

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-26-070
PROPOSED DEVELOPMENT:	Change of use to visitor accommodation
LOCATION:	64 Stony Point Drive, Austins Ferry
APPLICANT:	Tasurban Town Planning
ADVERTISING START DATE:	10/07/2026
ADVERTISING EXPIRY DATE:	24/07/2026

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **24/07/2026**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **24/07/2026**, or for postal and hand delivered representations, by 5.00 pm on **24/07/2026**.

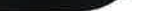
BAL-19 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

The dwelling will be utilised for visitor accomondation

APPROX. IMPORT/EXPORT FILL	
CUT VOLUME	0.00m³
FILL VOLUME	0.00m³
DIFFERENCE	0.00m³
EVEN CUT & FILL	

[illegible]

DATE:

The logo for Wilson Homes, featuring a stylized 'W' icon followed by the text 'WILSON' in a bold, sans-serif font and 'HOMES' in a lighter, sans-serif font below it.

	REVISION		DRAWN
2	PRELIM PLANS - INITIAL ISSUE	MT	2021.09.23
3	PRELIM PLAN SET -VAR 001, LANDSCAPING PLAN	RMF	2021.10.29
4	PRELIM - DA RFI - GLAZING UPDATE	RLW	2021.11.24
5	BA PLAN SET - INITIAL ISSUE WITH COLOURS	RLW	2021.12.14
6	BA PLAN SET - ENG. CHECK & UPDATES	MSP	2022.05.24

