

## DEVELOPMENT APPLICATION

|                                 |                                           |
|---------------------------------|-------------------------------------------|
| <b>APPLICATION NUMBER:</b>      | PLN-26-153                                |
| <b>PROPOSED DEVELOPMENT:</b>    | Proposed fuel storage                     |
| <b>LOCATION:</b>                | Mobil Berriedale 625 Main Road Berriedale |
| <b>APPLICANT:</b>               | Prime Design (Hobart)                     |
| <b>ADVERTISING START DATE:</b>  | 04/08/2026                                |
| <b>ADVERTISING EXPIRY DATE:</b> | 18/08/2026                                |

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website ([www.gcc.tas.gov.au](http://www.gcc.tas.gov.au)) until **18/08/2026**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to [gccmail@gcc.tas.gov.au](mailto:gccmail@gcc.tas.gov.au).

Representations must be received by no later than 11.59 pm on **18/08/2026**, or for postal and hand delivered representations, by 5.00 pm on **18/08/2026**.

# PROPOSED FUEL STORAGE

## 625 MAIN ROAD,

## BERRIDALE

## WESTNELL PTY LTD

PDH26415

BUILDING DRAWINGS

| <u>No</u> | <u>DRAWING</u>       |
|-----------|----------------------|
| 01        | SITE DEMOLITION PLAN |
| 02        | SITE PLAN            |
| 03        | LOCALITY PLAN        |
| 04        | ELEVATIONS           |

**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**

**APPLICATION No. :**    PLN-26-153

**DATE RECEIVED:**     30/7/2026

GENERAL PROJECT INFORMATION  
TITLE REFERENCE: 61255/2  
SITE AREA: 690m<sup>2</sup>  
DESIGN WIND SPEED: N/A  
SOIL CLASSIFICATION: N/A  
CLIMATE ZONE: 7  
ALPINE AREA: NO  
CORROSIVE ENVIRONMENT: VERY HIGH  
BAL RATING: EXEMPT  
OTHER KNOWN HAZARDS: WATERWAY AND COASTAL  
PROTECTION AREA



L: 10 Goodman Court , Invermay, 7248  
p(0) + 03 6332 3790  
H: Shop 9, 105-111 Main Road, Moonah, 7009  
p(h)+03 6228 4575  
info@primedesigntas.com.au  
Accredited Building Practitioner:

