

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-26-133
PROPOSED DEVELOPMENT:	Single Dwelling and outbuilding (Residential) at CT127900/1
LOCATION:	Faulkners Road, Glenlusk
APPLICANT:	Pinnacle Drafting & Design
ADVERTISING START DATE:	10/07/2026
ADVERTISING EXPIRY DATE:	24/07/2026

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **24/07/2026**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **24/07/2026**, or for postal and hand delivered representations, by 5.00 pm on **24/07/2026**.

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Changes List		GLENORCHY CITY COUNCIL PLANNING SERVICES APPLICATION No. : PLN-26-133 DATE RECEIVED: 1 July 2026
Issue	Description of change	



Note: The images provided are artistic representations only and should not be used as references for final colours, finishes, or external/internal features.

51 Faulkners Rd, Glenlusk TAS 7012

Owner(s) or Clients	Adam Kemp	Title Reference	127900/1
Building Classification	1a & 10a	Zoning	Rural
Designer	Jason Nickerson CC6073Y	Land Size	7694m ²
Total Floor Area (Combined)	365.36m ² Deck 33.57m ²	Design Wind Speed	N3
Alpine Area	N/A	Soil Classification	M
Other Hazards	Priority vegetation area, Scenic protection area, Bushfire-prone areas	Climate Zone	7
		Corrosion Environment	Low
		Bushfire Attack Level (BAL)	19

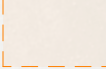
ID	Sheet Name	Issue
A.01	Location Plan	DA - 02
A.02	Site Plan	DA - 02
A.03	Floor Plan	DA - 02
A.04	Elevations	DA - 02
A.05	Elevations	DA - 02
A.06	Elevations - Shed	DA - 02
A.07	Roof Plan	DA - 02
A.08	Electrical Plan	DA - 02

Important Note

Refer to report completed by Doyle Soil Consulting dated October 2022 for details on Wastewater Design.

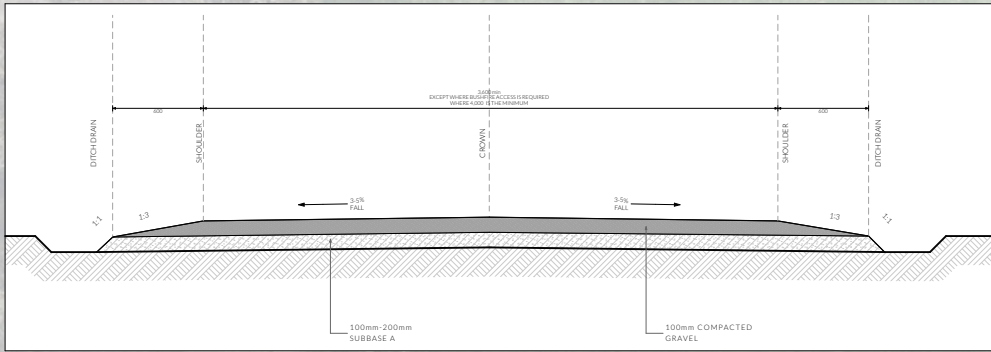
Important Note

Refer to bushfire report completed by GJ Williams Drafting Service dated August 2023 for details on Bushfire rating & management.



HMA

Hazard management area as defined in report by GJ Williams Drafting Service in August 2023. Refer to report for full details on requirements.