HOUSE DESIGN:
SEABREEZE

FACADE DESIGN:
CLASSIC

SHEET TITLE:
SITE PLAN

HOUSE CODE:
H-WELSBZ10DA

FACADE CODE:
F-WELSBZ10CLASA

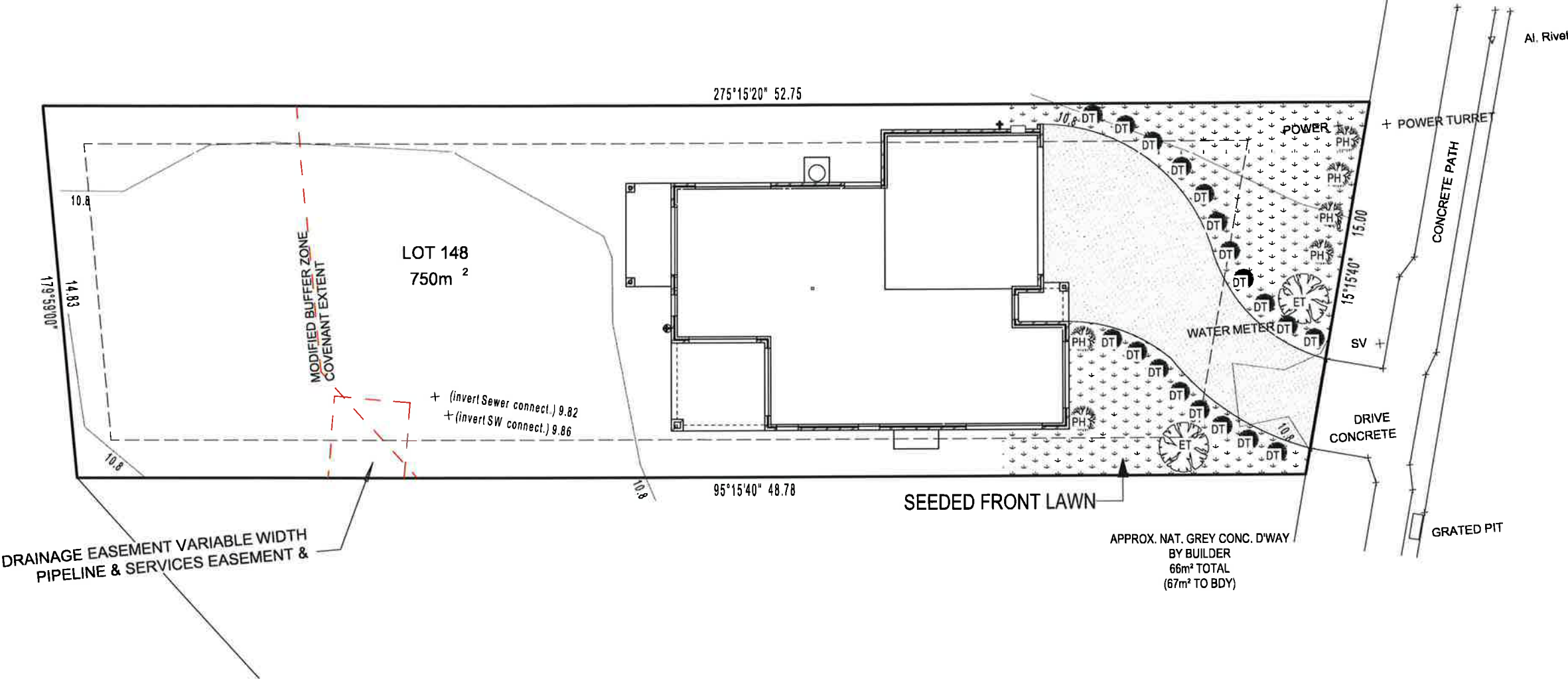
SCALES:
1:200

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COMMENCEMENT OF ANY WORK. ALL
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TO THE DRAFTING OFFICE.

713065

The dwelling will be utilised for visitor accomodation

Change of use to visitor accommodation



LANDSCAPE LEGEND

TYPE	CODE	SPECIES
	PT	PITTOSPORUM TENUIFOLIUM
	PH	PHORMIUM
	DT	DIANELLA TASMANICA
	ET	EUCALYPTUS TENUIRAMIS

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-26-070

DATE RECEIVED: 30/06/2026

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CLIENT:	TUAN PHUOC PHAM & KHA TU THANH NGUYEN
ADDRESS:	64 STONY POINT DRIVE , AUSTINS FERRY TAS 7011
LOT / SECTION / CT:	148 / - / 181554
COUNCIL:	GLENORCHY COUNCIL

HOUSE DESIGN:	SEABREEZE
FACADE DESIGN:	CLASSIC
SHEET TITLE:	LANDSCAPING PLAN

HOUSE CODE:	H-WELSBZ10DA
FACADE CODE:	F-WELSBZ10CLASA
SHEET No.:	3 / 29
SCALES:	1:200

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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

CDP CHARGED DOWNPIPE DIRECTED TO TANK
SDP STANDARD DOWNPIPE DIRECTED TO STORMWATER DISCHARGE

REFER 'BRICK COURSING AND WINDOW FLASHING DETAIL' FOR BRICK COURSING & WINDOW FLASHING DETAILS

ALL GROUND FLOOR BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2155 ABOVE FFL UNLESS NOTED OTHERWISE

REFER TO WINDOW & DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS

FINAL WINDOW AND EXTERIOR DOOR LOCATIONS MAY BE ADJUSTED ON SITE TO SUIT BRICKWORK GAUGE

PROVIDE EXPOSURE GRADE BRICKS AND MORTAR TO ALL EXTERIOR WALLS

ALL STAIR TREADS TO PROVIDE A MINIMUM SLIP RESISTANCE TO MEET NCC REQUIREMENTS

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:



FLOOR PLAN LEGEND

- HS / WS HOB SPOUT / WALL SPOUT
FACE BRICK / COMMON BRICK
BAG & PAINT / RENDER
SOUND INSULATION
AJ BRICK ARTICULATION JOINT
3D DENOTES DRAWER SIDE
MECHANICAL VENTILATION SWITCHED TO LIGHT
L.B.W LOAD BEARING WALL
THIS DOOR OPENS FIRST
SMOKE ALARM
LIFT OFF HINGE
+ WATER POINT
WP FRIDGE WATER POINT
GAS GAS BAYONET

