

**GLENORCHY PLANNING AUTHORITY
ATTACHMENTS
MONDAY, 2 OCTOBER 2023**



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PLANNING

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- 6. PROPOSED USE AND DEVELOPMENT - CHANGE OF USE TO SHORT STAY ACCOMMODATION (VISITOR ACCOMMODATION) - 15 NATHAN STREET BERRIEDALE**
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25-Sep-2023

Disclaimer: The graphic information on this map is produced by Glenorchy City Council. As errors or omissions may occur please verify data before any projects are commenced. The representation of roads or tracks is no evidence of right of way. This map is not to be used as a site plan for making an application to council.





PLANNING SERVICES

APPLICATION No PLN-22-403

DATE RECEIVED 17 Nov 2022

h=1800 PALING FENCE
FOR P.O.S

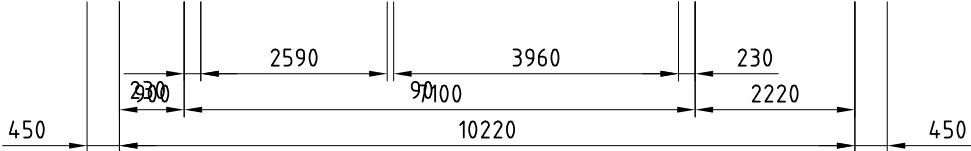
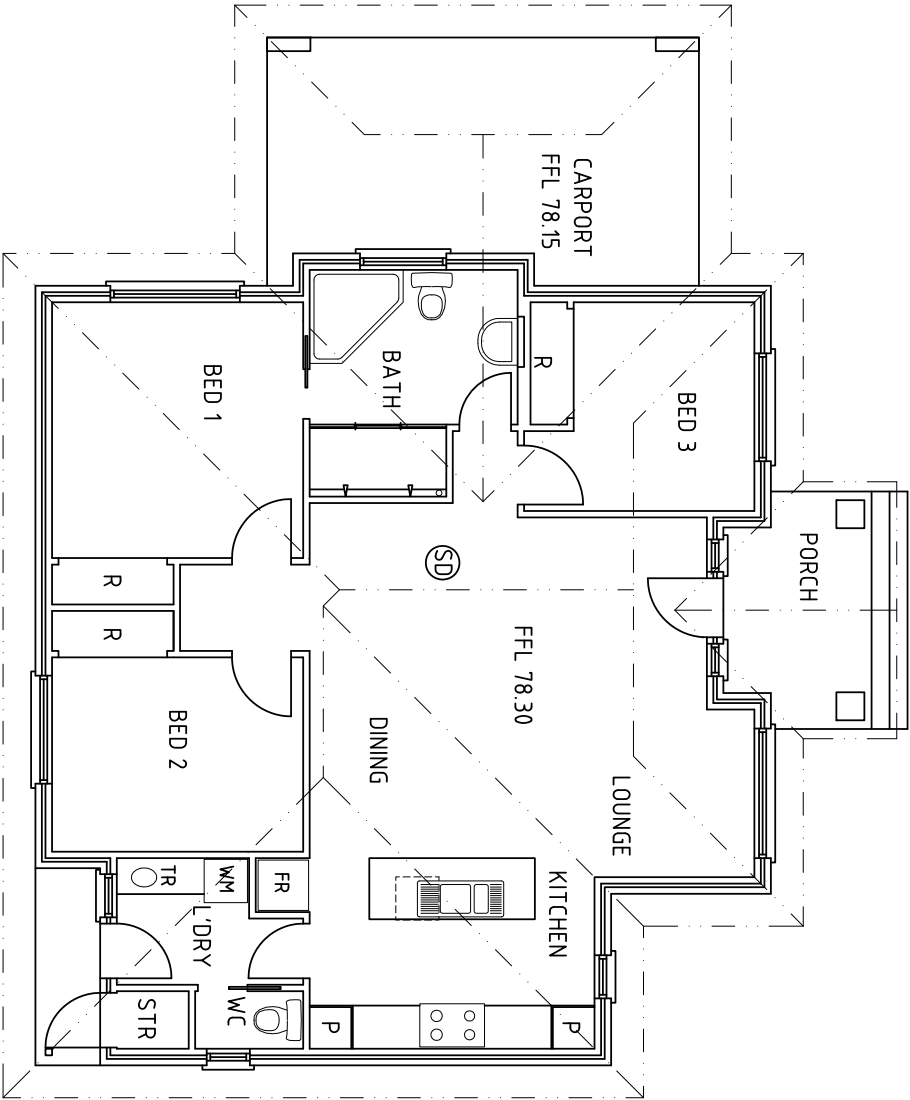
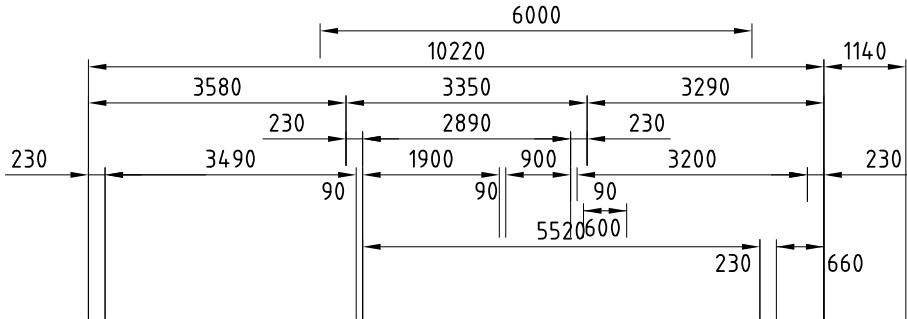
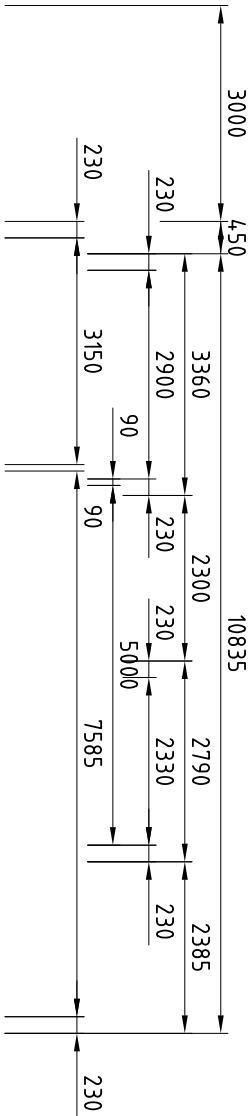
GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No **PLN-22-403**
DATE RECEIVED **15 August**



GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION NO PLN-22-403

DATE RECEIVED 24 July 2023

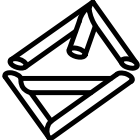


UNIT 1, FLOOR PLAN

HOUSE FA : 103 sqm
CARPORT FA : 18 sqm

NOTES

1. (SD) HARDWIRED SMOKE DETECTOR
2. STAIR TREADS NOSINGS TO COMPLY WITH BCA2007-3.9
3. WINDOW & GLAZING TO COMPLY WITH AS1288 & AS2047
4. WET AREA CONSTRUCTION (BATH ROOM) TO COMPLY WITH BCA2007
5. CONTRACTOR TO BE RESPONSIBLE FOR SETTING OUT OF DIMENSIONS. VERIFY ANY DISCREPANCIES WITH DESIGNER PRIOR TO COMMENCING WORKS.
6. INSTALL CONTROL JOINT TO EXTERNAL BRICKWORK AS NOTED ON



CONSULTING ENGINEERS
Emmanuel Dallas Pty Ltd
phone: 6228 2225
mobile: 0418 232 811
email: edallas@bimond.com

Project Title:
PROPOSED UNIT DEVELOPMENT
FOR TOSAJO CORPORATION PTY LTD
AT 2 MOORE PARK DR, GLENORCHY
UNIT 1, FLOOR PLAN

Designed by:

Date:

Scale:

1:100

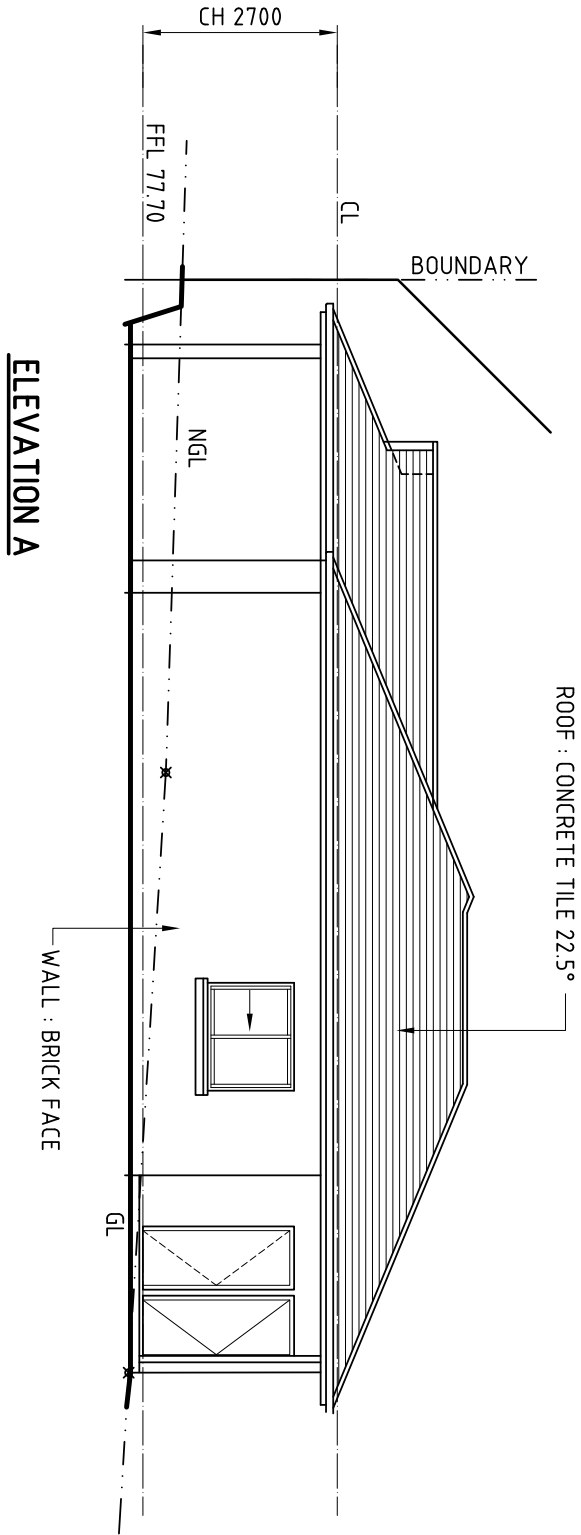
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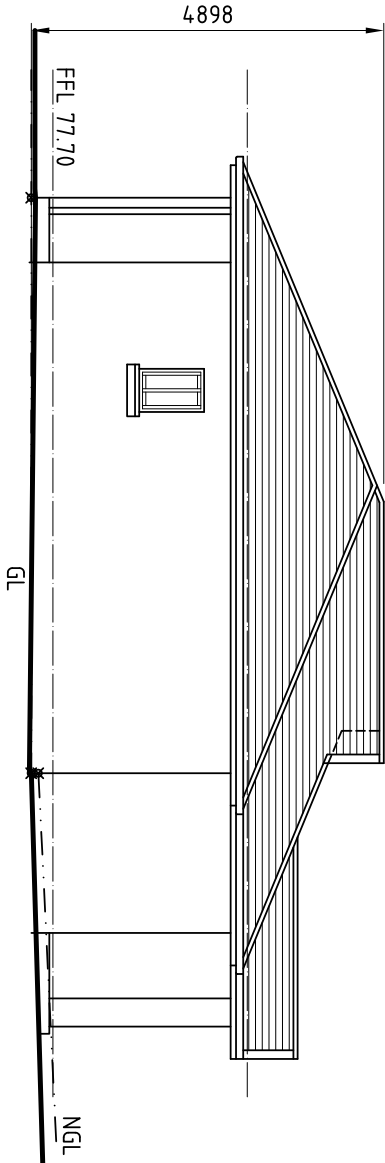
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