**bdag**  
BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

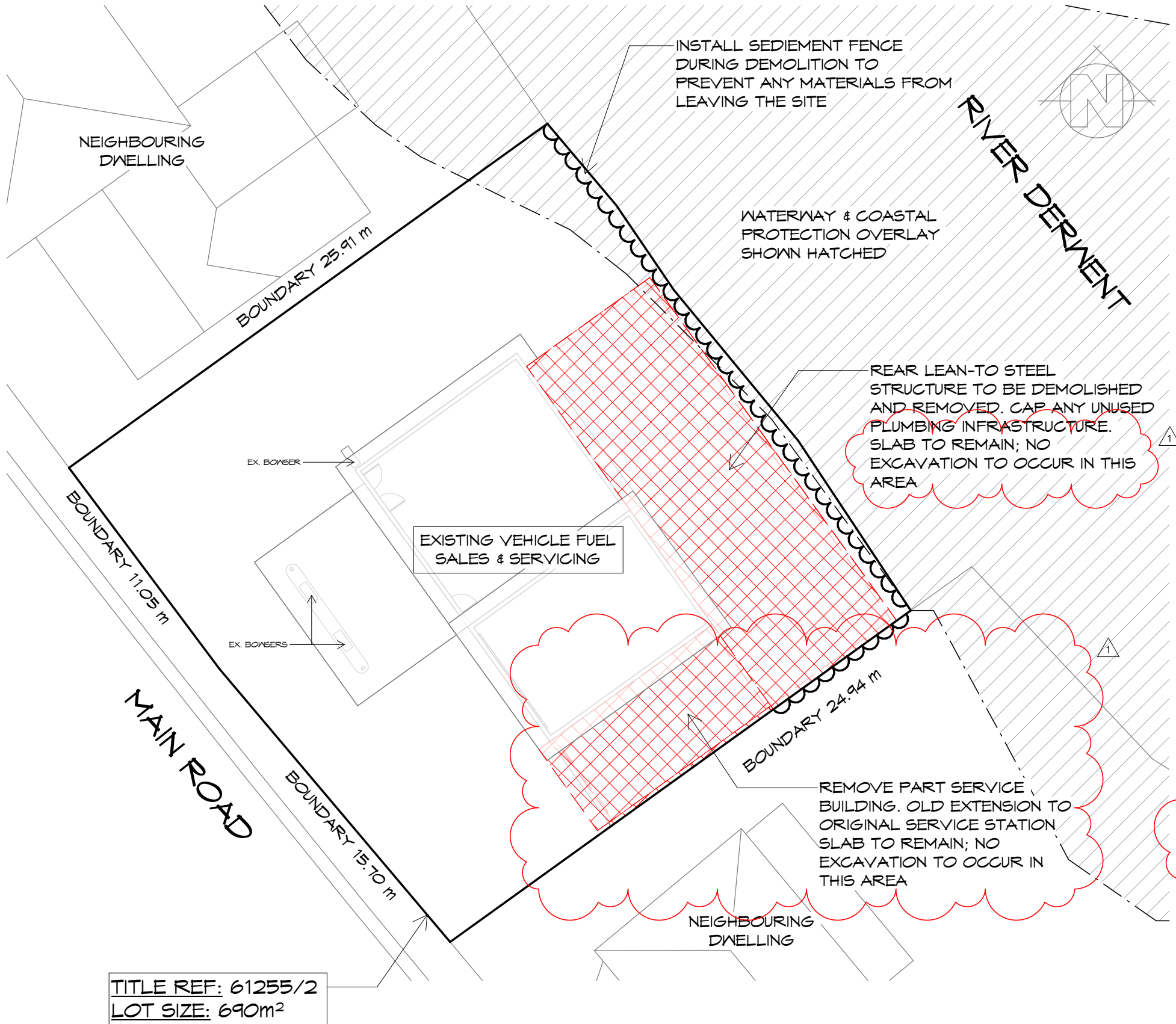
**primedesigntas.com.au**  
Frank Geskus -No CC246A

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| REV. | DATE       | DESCRIPTION                                 |
|------|------------|---------------------------------------------|
| 1    | 24.07.2026 | ADDRESS DA RFI; ADDITIONAL DEMOLITION SCOPE |

JULY 2026

PLANNING



- GENERAL NOTES**
- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
  - WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
  - ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
  - ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
  - CONFIRM ALL FLOOR AREAS
  - ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
  - BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
  - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
  - ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
  - ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
  - IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
  - BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
  - BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
  - DRAWINGS ARE REQUIRED TO BE VIEWED OR PRINTED IN COLOUR.

**DEMOLITION NOTE:**

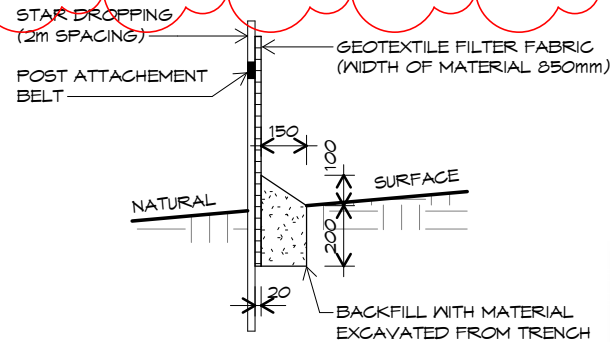
- IT IS THE BUILDERS RESPONSIBILITY THAT ALL WORKS TO BE DONE IN A SAFE MANNER.
- BUILDER TO PROP WHERE REQUIRED. IF UNSURE CONTACT ENGINEER OR DESIGNER.
- CAP ALL PLUMBING.
- ALL ELECTRICAL TO BE DISCONNECTED AT MAINS BOARD/STREET 1 OF FEED INTO SITE.
- BUILDERS RESPONSIBILITY TO KEEP SITE CLEAN TO ENSURE NO CONTAMINATES GO INTO STORM WATER/SEWER WATER LINES.
- BUILDER TO HAVE SITE INSPECTED/TESTED FOR ASBESTOS PRIOR TO ANY WORKS