TOTAL FLOOR AREAS

ALFRESCO	20.37
BALCONY	7.38
GARAGE	39.66
LIVING (FIRST FLOOR)	150.61
LIVING (GROUND FLOOR)	109.89
PORCH	2.71
	330.62 m²

Gross floor area
=268.1 sqm

The dwelling will be utilised for visitor accomodation

BAL-19 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

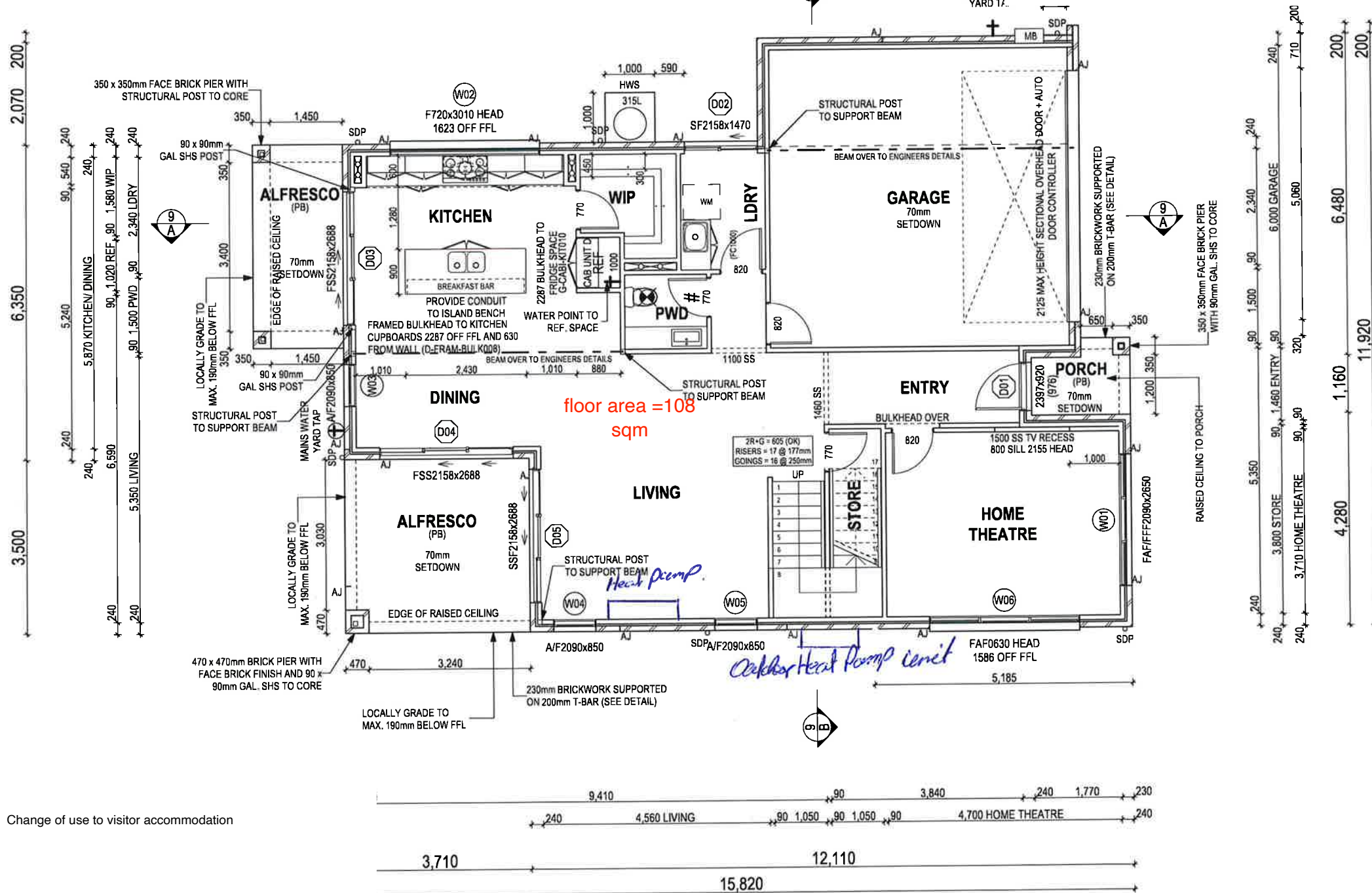
GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-26-070

