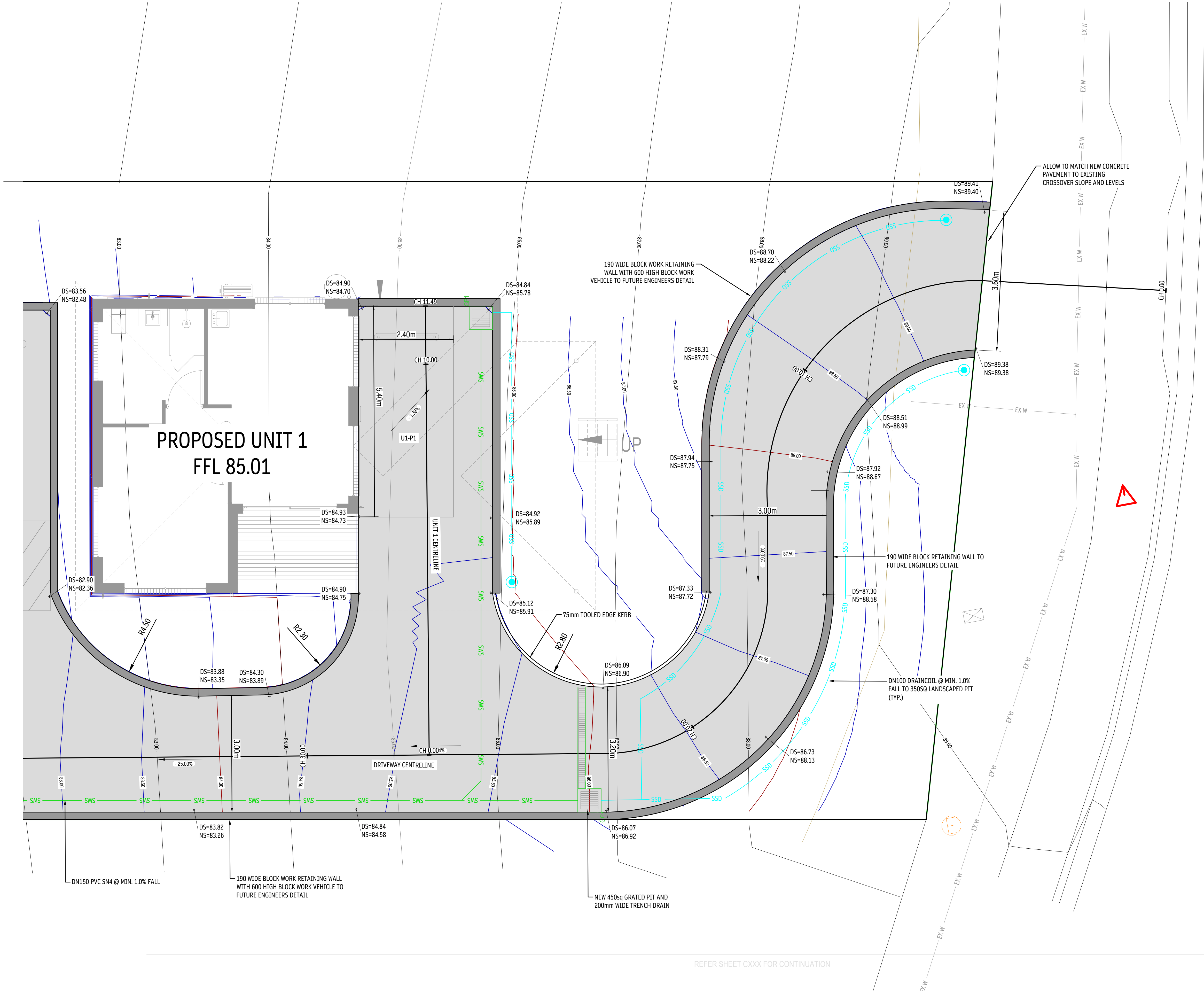
PAVEMENT LEGEND

	SWS	PVC STORMWATER DN150 SN8 U.N.O.
	SSD	SLOTTED PVC AW DRAIN
	EX SWS	EXISTING STORMWATER MAIN
	EX SWS	EXISTING STORMWATER - PRIVATE
		INSPECTION OPENING
		GP1 - 450 SQ PIT
		ACO TYPE 45 POLYMER CONCRETE PIT AND
		INCL. HEELS/SAFE GRATE

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

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M A H O N E Y D R I V E

SITE & EXISTING SERVICES LEGEND	
	DESIGN SURFACE CONTOUR (MAJ/MIN)
	EXISTING SURFACE CONTOUR (MAJ/MIN)
	BOUNDARY - SURVEYED
	EASEMENT - SURVEYED
	EXISTING OVERHEAD POWER
	EXISTING UNDERGROUND POWER
	EXISTING COMMS - TELSTRA
	EXISTING COMMS - NBN
	EXISTING GAS

PAVEMENT LEGEND	
	CONCRETE

STORMWATER LEGEND	
	PVC STORMWATER DN150 SN8 U.N.O.
	SLOTTED PVC AG DRAIN
	EXISTING STORMWATER MAIN
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PROJECT:
UNIT DEVELOPMENT
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AUSTINS FERRY