**EXISTING CONSTRUCTION - REAR LEAN TO:**

- FLOOR: CONCRETE
- WALLS: STEEL FRAME
- ROOF: STEEL FRAME

**EXISTING CONSTRUCTION - SERVICE CENTRE:**

- FLOOR: CONCRETE
- WALLS: CONCRETE BLOCK
- ROOF: STEEL FRAME



**SILT STOP TYPE 1**  
TEMPORARY FENCE

**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**

APPLICATION No. : PLN-26-153

DATE RECEIVED: 30/7/2026

**Prime Design**

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info@primedesigntas.com.au primedesigntas.com.au

**bdaa**  
BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

Date: 24.07.2027 Drafted by: D.D.H. Approved by: Approver

Project/Drawing no: PDH26415 - 01 Scale: As indicated Revision: 01

Accredited building practitioner: Frank Geskus - No CC246A  
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**SITE DEMOLITION PLAN**

1 : 200

**NOTE:**  
SOIL AND WATER MANAGEMENT CONTROLS TO BE IN ACCORDANCE WITH EROSION AND SEDIMENT CONTROL DOCUMENT BY DERVENT ESTUARY PROGRAM & THE TAMAR ESTUARY AND ESK RIVERS PROGRAM

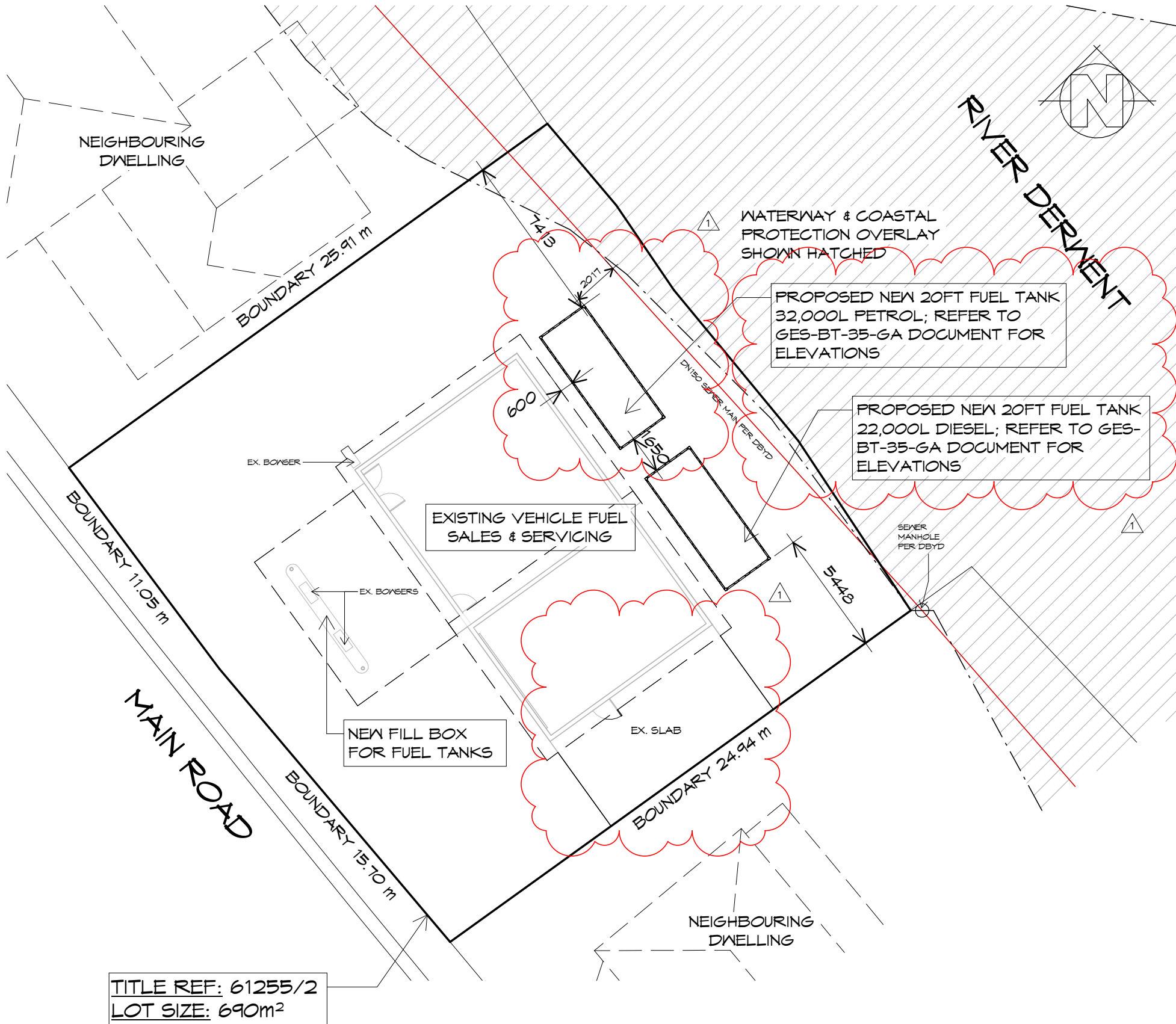
Client name:  
WESTNELL PTY LTD

**PLANNING**  
NOTE: DO NOT SCALE OFF DRAWINGS

Project:  
PROPOSED FUEL STORAGE  
625 MAIN ROAD,  
BERRIDALE

Drawing:  
SITE DEMOLITION PLAN

| REV. | DATE       | DESCRIPTION                                 |
|------|------------|---------------------------------------------|
| 1    | 24.07.2026 | ADDRESS DA RFI; ADDITIONAL DEMOLITION SCOPE |



- GENERAL NOTES**
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**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**

**APPLICATION No. :** PLN-26-153

**DATE RECEIVED:** 30/7/2026

TITLE REF: 61255/2  
LOT SIZE: 690m<sup>2</sup>

**SITE PLAN**  
1 : 200



L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790  
H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au



| REV. | DATE       | DESCRIPTION                                 |
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| 1    | 24.07.2026 | ADDRESS DA RFI; ADDITIONAL DEMOLITION SCOPE |