GRAVEL DRIVEWAY DETAIL

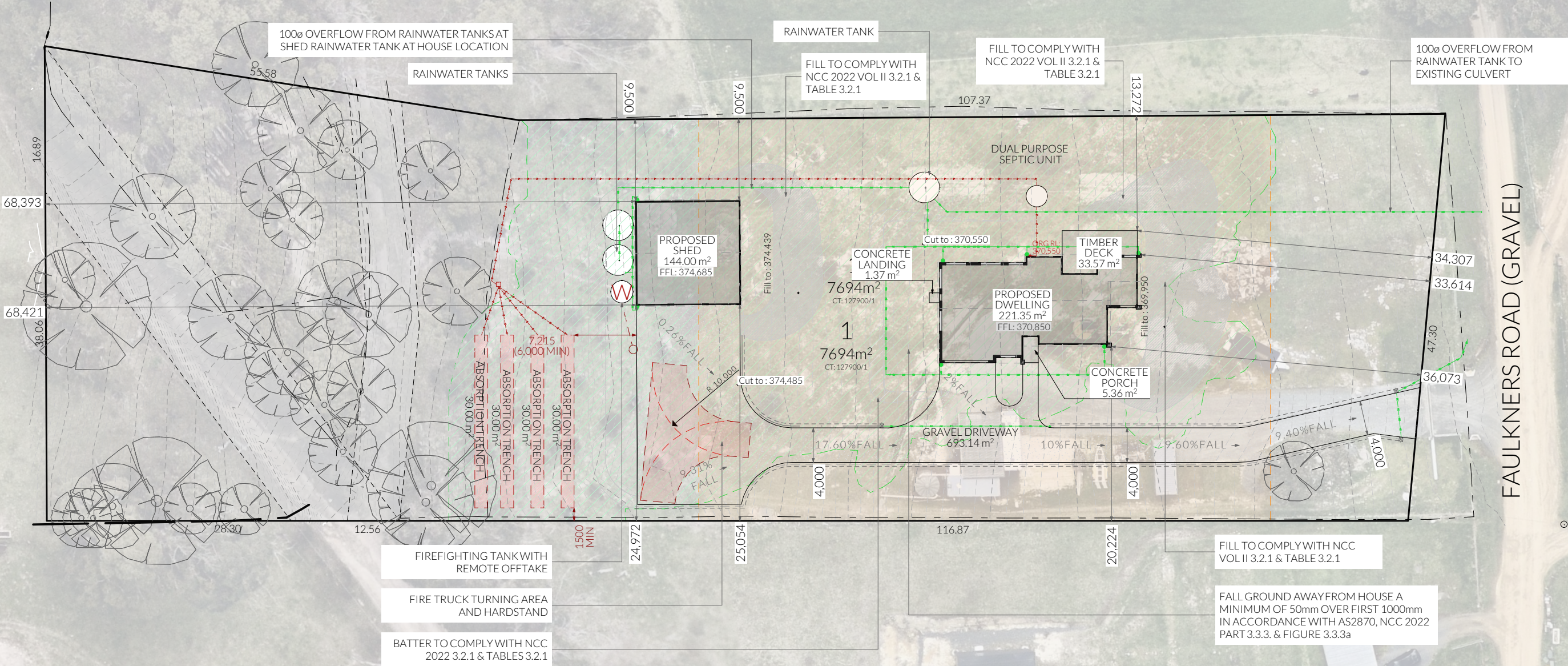
Survey Notes from Surveyor

While all reasonable effort has been made to ensure the accuracy of the ground services, there may be other services during the field survey. Prior to any demolition, excavation, or construction, a full site inspection should be conducted. All survey data is 3D. The level (z-value) of any specific feature can be interrogated with a suitable CAD package. Spot heights of all features, including pipe inverts, are included in the model space but are not displayed on the PDF. Spot heights are organised into appropriate layers, and can be displayed as required. DATUM - Vertical : AHD per SPM10173 with reputed AHD level of 419.241 from SURCOM on 27/10/2022 At the time of this survey, CT.127900/1 was owned by Adam Charles Kemp & Nicole Louise Jennings Date of Survey : 27/10/2022

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PLANNING SERVICES

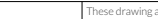
APPLICATION No. : PLN-26-133

DATE RECEIVED: 1 July 2026



Site Areas

Site Area 7694 m²
Building Footprint 365.35 m²
Total Site Coverage 4.75%

PINNACLE	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	Location Plan	Scale: @A3	Proposal: New Dwelling & Shed	Date: 04/06/26	<table><tr><th>Issue</th><th>Date</th><th>Designer</th></tr><tr><td> </td><td> </td><td> </td></tr><tr><td colspan="3">NOTE: Refer to cover page for further details on changes.</td></tr></table>	Issue	Date	Designer				NOTE: Refer to cover page for further details on changes.			 These drawing are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2024. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificate of Likely Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING & DESIGN PTY LTD AS SOON AS PRACTICABLE. This document must be printed in colour. Pinnacle Drafting takes no responsibility for any errors, issues, or omissions caused by contractors and builders not following colour-printed plans.  BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA
	Issue		Date	Designer												
	NOTE: Refer to cover page for further details on changes.															
	Revision: DA - 02		Client: Adam Kemp	Drawn by: MG												
Approved by: JD/CJ	Address: 51 Faulkners Rd, Glenlusk TAS 7012	Job No: 021-2026														
		Engineer: Verto														
		Building Surveyor: TBA														

Surface Water Drainage

Ground to fall away from building in all directions in compliance with AS2870 & N.C.C 2022 3.3.3.