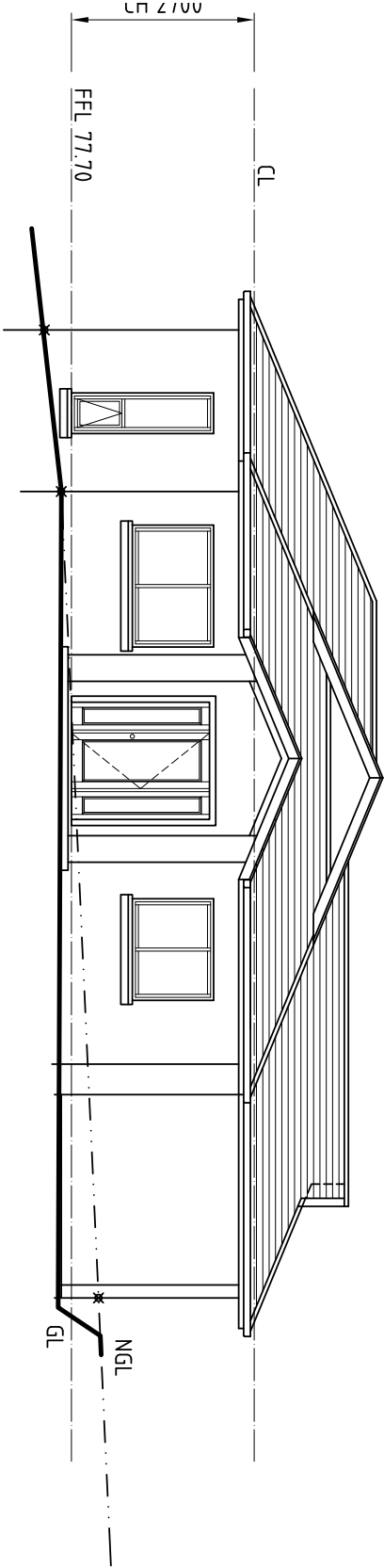
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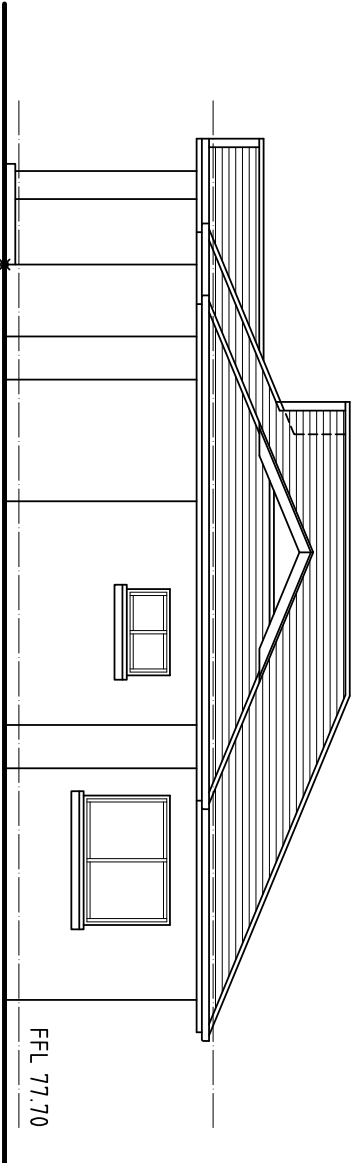
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ELEVATION B