DATE RECEIVED: 30/06/2026

PROVIDE AND INSTALL SINGLE PHASE REVERSE CYCLE AIR CONDITIONING SYSTEM. NUMBER AND POSITIONING OF OUTLETS AND THE FINAL LOCATION OF THE RETURN AIR GRILLE WILL BE DETERMINED ON SITE BY THE AIR CONDITIONING CONTRACTOR AND IS SUBJECT TO TRUSS LAYOUT AND ANY OTHER CONSTRUCTION CONSTRAINTS.

FRAME MANUFACTURER TO PROVIDE CLEARANCE FOR PASSAGE OF FAN COIL UNIT FROM RETURN AIR TO FINAL FAN COIL LOCATION.



SHAMPOO RECESS SIZE		STRUCTURAL DIMENSIONS	
		WIDTH	HEIGHT
"SMALL"	470 x 380mm	548mm	446mm
"MEDIUM"	800 x 380mm	878mm	446mm
"LARGE"	1500 x 380mm	1578mm	446mm

REFER WILSON HOMES' DETAIL G-WETA-TILE01 FOR FURTHER DETAIL PRIOR TO INSTALLATION.

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

ALL DIMENSIONS ARE FRAME DIMENSIONS

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ADDRESS:
64 STONY POINT DRIVE, AUSTINS FERRY TAS 7011
LOT / SECTION / CT:
148 / - / 181554
COUNCIL:
GLENORCHY COUNCIL