SHEET:
DRIVEWAY & STORMWATER PLAN

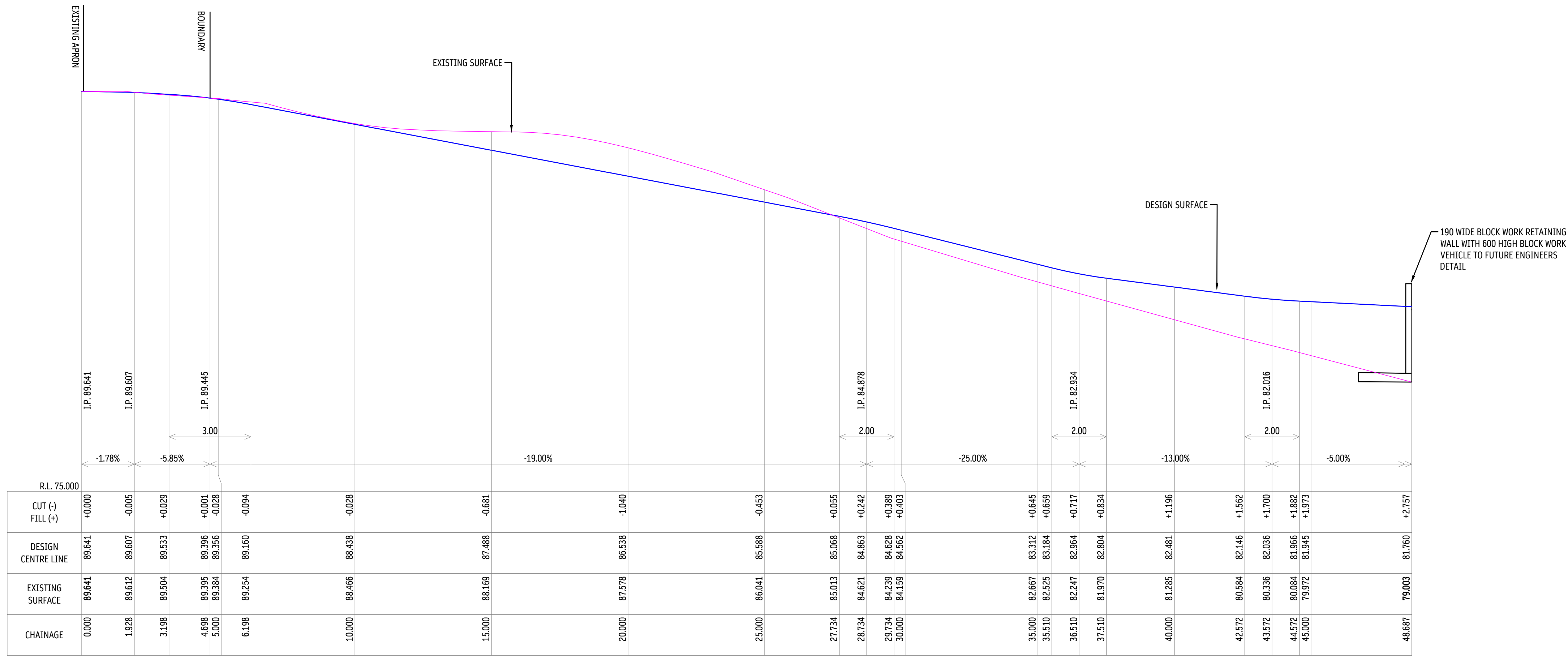
SCALE: 1:50 (A1)
PROJECT No. 26E11-2
SHEET No. C401
REV. A

PLANNING APPROVAL



REFER SHEET CXXX FOR CONTINUATION

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PLANNING SERVICES
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From 0.000m To 48.687m Scales: H 1:100 V 1:100
DRIVEWAY CENTRELINE