Client name:  
WESTNELL PTY LTD

**PLANNING**  
NOTE: DO NOT SCALE OFF DRAWINGS

Project:  
PROPOSED FUEL STORAGE  
625 MAIN ROAD,  
BERRIDALE

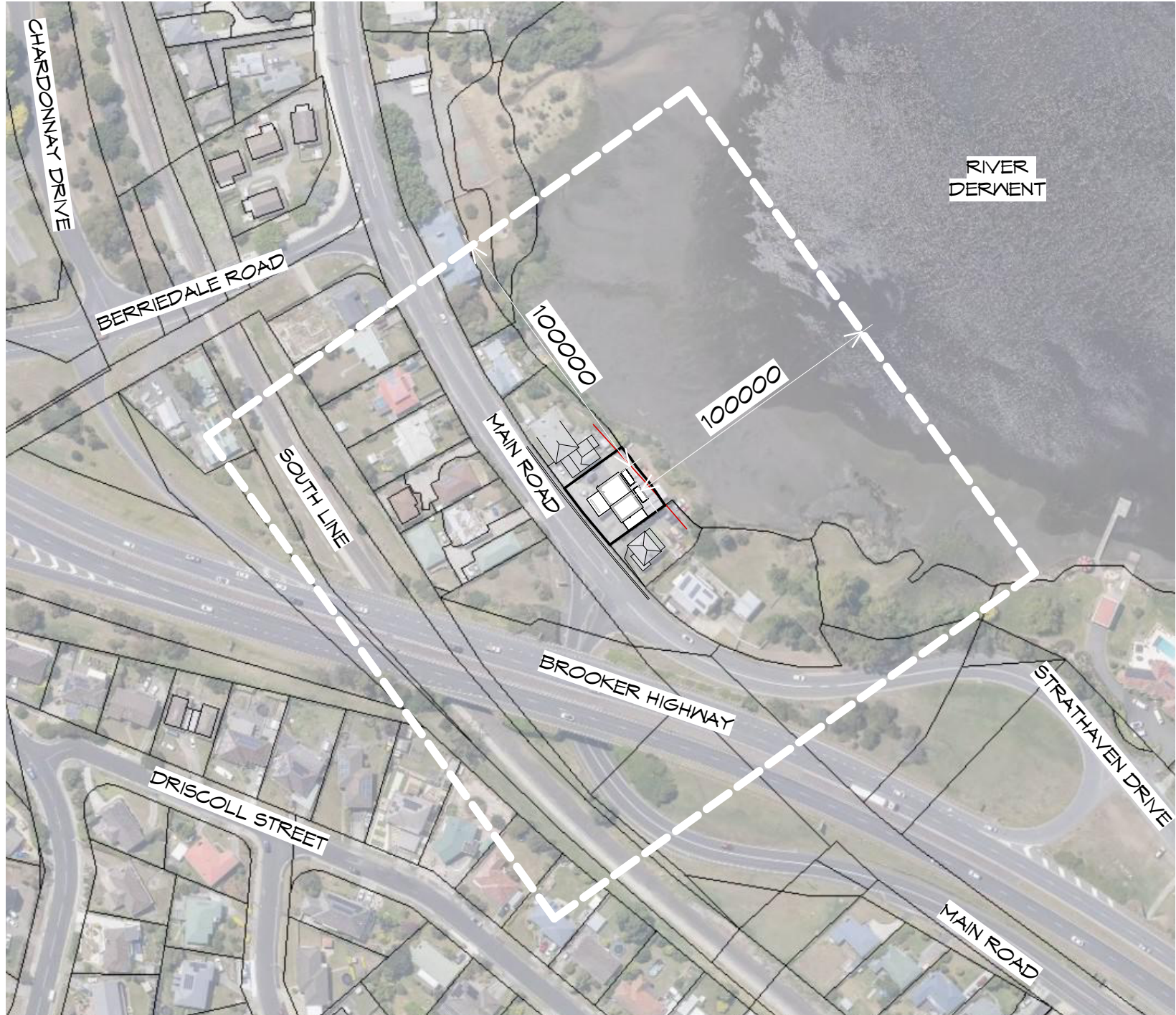
Drawing:  
SITE PLAN

|                     |                       |                          |
|---------------------|-----------------------|--------------------------|
| Date:<br>24.07.2027 | Drafted by:<br>D.D.H. | Approved by:<br>Approver |
|---------------------|-----------------------|--------------------------|

|                                      |                   |                 |
|--------------------------------------|-------------------|-----------------|
| Project/Drawing no:<br>PDH26415 - 02 | Scale:<br>1 : 200 | Revision:<br>01 |
|--------------------------------------|-------------------|-----------------|

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**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**

**APPLICATION No. :** PLN-26-153

**DATE RECEIVED:** 30/7/2026

# LOCALITY PLAN

1 : 2000

THIS SITE IS ZONED **GENERAL RESIDENTIAL** AND **DOES NOT** FALL WITHIN A BUSHFIRE PRONE AREAS OVERLAY, THEREFORE **DOES NOT REQUIRE** A BUSHFIRE ASSESSMENT.



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| REV. | DATE       | DESCRIPTION                                 |
|------|------------|---------------------------------------------|
| 1    | 24.07.2026 | ADDRESS DA RFI; ADDITIONAL DEMOLITION SCOPE |