HOUSE DESIGN:
SEABREEZE
FACADE DESIGN:
CLASSIC
SHEET TITLE:
GROUND FLOOR PLAN

HOUSE CODE:
H-WELSBZ10DA
FACADE CODE:
F-WELSBZ10CLASA
SHEET No.:
5 / 29
SCALES:
1:100

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- SITE CLASSIFICATION
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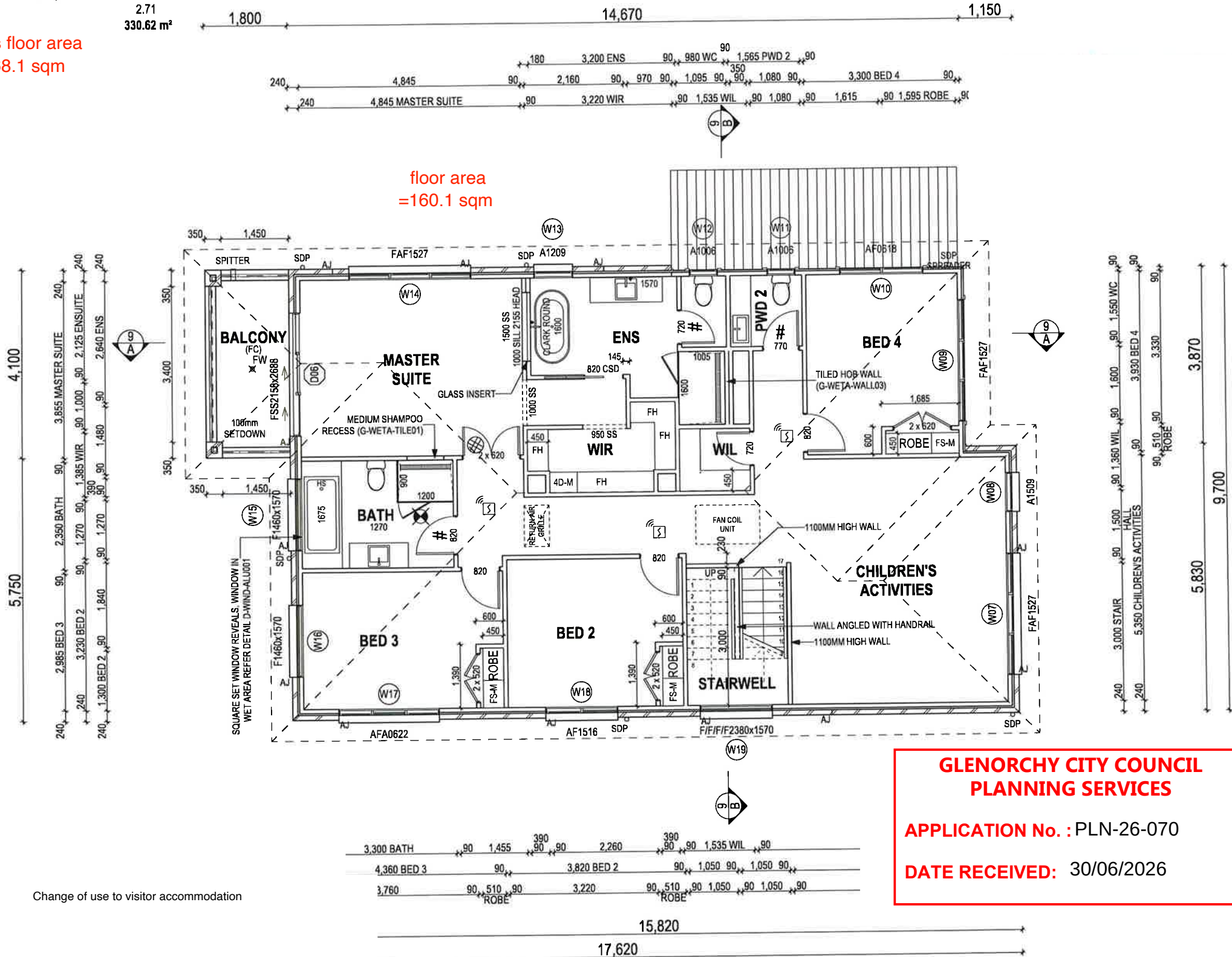
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LOT / SECTION / CT:	148 / - / 181554
COUNCIL:	GLENORCHY COUNCIL