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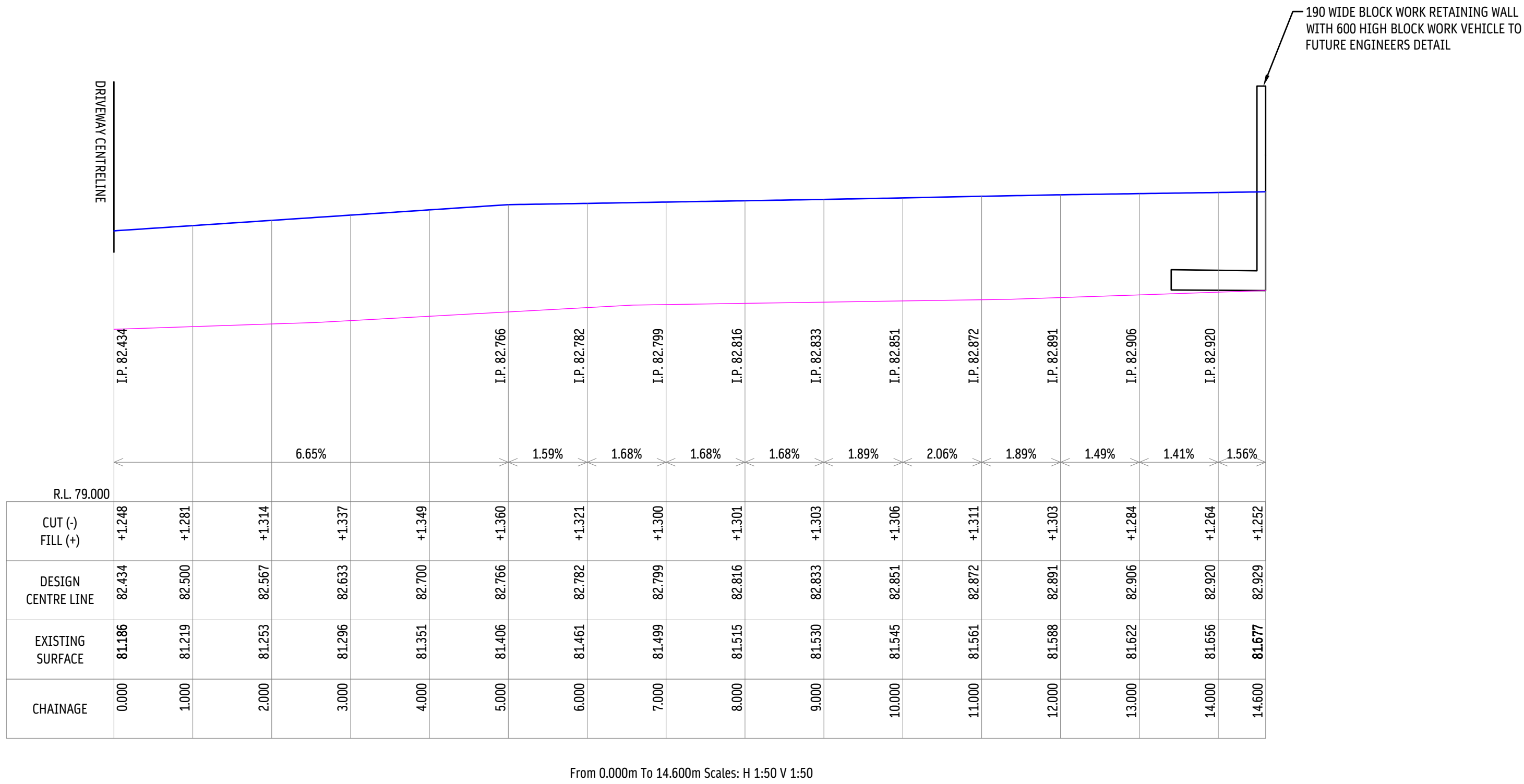
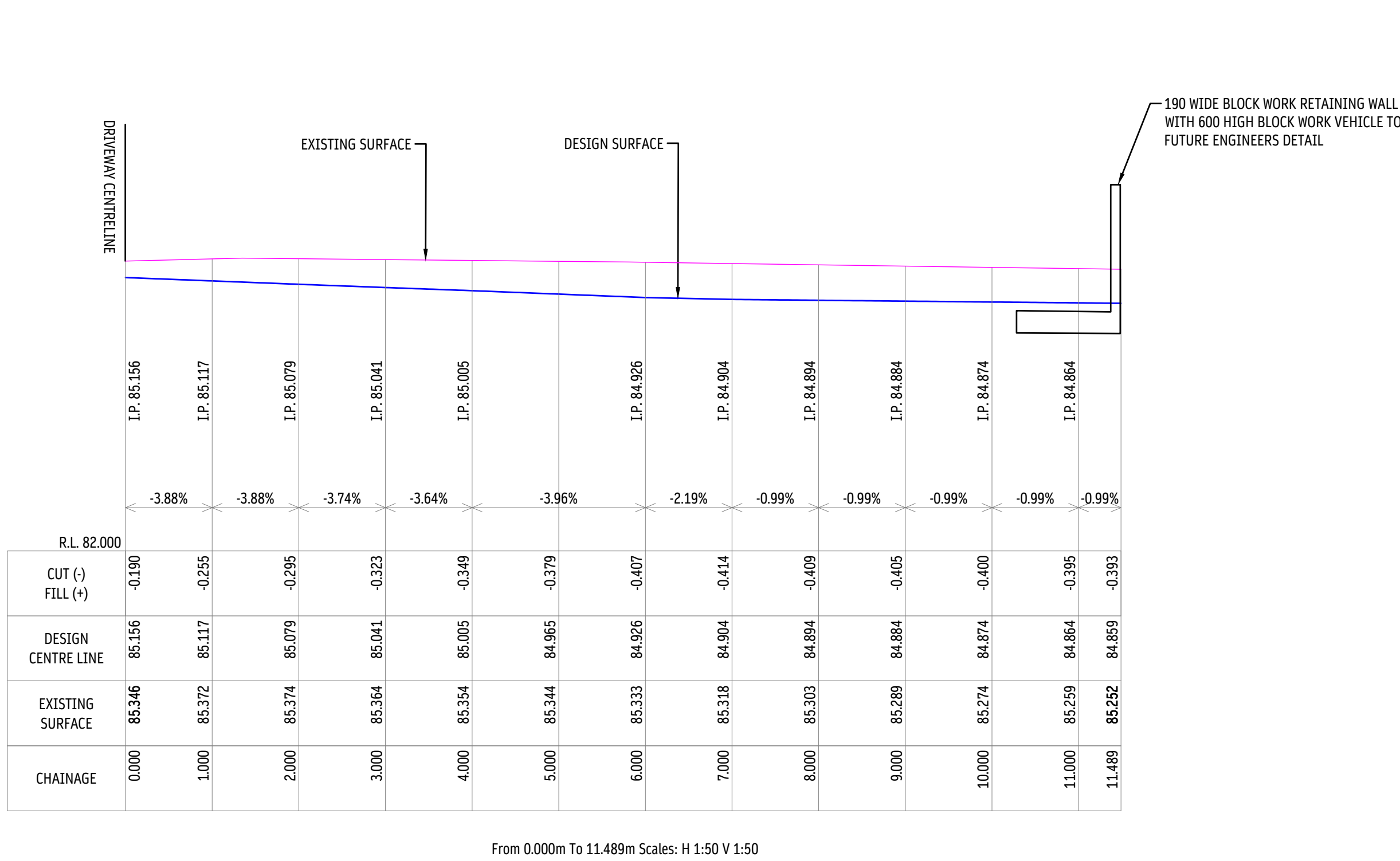
SHEET:
LONG SECTIONS