Surface water must be diverted away from a Class 1 building as follows:

- (a) Slab-on-ground - finished ground level adjacent to a building; the external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than (i) 25mm over the first 1m from the building (A) in low rainfall intensity areas for surfaces that are reasonably impermeable (such as concrete or claypaving); or (B) for any reasonably impermeable surface that forms part of an access path or ramp provided for the purposes of Clauses 1.1 (2) or (4)(c) of the ABCB Standard for Livable Housing Design; or
- (ii) 50 mm over the first 1 m from the building in any other case.
- (b) Slab-on-ground - finished slab heights: the height of the slab-on-ground above external finished surfaces must be not less than (i) 100 mm above the finished ground level in low rainfall intensity areas or sandy, well-drained areas; or (ii) 50 mm above impermeable (paved or concrete) areas that slope away from the building in accordance with (a); or (iii) 150 mm in any other case.
- (c) The ground beneath suspended floors must be graded so that the area beneath the building is above the adjacent external finished ground level and surface water is prevented from ponding under the building.

Survey Notes from Surveyor

While all reasonable effort has been made to locate all visible above ground services, there may be other services which were not located during the field survey. Prior to any demolition, excavation, final design or construction on this site, a full site inspection should be completed by the relevant engineers. All survey data is 3D. The level (z-value) of any specific feature can be interrogated with a suitable CAD package. Spot heights of all features, including pipe inverts, are included in the model space but are not displayed on the PDF. Spot heights are organised into appropriate layers, and can be displayed as required. DATUM - Vertical : AHD per SPM10173 with reputed AHD level of 419.241 from SURCOM on 27/10/2022 At the time of this survey, CT.127900/1 was owned by Adam Charles Kemp & Nicole Louise Jennings Date of Survey : 27/10/2022

Subsoil Drainage

is to comply with AS2870, AS3500 & N.C.C 2022 3.3.4.

Where a subsoil drainage system is installed to divert subsurface water away from the area beneath a building, the subsoil drain must- (a) be graded with a uniform fall of not less than 1:300; and (b) discharge into an external silt pit or sump with- (i) the level of discharge from the silt pit or sump into an impervious drainage line not less than 50 mm below the invert level of the inlet; and provision for cleaning and maintenance.

Site Areas

Site Area 7694 m²
Building Footprint 365.35 m²
Total Site Coverage 4.75%

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Licence: CC6073Y

Site Plan

Revision: DA - 02
Approved by: JD/CJ

Scale: 1:200 @ A3
Pg. No: A.02

Proposal: New Dwelling & Shed
Client: Adam Kemp
Address: 51 Faulkners Rd, Glenlusk TAS 7012

Date: 04/06/26
Drawn by: MG
Job No: 021-2026
Engineer: Verto
Building Surveyor: TBA

Important Note

Refer to bushfire report completed by GJ Williams Drafting Service dated August 2023 for details on Bushfire rating & management.