Client name:  
WESTNELL PTY LTD

**PLANNING**  
NOTE: DO NOT SCALE OFF DRAWINGS

Project:  
PROPOSED FUEL STORAGE  
625 MAIN ROAD,  
BERRIDALE

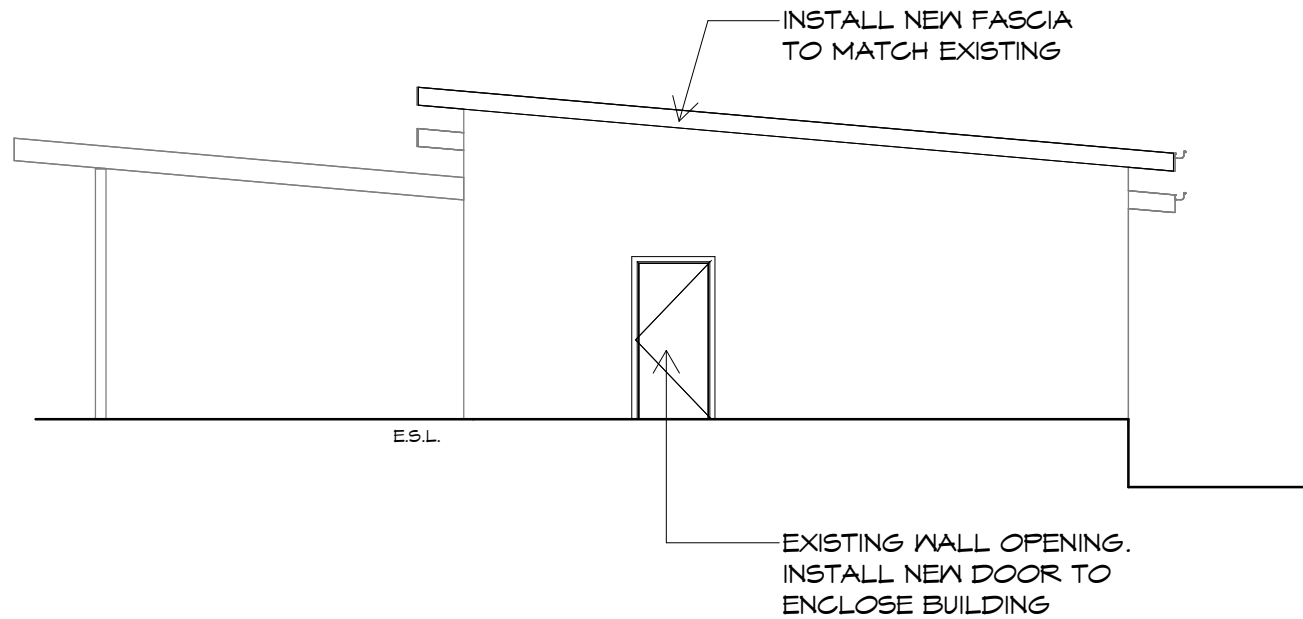
Drawing:  
LOCALITY PLAN

|                     |                       |                          |
|---------------------|-----------------------|--------------------------|
| Date:<br>24.07.2027 | Drafted by:<br>D.D.H. | Approved by:<br>Approver |
|---------------------|-----------------------|--------------------------|

|                                      |                    |                 |
|--------------------------------------|--------------------|-----------------|