HOUSE DESIGN:	SEABREEZE
FACADE DESIGN:	CLASSIC
SHEET TITLE:	FIRST FLOOR PLAN

HOUSE CODE:	H-WELSBZ10DA
FACADE CODE:	F-WELSBZ10CLASA
SHEET No.:	6 / 29
SCALES:	1:100

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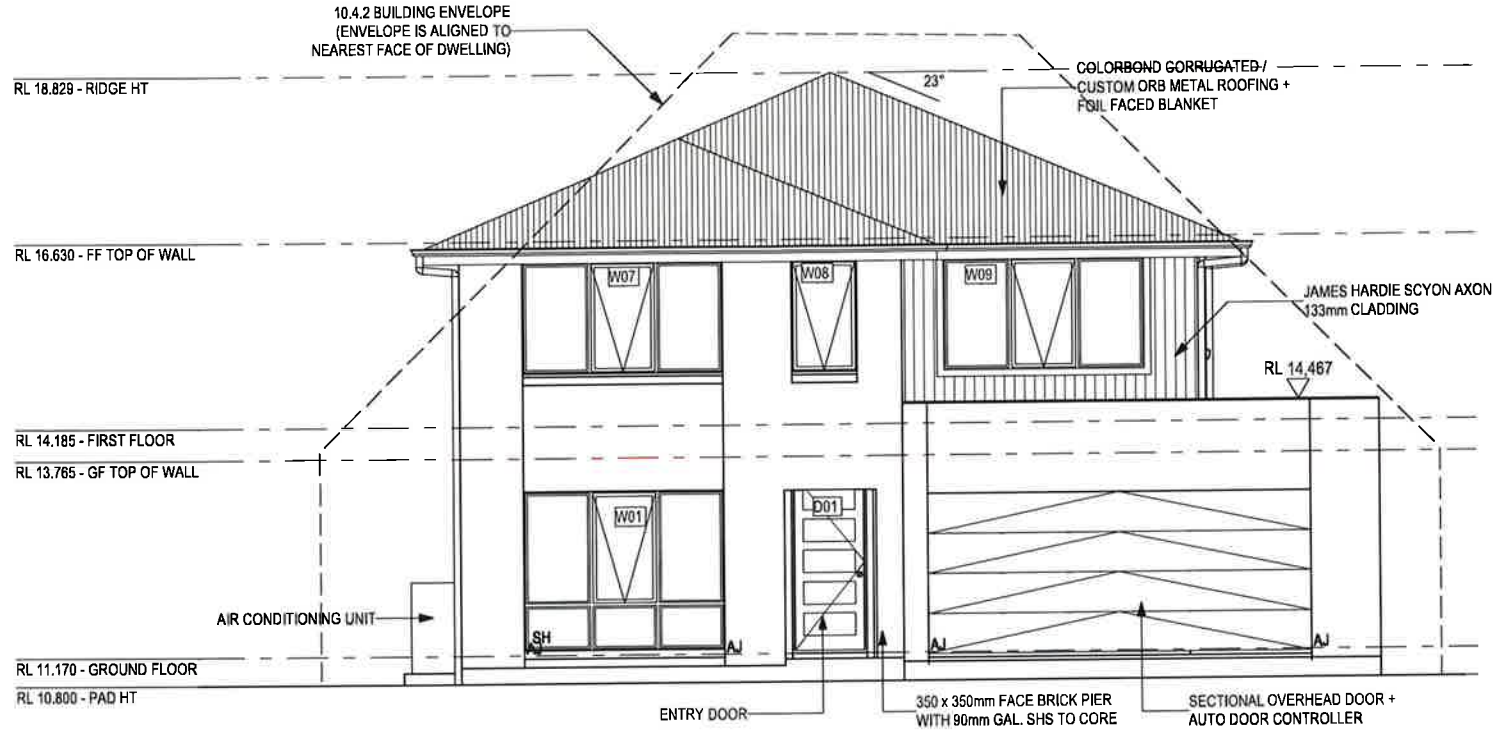
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Last Published: Wednesday, 1 June 2022 9:54 AM

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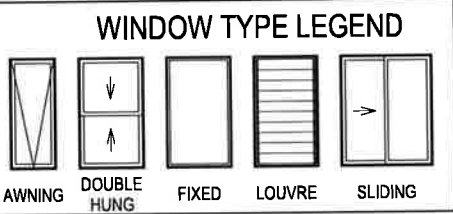
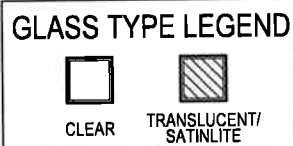
The dwelling will be utilised for visitor accomondation