Important Note

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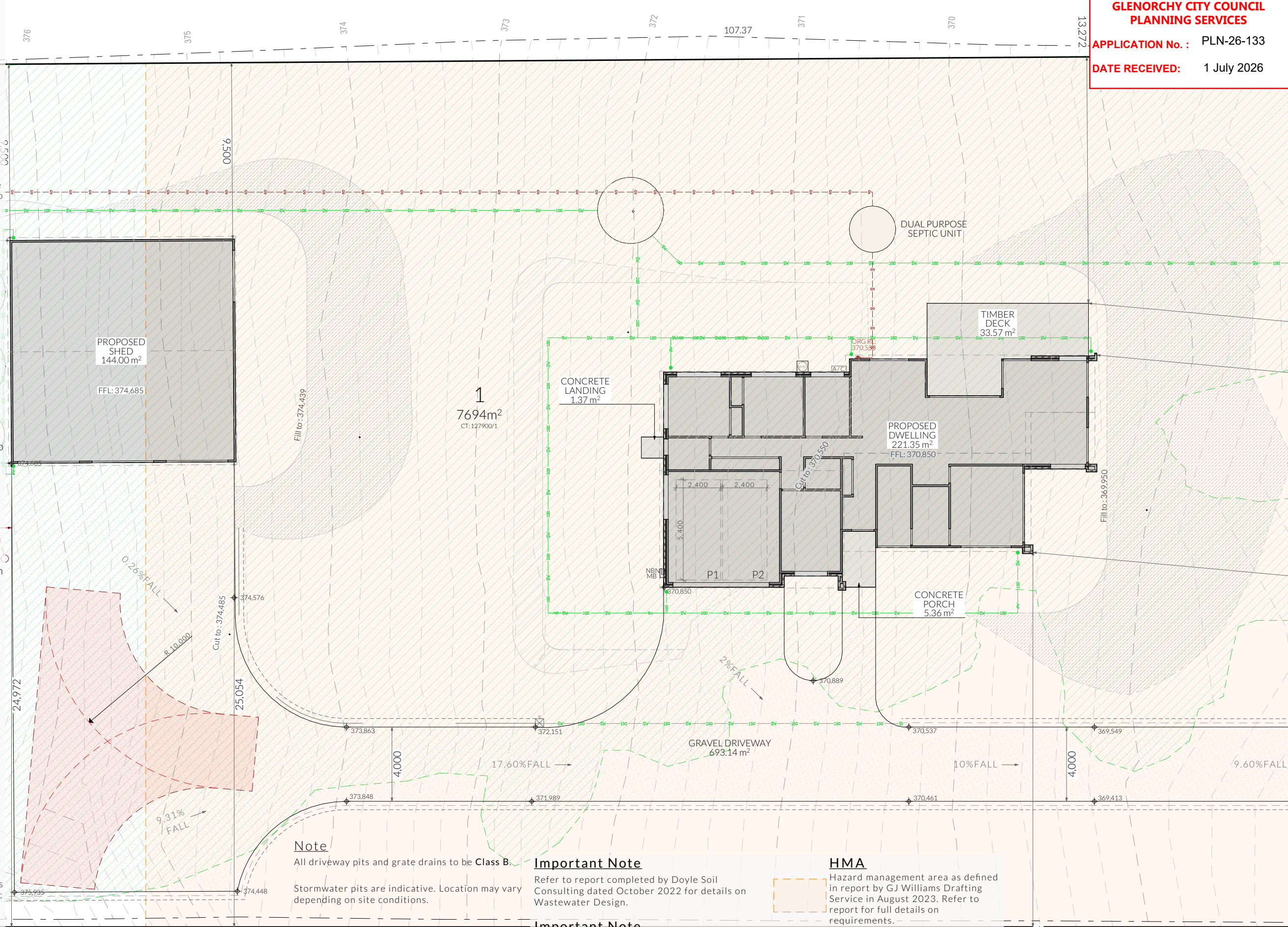
HMA

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Note

All driveway pits and grate drains to be Class B.
Stormwater pits are indicative. Location may vary depending on site conditions.

- A

P

Access Panel
- AJ

Articulation Joint
- SA

Smoke Alarm

Important Note

Compliant bracing for livable housing standards - black dashed line represents location of reinforcement materials.

In accordance with the Livable Housing Provisions, acceptable options for reinforcement material include noggings with a minimum thickness of 25mm or structural grade plywood with a minimum thickness of 12mm.

Required reinforcement of bathroom and sanitary compartment in compliance with Livable Housing Design Standards 2022

Builder to refer to;
Shower - Figure 6.2c
Bath - n/a - freestanding is exempt under 6.1(1)(b)(ii)and the shower required under Part 5 is located in the Bathroom
Toilet - Figure 6.2e

Construction of sanitary compartments 10.4.2 of NCC 2022

The door to a fully enclosed sanitary compartment must -

- open outwards; or
- slide; or
- be readily removable from the outside of the compartment.

unless there is a clear space of at least 1.2 m, measured in accordance with Figure 10.4.2 of NCC 2022 Vol II, between the closet pan within the *sanitary compartment* and the doorway.

Note: Safe Movement & Egress

Openable windows greater than 4m above the surface below are to be fitted with a device to limit opening or a suitable screen so a 125mm sphere cannot pass through. Except for Bedrooms, where the requirement is for heights above 2m. Refer to clauses 11.3.7 and 11.3.8 of NCC 2022 for further information on suitable protective devices.

Note: Paved Areas

All paths and patios to fall away from dwelling.

Note: Stair Construction

All stairs to be constructed in accordance with NCC Vol II 2022 Part 11.2.2:
Riser: Min 115mm - Max 190mm
Going: Min 240mm - Max 355mm
Slope (2R+G): Max 550 - Min 700
For stairways serving non-habitable room used infrequently, refer to table 11.2.2(b).