PLANNING APPROVAL



SCALE: - (A1)
PROJECT No. 26E11-2
SHEET No. C421
REV. A

GLENORCHY CITY COUNCIL
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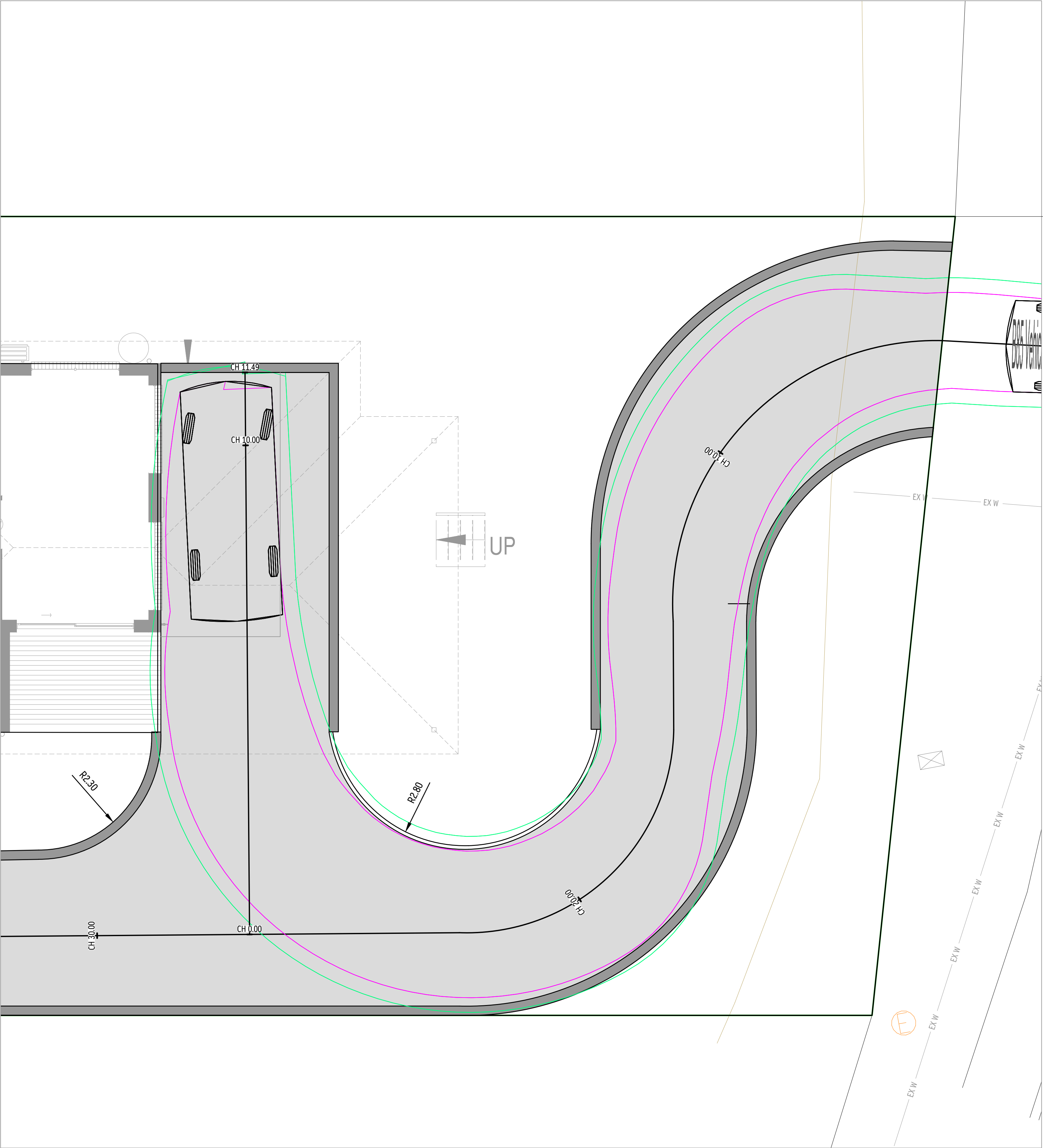
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UNIT DEVELOPMENT
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SHEET:
LONG SECTIONS