| Project/Drawing no:<br>PDH26415 - 03 | Scale:<br>1 : 2000 | Revision:<br>01 |
|--------------------------------------|--------------------|-----------------|

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**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**

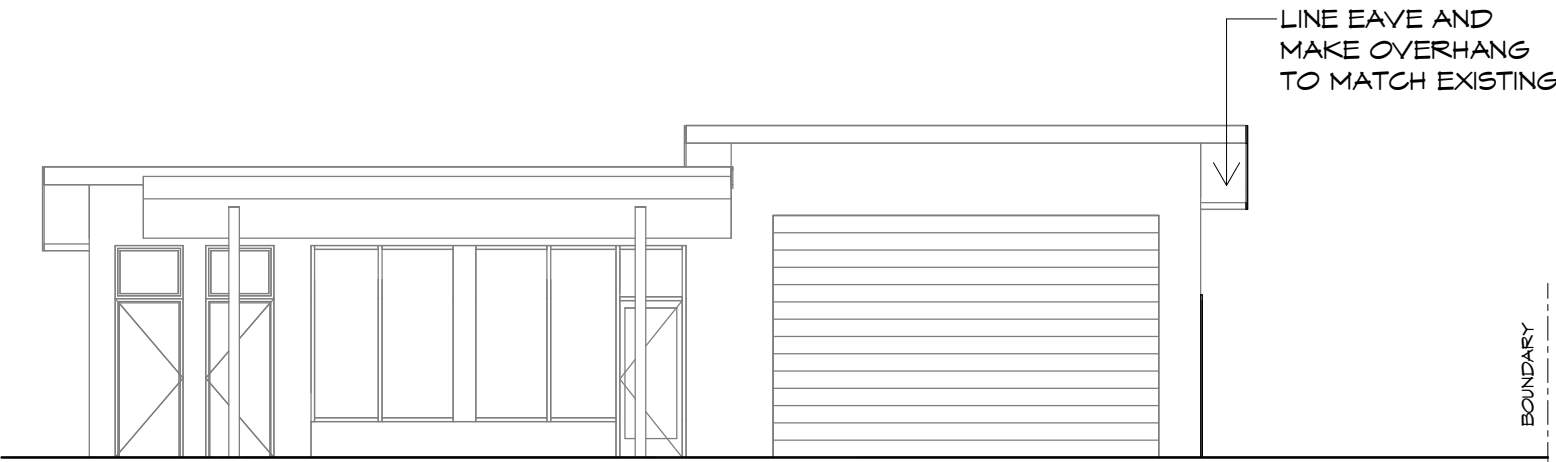
**APPLICATION No. :** PLN-26-153

**DATE RECEIVED:** 30/7/2026

AREA OF GARAGE TO BE  
REMOVED AS SHOWN ON THE  
SITE DEMOLITION PLAN



CURRENT STREET VIEW



SOUTH WESTERN ELEVATION  
1 : 100

**Prime  
Design**

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info@primedesigntas.com.au primedesigntas.com.au