Landings to comply with Clause 11.2.5 and be a minimum of 750mm deep measured 500mm from the inside edge of the landing.

Slip resistance of treads, nosings and ramps to comply with Clause 11.2.4.

Heights of rooms & other spaces 10.3.1 of NCC 2022

Heights of rooms and other spaces must not be less than;

(a) in a *habitable room* excluding a kitchen - 2.4 m; and

(b) in a kitchen - 2.1 m; and

(c) in a corridor, passageway or the like - 2.1 m; and

(d) in a bathroom, shower room, laundry, *sanitary compartment*, airlock, pantry, storeroom, garage, car parking area or the like - 2.1 m; and

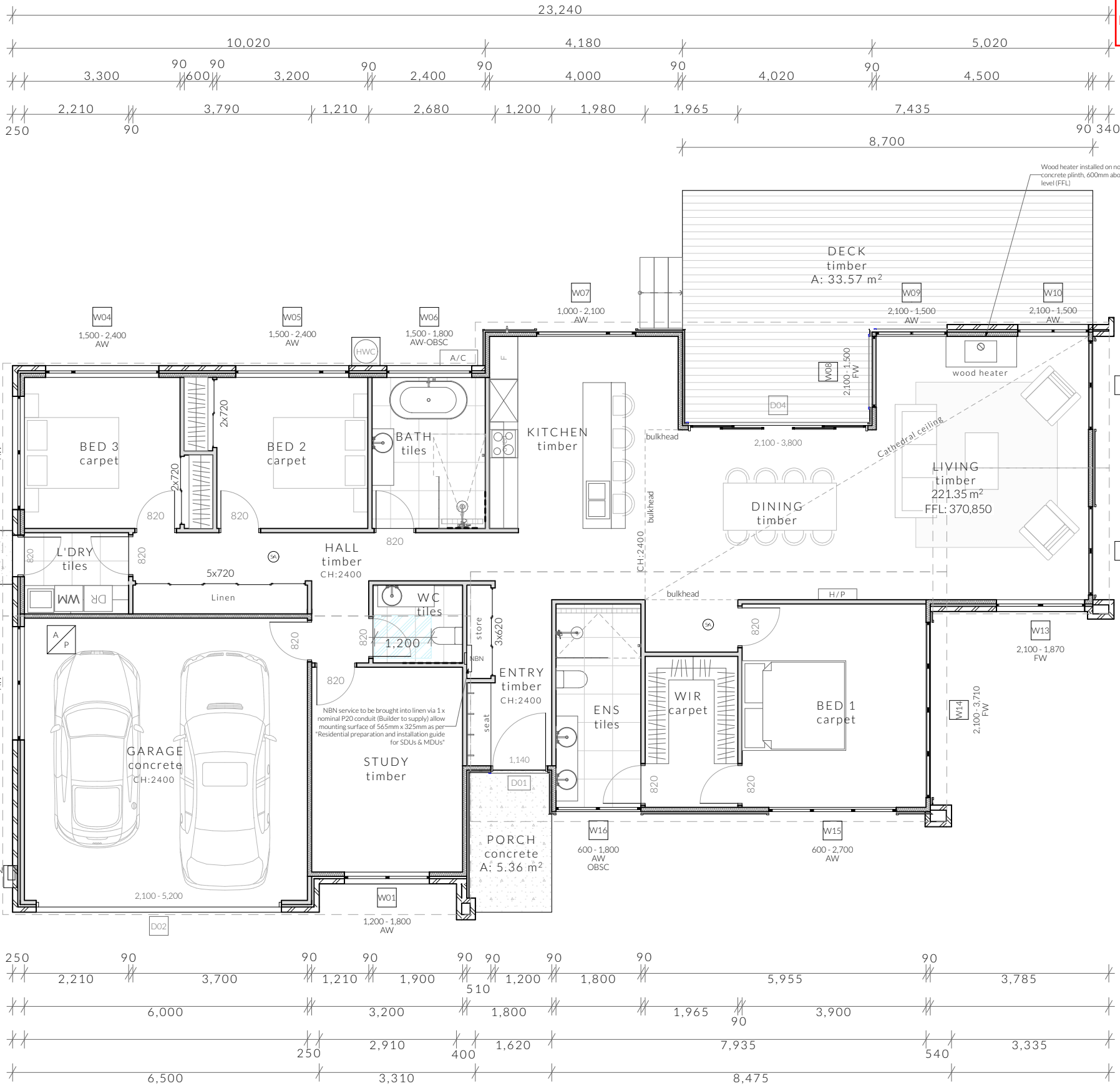
(e) in a room or space with a sloping ceiling or projections below the ceiling line within- See NCC directly for these items

(f) in a stairway, ramp, *landing*, or the like - 2.0 m measured vertically above the nosing line of stairway treads or the floor surface of a ramp, *landing* or the like.