SCALE: - (A1)
PROJECT No. 26E11-2
SHEET No. C422
REV. A

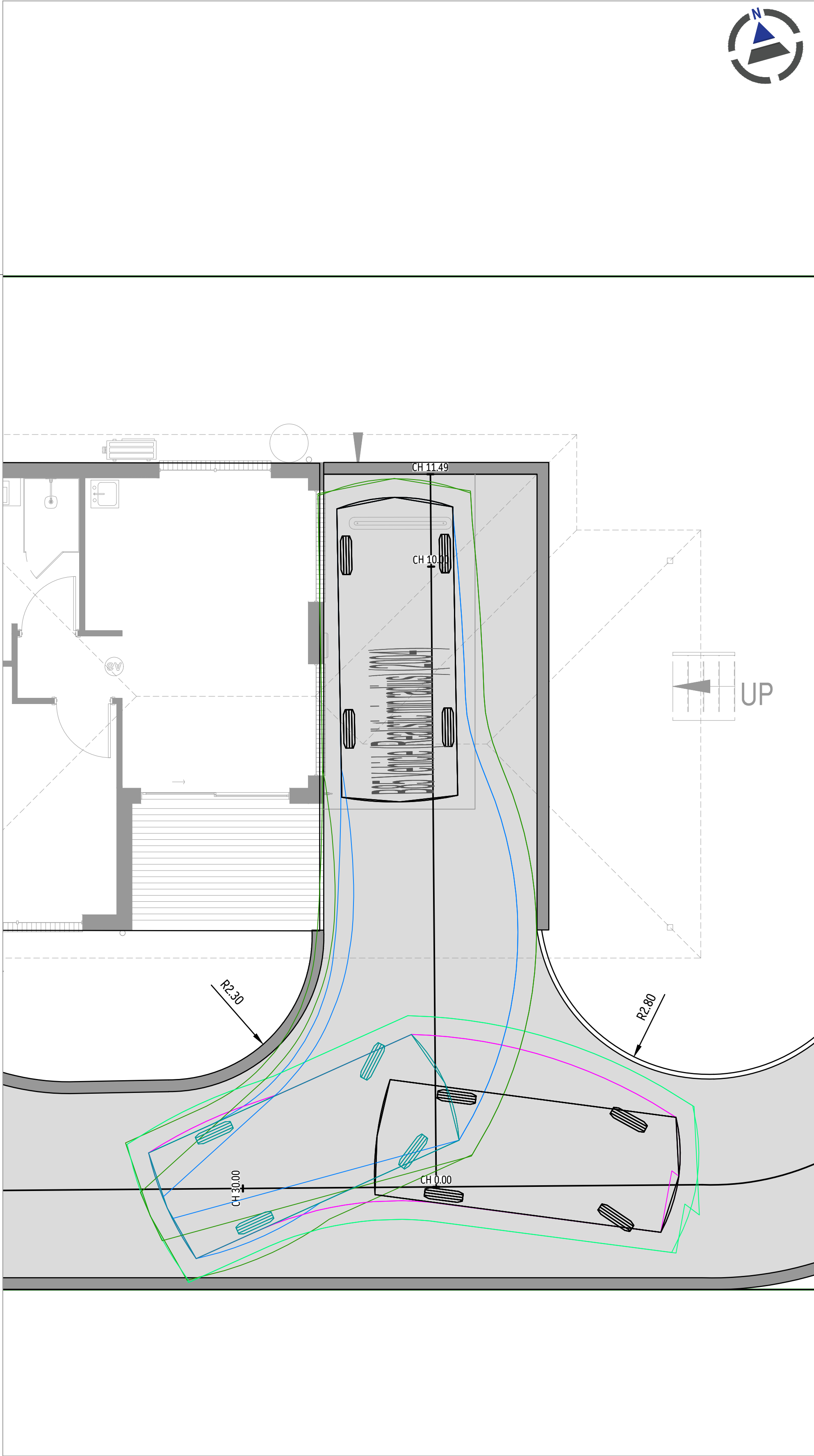
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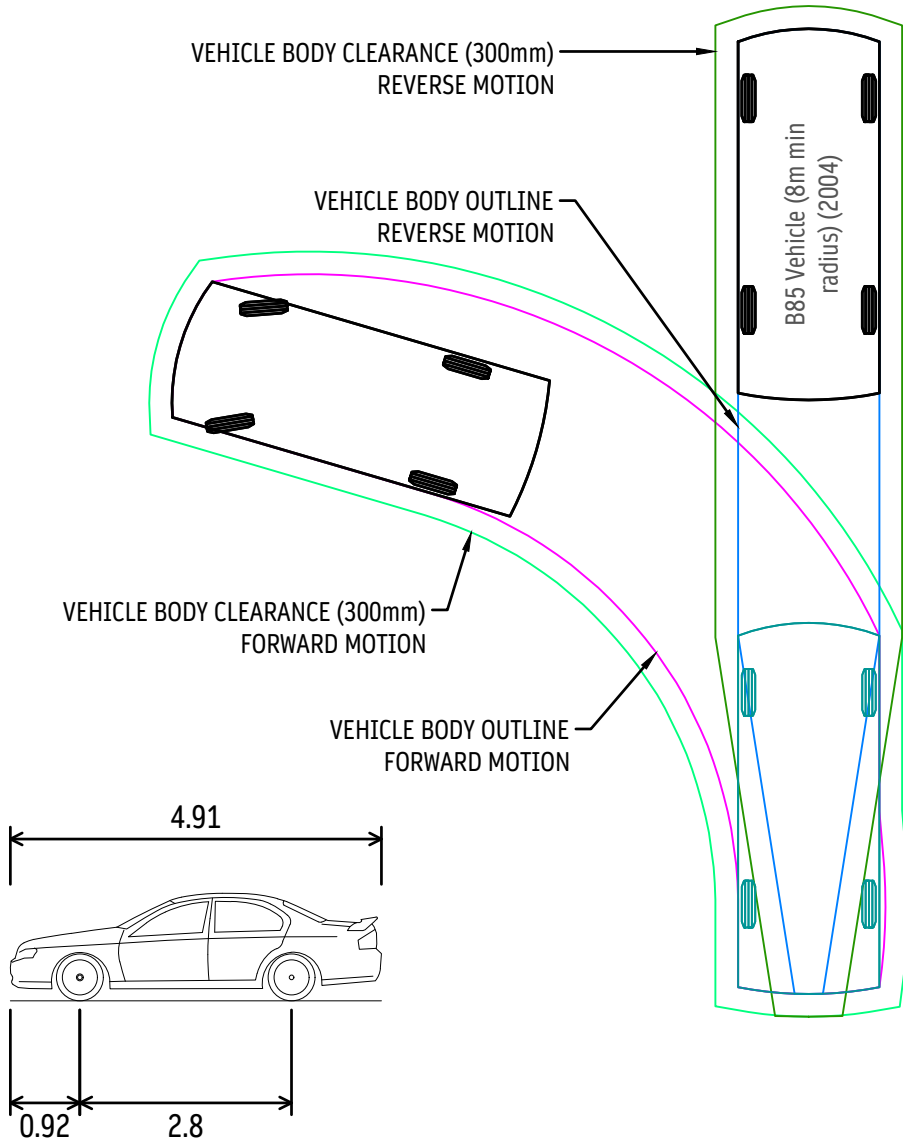
U1-P1 FORWARD ENTRY