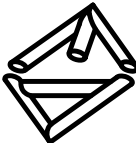


ELEVATION C



ELEVATION D

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No **PLN-22-403**
DATE RECEIVED **24 July 2023**

 CONSULTING ENGINEERS Emmanuel Dallas Pty Ltd phone: 6228 2225 mobile: 0418 232 811 email: edallas@bhinnond.com	Project Title: PROPOSED UNIT DEVELOPMENT FOR TOSAJ0 CORPORATION PTY LTD AT 2 MOORE PARK DR, GLENORCHY UNIT 1, ELEVATIONS		Scale: 1:100
	Job No. 5051		A
	Drawing No.		R
	Designed by:		Date:

GLENORCHY CITY COUNCIL

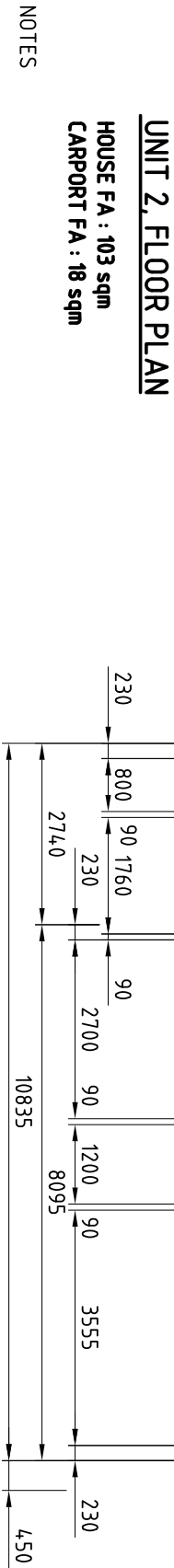
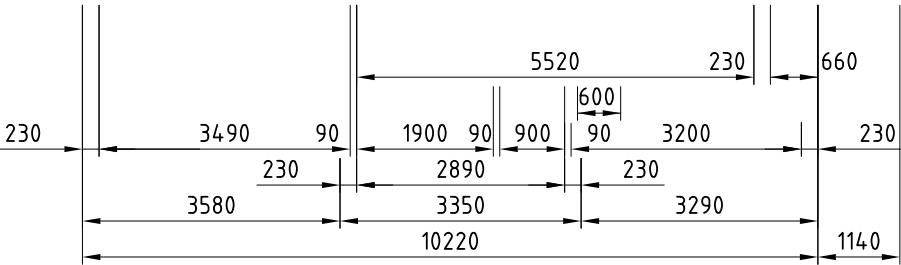
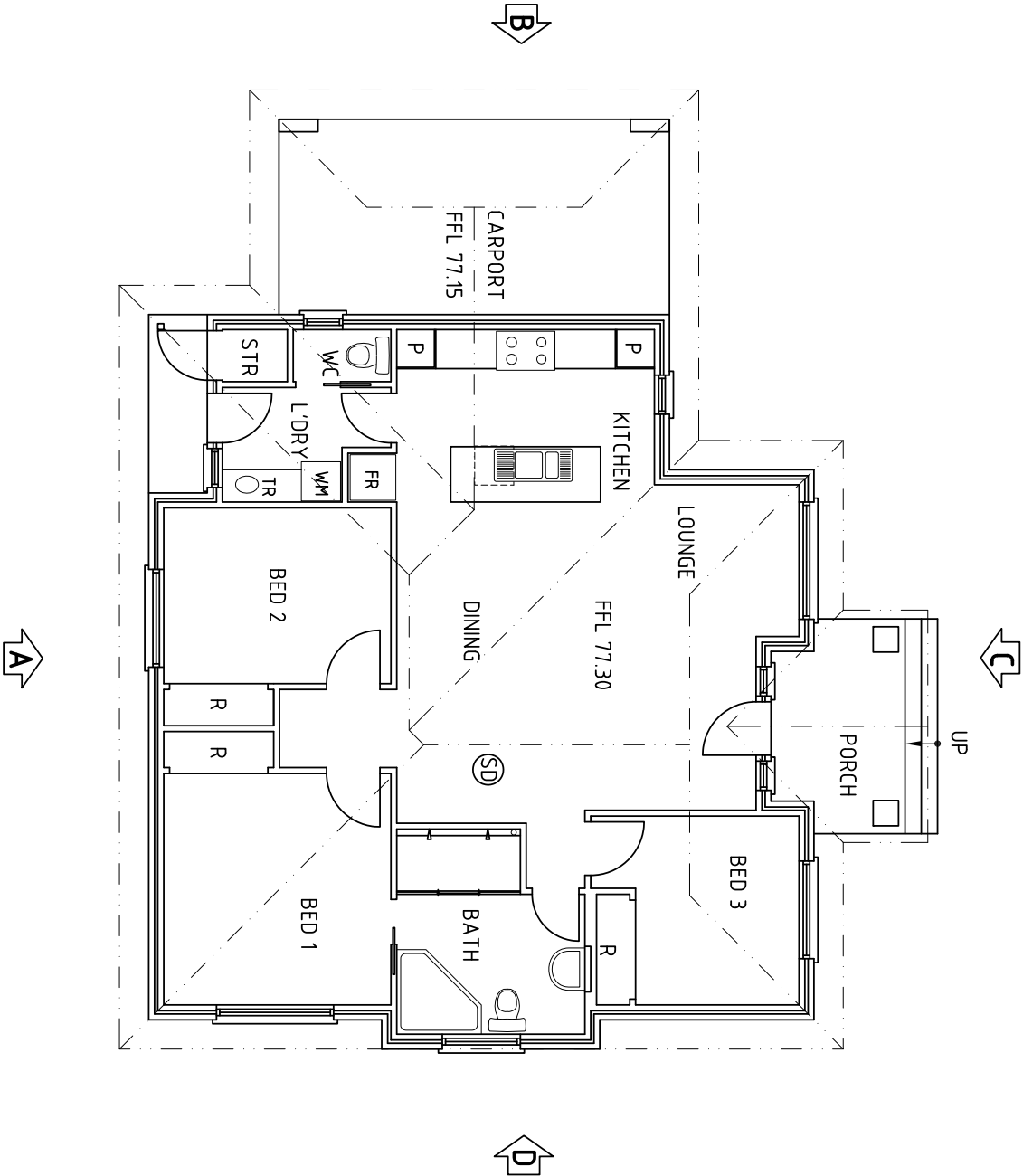
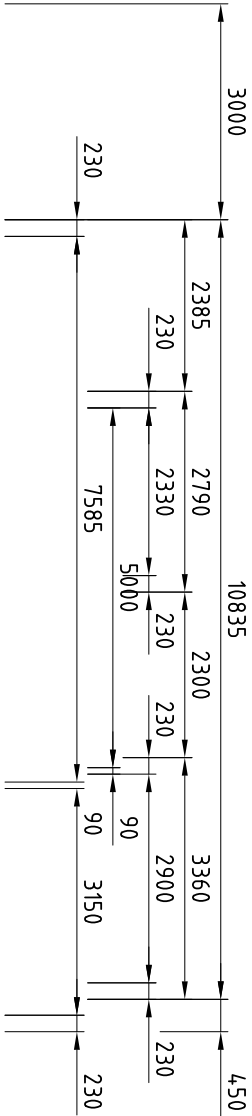
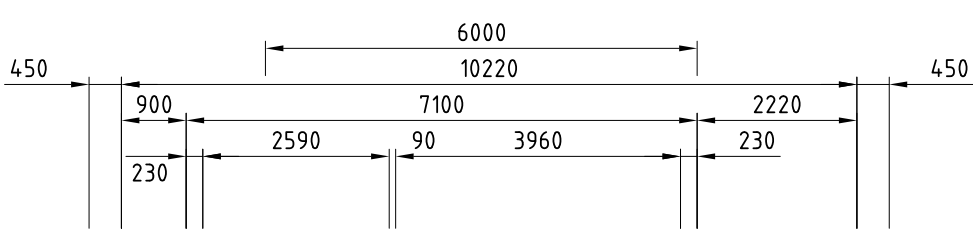
PLANNING SERVICES