If required onsite, the builder may work within the tolerances of the above as specified within the NCC 2022 Vol II. Builder to contact *Pinnacle* before undertaking works.

Floor Areas

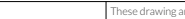
Floor Area 221.35m²
Deck 33.57m²



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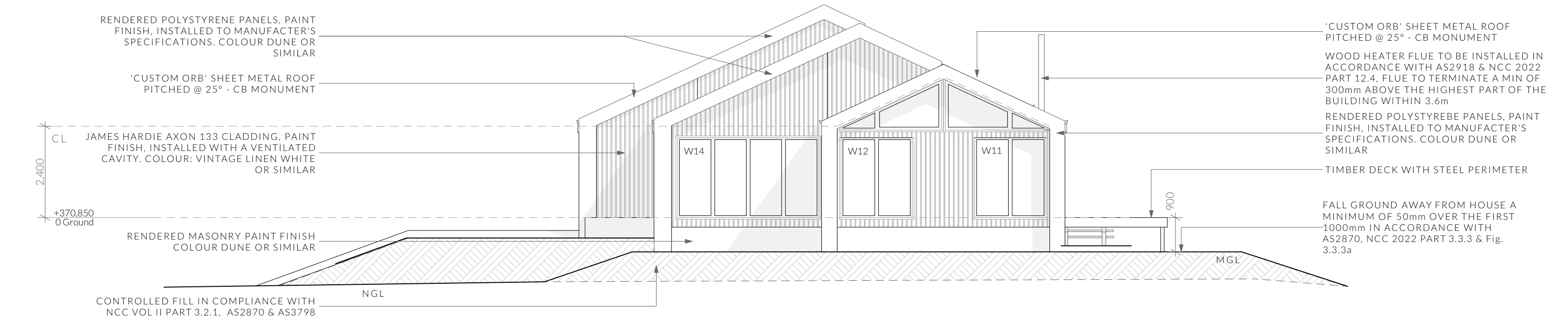
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North Elevation

1:100



East Elevation

1:100

NOTE

Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of:
100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.

Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.

U.N.O in builders specifications or located in saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked joints.

As per NCC parts 11.3.7 and 11.3.8,
Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm sphere cannot pass through, and withstand a force of 250N. Except for bedrooms, where the requirement is for heights above 2m.

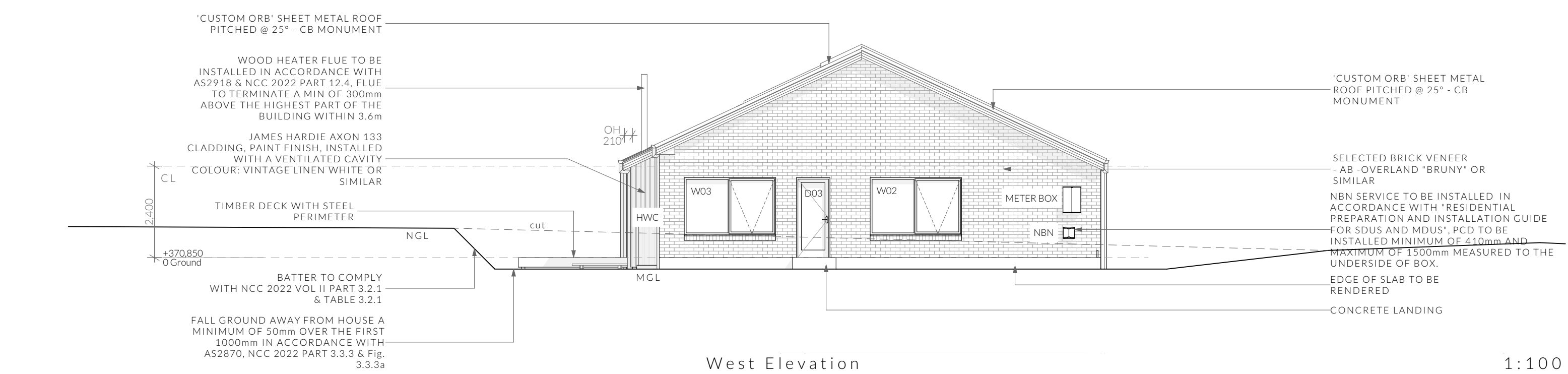
All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2
Riser: Min 115mm - Max 190mm
Going: Min 240mm - Max 355mm