WEST ELEVATION
Scale: 1:100



EAST ELEVATION
Scale: 1:100



LOW REFLECTANCE GLAZING TO BE USED
ON WINDOWS AS REQUIRED BY GLE-
S7.7.1.2 -P1

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148 / - / 181554

COUNCIL:
GLENORCHY COUNCIL

HOUSE DESIGN:
SEABREEZE

FACADE DESIGN:
CLASSIC

SHEET TITLE:
ELEVATIONS

HOUSE CODE:
H-WELSBZ10DA

FACADE CODE:
F-WELSBZ10CLASA

SHEET No.:
7 / 29

SCALES:
1:100

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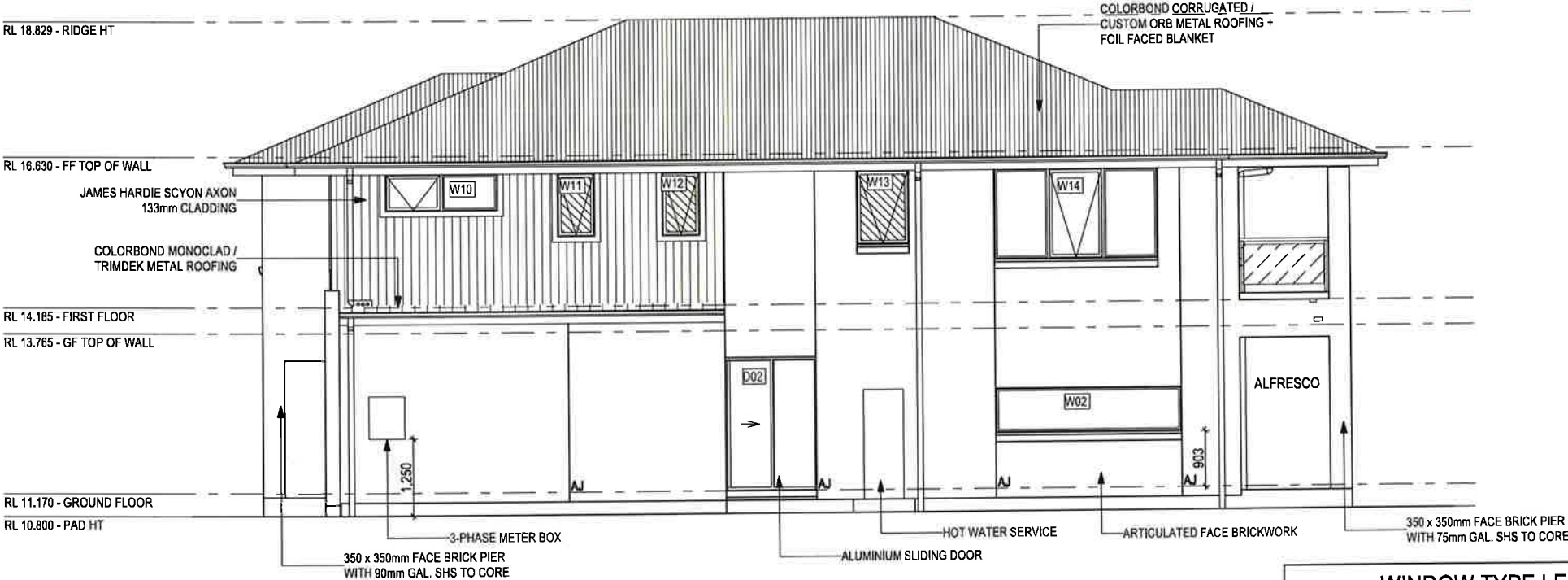
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SH = SNAP HEADER SILL

FIRST FLOOR WINDOW OPENINGS TO BE RESTRICTED AS REQUIRED BY THE NCC



NORTH ELEVATION
Scale: 1:100



SOUTH ELEVATION
Scale: 1:100

GLASS TYPE LEGEND

CLEAR	TRANSLUCENT/ SATINLITE
-------	---------------------------

WINDOW TYPE LEGEND

AWNING	DOUBLE HUNG	FIXED	LOUVRE	SLIDING
--------	----------------	-------	--------	---------

LOW REFLECTANCE GLAZING TO BE USED ON WINDOWS AS REQUIRED BY GLE-S7.7.1.2 -P1

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FACADE DESIGN: CLASSIC	FACADE CODE: F-WELSBZ10CLASA
SHEET TITLE: ELEVATIONS	SHEET No.: 8 / 29
	SCALES: 1:100

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