**bdaa**  
BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

Date: 24.07.2027 Drafted by: D.D.H. Approved by: Approver

Project/Drawing no: PDH26415 - 04 Scale: 1 : 100 Revision: 01

Accredited building practitioner: Frank Gekus - No CC246A  
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Client name:  
WESTNELL PTY LTD

Project:  
PROPOSED FUEL STORAGE  
625 MAIN ROAD,  
BERRIDALE

Drawing:  
ELEVATIONS

| REV. | DATE       | DESCRIPTION                                 |
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| 1    | 24.07.2026 | ADDRESS DA RFI; ADDITIONAL DEMOLITION SCOPE |

**PLANNING**  
NOTE: DO NOT SCALE OFF DRAWINGS



24 July 2026

Glenorchy City Council  
374 Main Road,  
Glenorchy  
TAS 7010

Dear Planner,

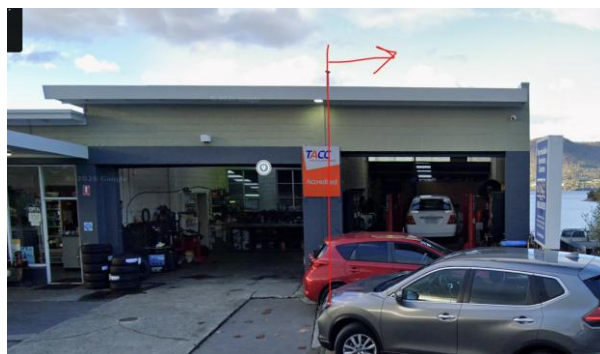
**Re: MOBIL BERRIEDALE 625 MAIN ROAD BERRIEDALE  
APPLICATION NUMBER: PLN-26-153**

This letter is to address a request for further information requested dated 23<sup>rd</sup> July 2026.

These proposed works are to occur at the existing petrol and service centre at 625 Main Road, Berriedale. The proposed works are to store fuel in more modern and durable tanks. The existing fuel tanks are to be left in the ground and to decommissioned from use.

When it comes to the demolition works. The existing steel frame building at the rear of the site will come done. The concrete slab will remain with the tanks going to sit and be tied down to this existing slab.

An additional change from the original application is that a portion of the existing service centre will be demolished. It is clear from the street view that this part of the building has a different construction methodology based on the brick size and layout. This old extension will be removed in full with the concrete slab to remain to ensure that no excavation is required. Please refer to the plans for further context.



These changes will result in no operational changes from the existing use. Since this is the case, the development standards of the general residential zone have not been addressed in this application. The new fuel tanks are 2.6m in height, which will comfortably fit within the building envelope specified in 10.4.2.

The elevation drawings are contained within the document GES-BT-35-GA. These tanks will not be visible behind the existing building when looking from Main Road.





The tank position has also been adjusted on-site to ensure it does not interfere with Taswaters infrastructure.

#### **C7.0 Natural Assets Code**

No longer applicable as the tanks have been moved out of the waterway and coastal protection overlay

#### **C9.0 Attenuation Code**

For some background, these proposed new fuel tanks are double bunded tanks which do not fit under the descriptions of fuel tanks listed in Table C9.1 Attenuation Distances (R-Z). These tanks do not cause odour emissions like traditional fuel tanks did. The only potential for odour is when it comes to re-fuelling these tanks. When this occurs, there is an additional line from the fuel tank truck called a vapour recovery unit which sucks the odour back into the tank before it can impact the neighbouring area.

Double bunded sealed tanks which will have negligible odour emissions, no odours will be perceptible beyond the boundary of the property.

#### **C14.0 Potentially Contaminated Land Code**

##### **C14.6.1 Excavation works, excluding land subject to the Macquarie Point Development Corporation Act 2012**

- A1      Complies, less than 250m<sup>3</sup> will be disturbed as only works above the existing concrete will be removed. No soil will be removed from site as no disturbance works are to occur.

Kind regards