Slope (2R+G): Max 550 - Min 700

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South Elevation



West Elevation

NOTE
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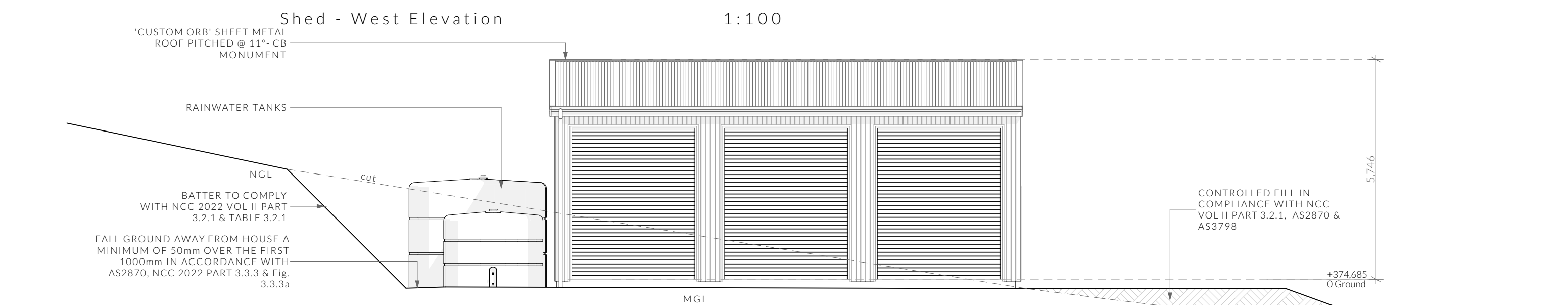
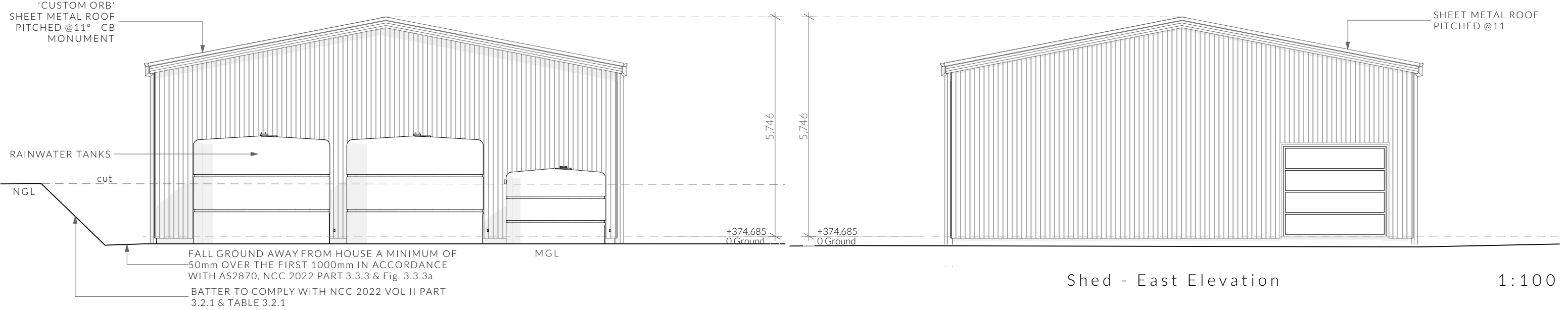
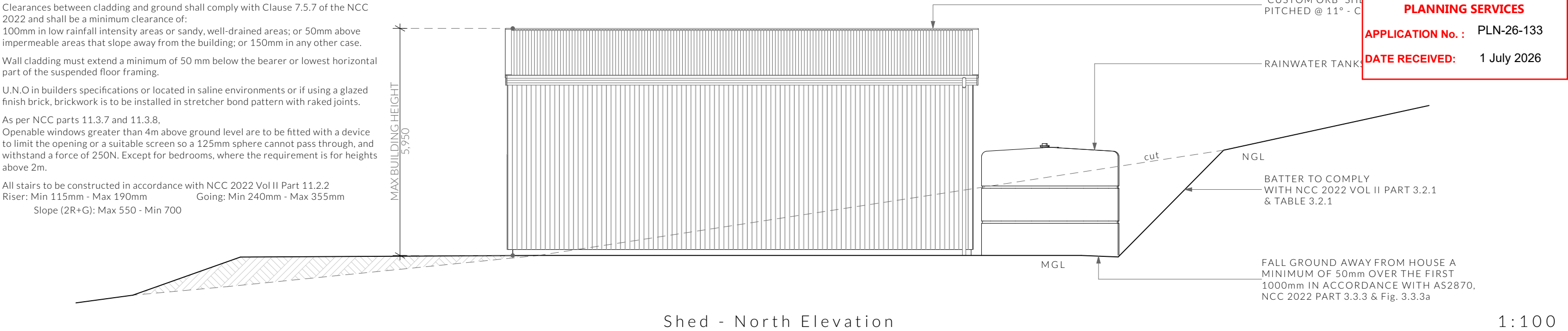
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Riser: Min 115mm - Max 190mm Going: Min 240mm - Max 355mm
Slope (2R+G): Max 550 - Min 700