1:50



U1-P1 REVERSE EXIT

1:50



B85 Vehicle (8m min radius) (2004)
Overall Length 4.910m
Overall Width 1.870m
Overall Body Height 1.421m
Min Body Ground Clearance 0.159m
Track Width 1.770m
Lock-to-lock time 4.00s
Curb to Curb Turning Radius 8.000m

VEHICLE TURNPATH - LEGEND

1:50

GLENORCHY CITY COUNCIL
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16/07/2026

PROJECT:
UNIT DEVELOPMENT
61 MAHONEY DRIVE
AUSTINS FERRY

SHEET:
TURNPATH PLAN

PLANNING APPROVAL

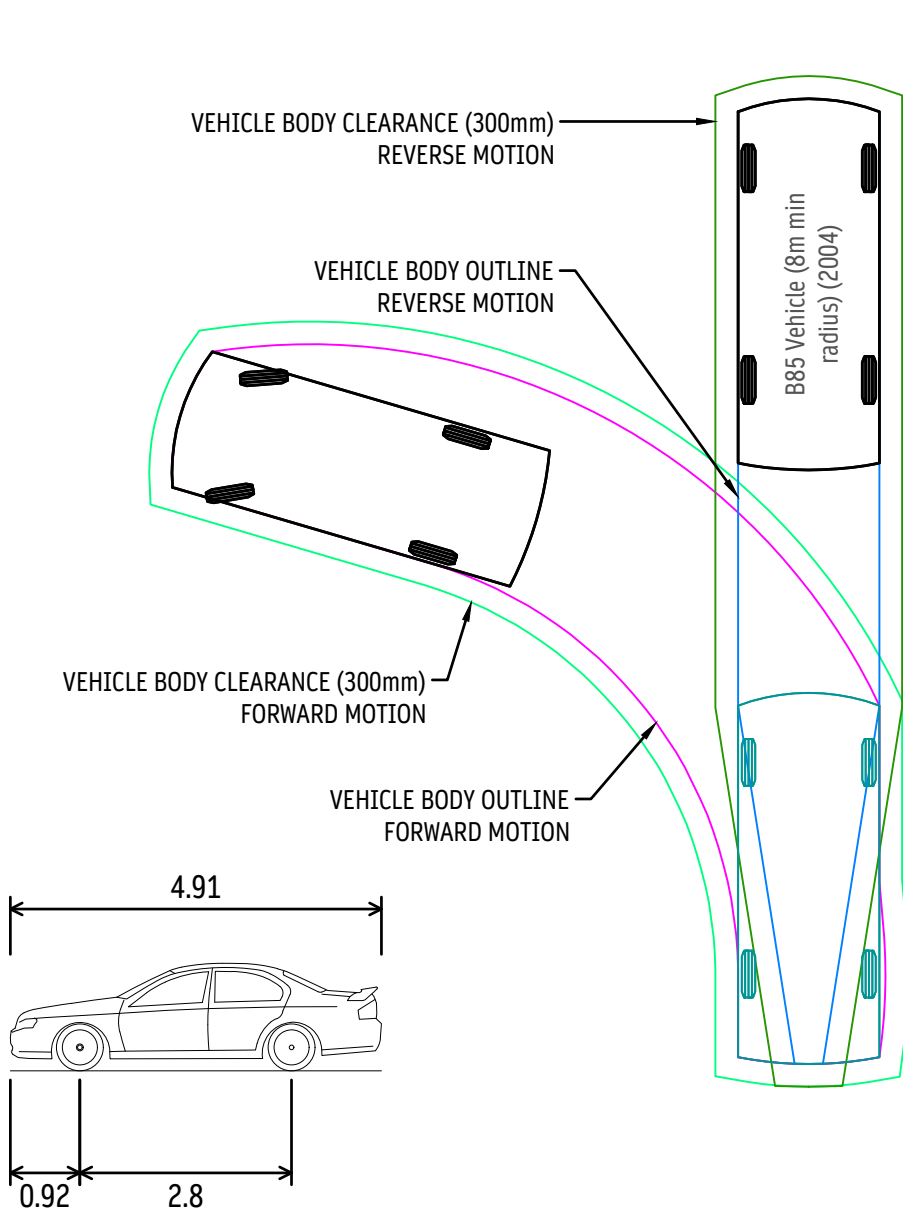
SCALE: 1:50 (A1)
PROJECT No. 26E11-2
SHEET No. C491
REV. A