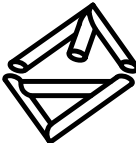
APPLICATION NO

PLN-22-403

DATE RECEIVED

24 July 2023





CONSULTING ENGINEERS
Emmanuel Dallas Pty Ltd
phone: 6228 2225
mobile: 0418 232 811
email: edallas@bhinnond.com

Project Title:
**PROPOSED UNIT DEVELOPMENT
FOR TOSAJO CORPORATION PTY LTD
AT 2 MOORE PARK DR, GLENORCHY
UNIT 2, FLOOR PLAN**

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1:100

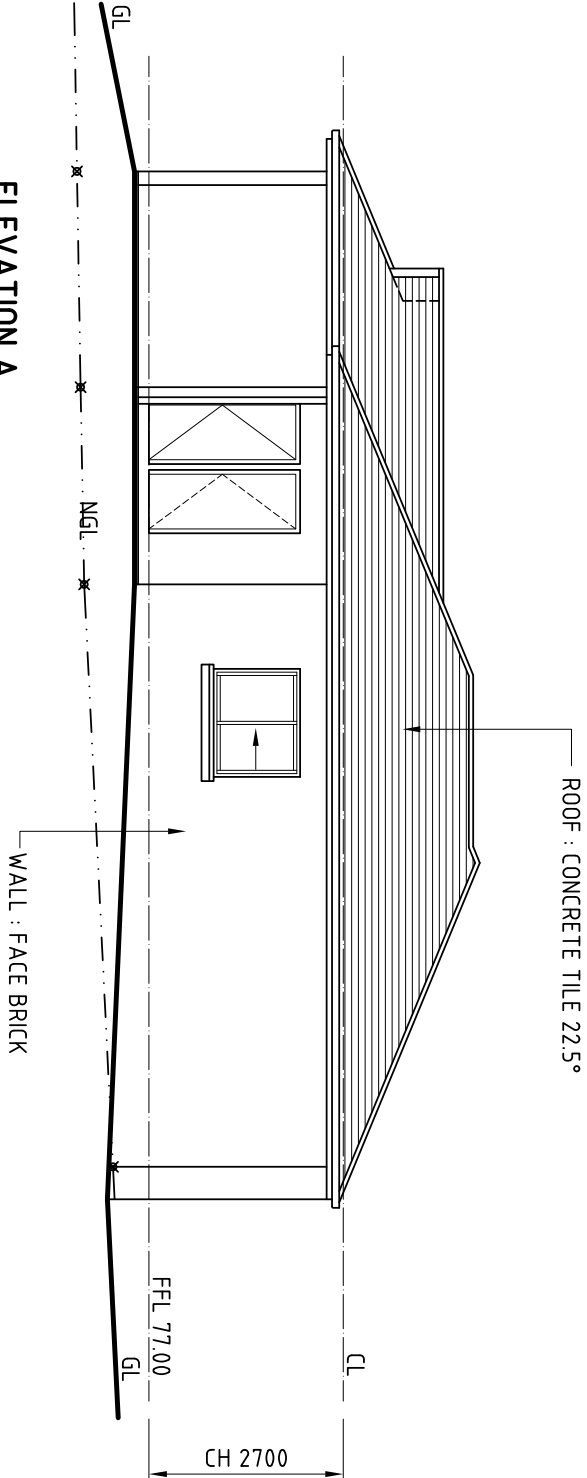
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Drawing No.
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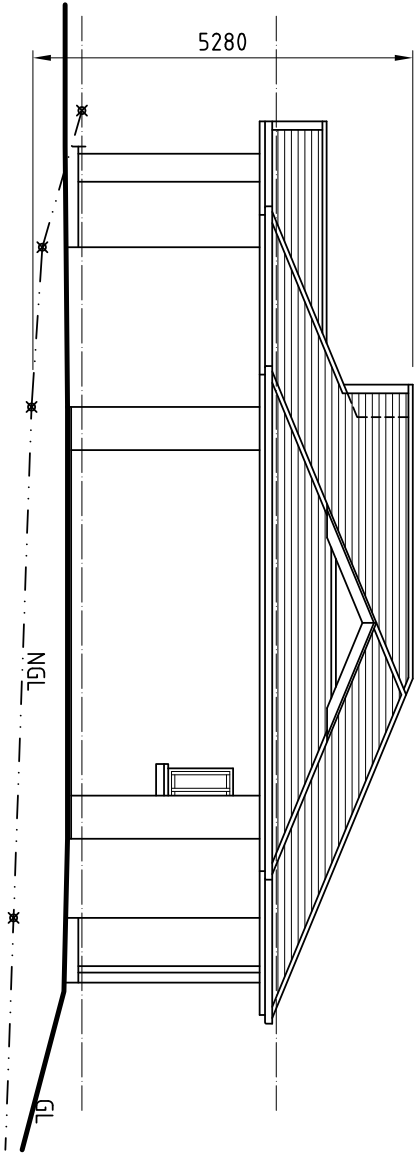
Designed by: _____