GLENORCHY CITY COUNCIL
PLANNING SERVICES

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	admin@pinnacledrafting.com.au		A.06		Engineer: Verto				
	www.pinnacledrafting.com.au		Revision: DA - 02		Building Surveyor: TBA				
Licence: CC6073Y	Approved by: JD/CJ								

Ventilation of roof spaces NCC 2022

Part 10.8.3

A roof must have a roof space that-

- (a)is located-
 - (i)immediately above the primary insulation layer; or
 - (ii)immediately above sarking with a vapour permeance of not less than 1.14 µg/N.s, which is immediately above the primary insulation layer; or
 - (iii)immediately above ceiling insulation; and
- (b)has a height of not less than 20 mm; and
- (c)is either-
 - (i)ventilated to outdoor air through evenly distributed openings in accordance with Table 10.8.3; or
 - (ii)located immediately underneath the roof tiles of an unsarked tiled roof.

Stormwater Notes

All gutters, downpipes and rain heads to be designed and installed in compliance with AS3500.3 & NCC 2022 Volume II Part 7.4.

Roofing Cladding

Roof cladding, flashings, cappings, roof sheeting and fixings are to be installed in accordance with NCC 2022 Volume II Part 7.2 for sheet roofing and Part 7.3 for tiled and shingle roofing.

Eaves & Soffit Linings

To comply with NCC 2022 Vol II Part 7.5.5 and where provided, external fibre-cement sheets and linings used as eaves and soffit linings must-

- (a)comply with AS/NZS 2908.2 or ISO 8336; and
- (b)be fixed in accordance with Table 7.5.5 and Figure 7.5.5 using-
 - (i) 2.8 × 30 mm fibre-cement nails; or
 - (ii) No. 8 wafer head screws (for 4.5 mm and 6 mm sheets only); or
 - (iii) No. 8 self embedding head screws (for 6 mm sheets only).

Refer to table 7.5.5 for trimmer and fastener spacings.

ROOF PITCH	VENTILATION	GLENORCHY CITY COUNCIL PLANNING SERVICES
>15° AND <75°	7,000 mm2/m provided at the ridge and an additional 18,000 mm2/m at the eaves	
(1)Ventilation openings are specified as a minimum of 10mm per m2 of the longest horizontal dimension of the roof. (2)For the purposes of this Table, high level opening means an opening more than 900 mm below the ridge or highest point of the roof.		



NOT FOR CONSTRUCTION

PINNACLE	PINNACLE DRAFTING & DESIGN	Roof Plan	Scale:	Proposal: New Dwelling & Shed	Date:	04/06/26	Issue	Date	Designer	These drawing are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2024. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificate of Likely Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING & DESIGN PTY LTD AS SOON AS PRACTICABLE. This document must be printed in colour. Pinnacle Drafting takes no responsibility for any errors, issues, or omissions caused by contractors and builders not following colour-printed plans.
	7/3 Abernant Way, Cambridge 7170		1:100 @ A3	Client: Adam Kemp	Drawn by: MG					
	03 6248 4218				Job No: 021-2026					
	admin@pinnacledrafting.com.au		Pg. No:	Address: 51 Faulknors Rd, Glenlusk TAS 7012	Engineer: Verto					
	www.pinnacledrafting.com.au		A.07		Building Surveyor: TBA					
Licence: CC6073Y	Revision: DA - 02						NOTE: Refer to cover page for further details on changes.			
	Approved by: JD/CJ									