U1-P2 FORWARD ENTRY
1:50

U1-P2 - REVERSE EXIT
1:50



B85 Vehicle (8m min radius) (2004)
Overall Length 4.910m
Overall Width 1.870m
Overall Body Height 1.421m
Min Body Ground Clearance 0.159m
Track Width 1.770m
Lock-to-lock time 4.00s
Curb to Curb Turning Radius 8.000m

VEHICLE TURNPATH - LEGEND
1:50

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No. : PLN-26-044
DATE RECEIVED: 16 July 2026



U2-P2 FORWARD ENTRY
1:50

U2-P2 REVERSE EXIT
1:50

VEHICLE BODY CLEARANCE (300mm) REVERSE MOTION

VEHICLE BODY OUTLINE REVERSE MOTION

VEHICLE BODY CLEARANCE (300mm) FORWARD MOTION

VEHICLE BODY OUTLINE FORWARD MOTION

8.000

4.91

0.92 2.8

B85 Vehicle (8m min radius) (2004)

Overall Length 4.910m

Overall Width 1.870m

Overall Body Height 1.421m

Min Body Ground Clearance 0.159m

Track Width 1.770m

Lock-to-lock time 4.00s

Curb to Curb Turning Radius 8.000m

VEHICLE TURNPATH - LEGEND

1:50

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No.: PLN-26-044

DATE RECEIVED: 16 July 2026

HOBART
DEVONPORT
LAUNCESTON



Launceston Office
22 - 24 Paterson Street
Launceston TAS 7250
03 6388 9200
www.vertotas.com.au

APPROVAL	REV	DESCRIPTION	DATE
DRAWN: LG			
CHECKED: DE			
DESIGN: LG			
CHECKED: DE			
VERIFIED: -	A	PLANNING APPROVAL	16/07/2026

DATE

16/07/2026

PROJECT:

UNIT DEVELOPMENT
61 MAHONEY DRIVE
AUSTINS FERRY

SHEET:

TURNPATH PLAN

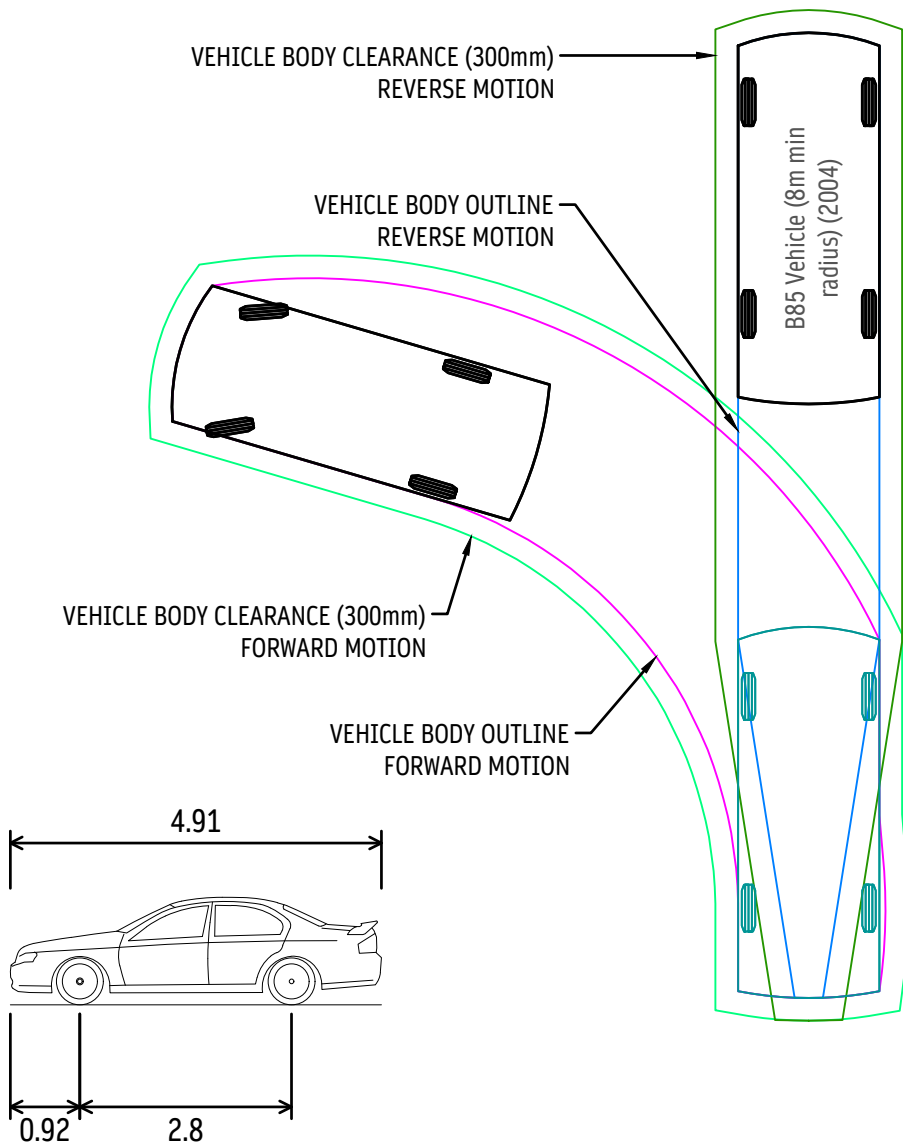
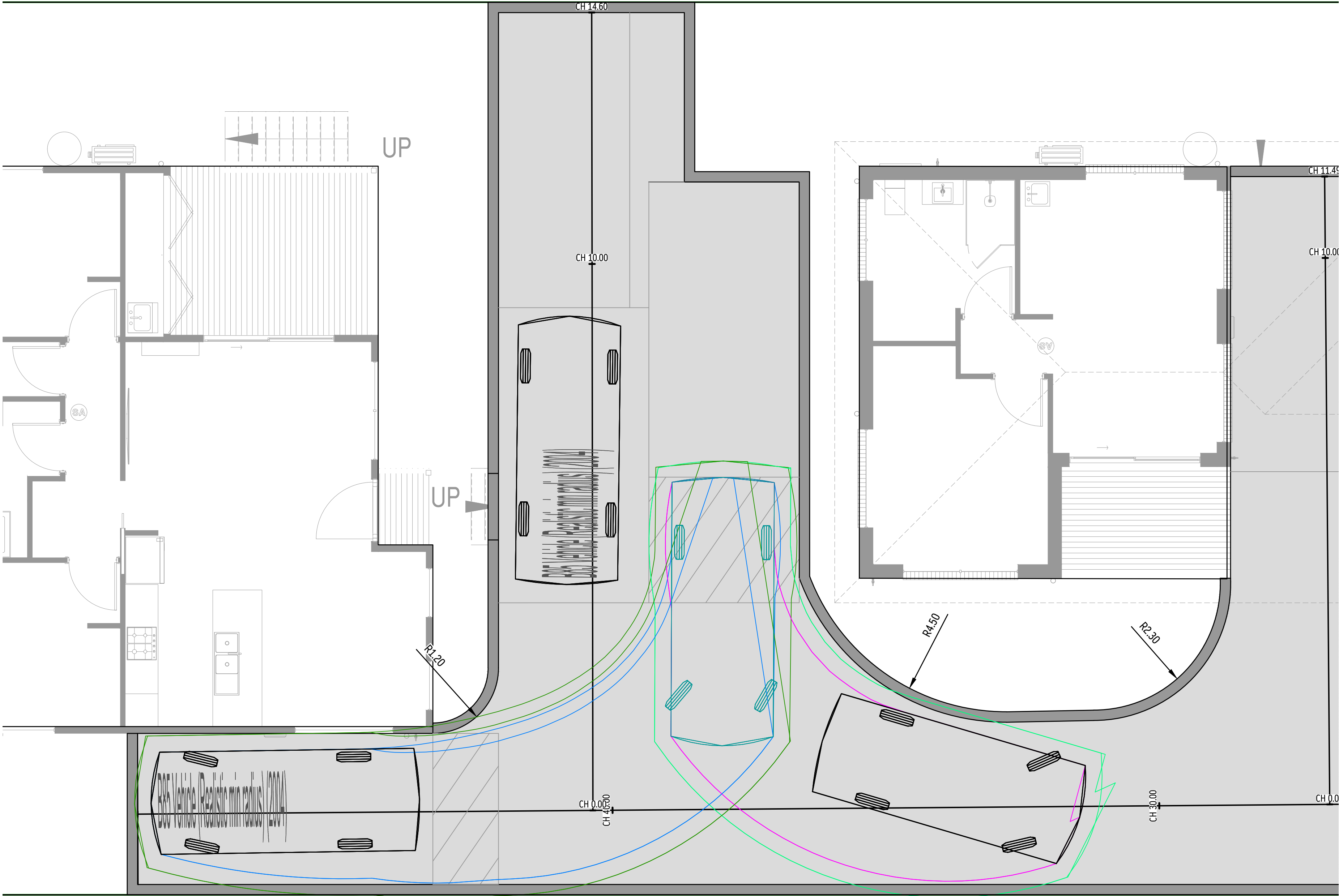
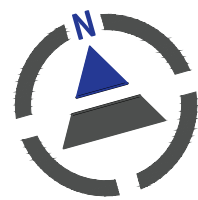
PLANNING APPROVAL

SCALE: 1:50 (A1)

PROJECT No. 26E11-2

SHEET No. C493

REV. A



B85 Vehicle (8m min radius) (2004)
Overall Length 4.910m
Overall Width 1.870m
Overall Body Height 1.421m
Min Body Ground Clearance 0.159m
Track Width 1.770m
Lock-to-lock time 4.00s
Curb to Curb Turning Radius 8.000m

VEHICLE TURNPATH - LEGEND

1:50

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-26-044

DATE RECEIVED: 16 July 2026

VISITOR PARK - REVERSE EXIT

1:50

HOBART
DEVONPORT
LAUNCESTON



Launceston Office
22 - 24 Paterson Street
Launceston TAS 7250
03 6388 9200
www.vertotas.com.au

APPROVAL	REV	DESCRIPTION	DATE
DRAWN: LG			
CHECKED: DE			
DESIGN: LG			
CHECKED: DE			
VERIFIED: -	A	PLANNING APPROVAL	16/07/2026

16/07/2026

PROJECT:
UNIT DEVELOPMENT
61 MAHONEY DRIVE
AUSTINS FERRY

SHEET:
TURNPATH PLAN

PLANNING APPROVAL



SCALE: 1:50
PROJECT No. 26E11-2
SHEET No. C494
REV. A