Date: _____

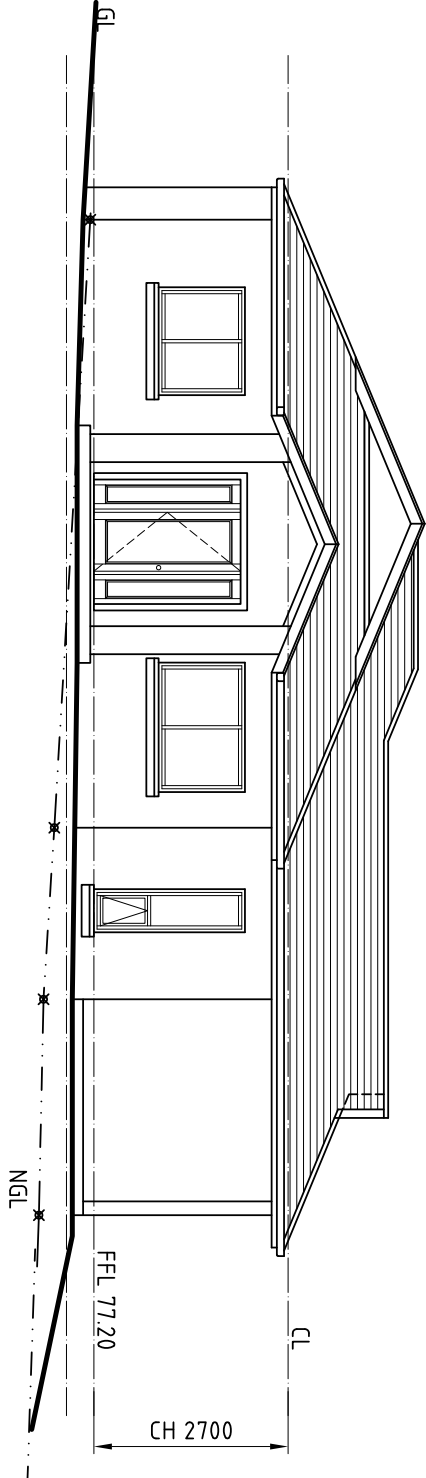
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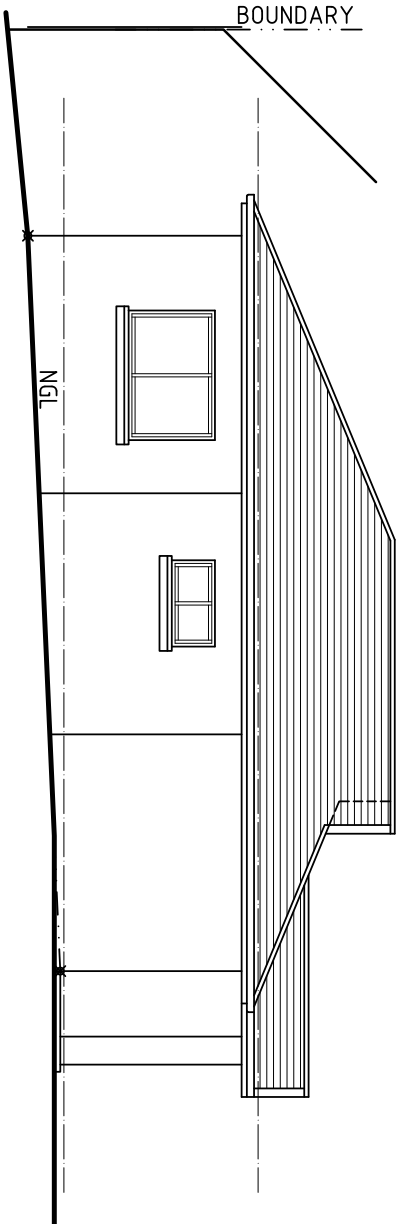
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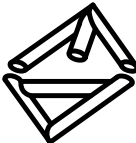
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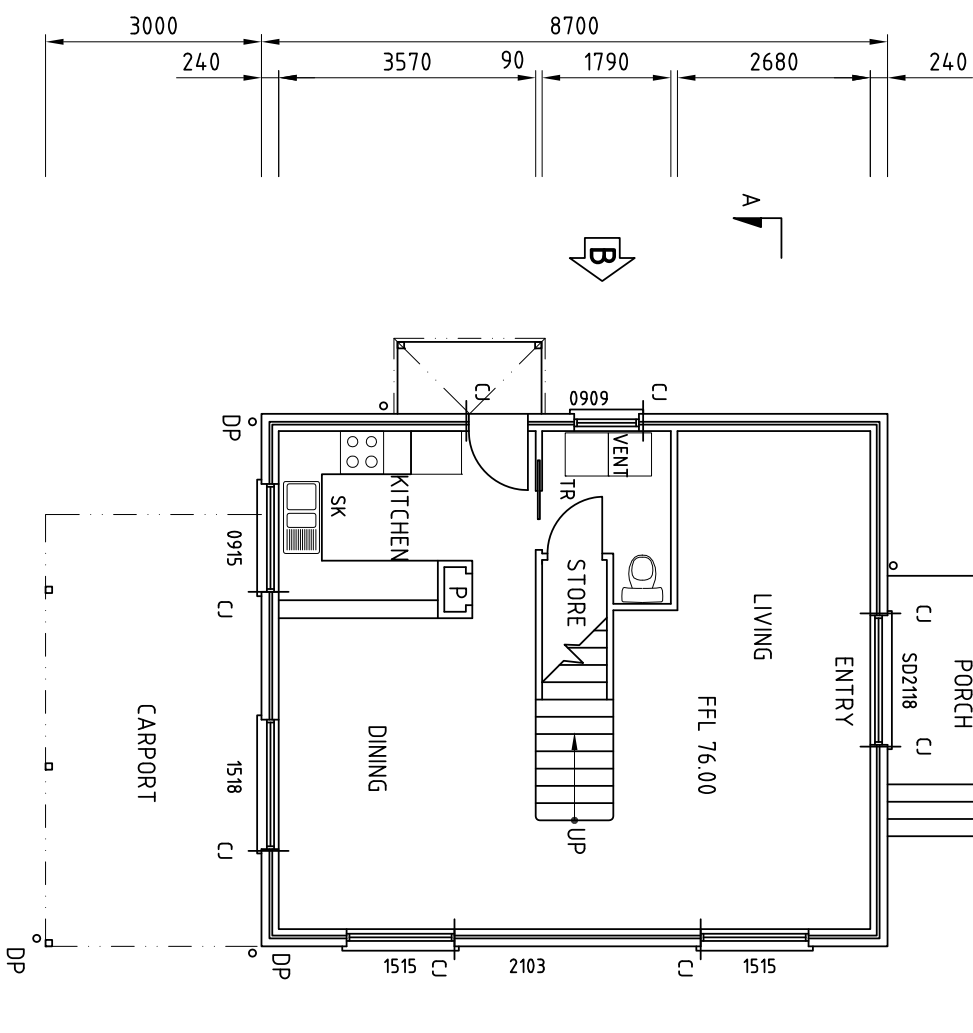
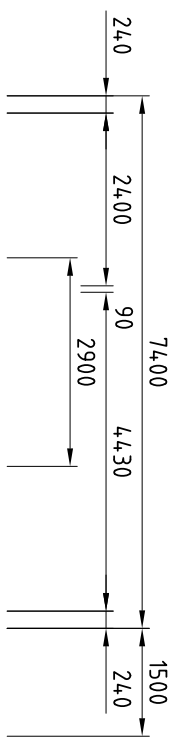


ELEVATION D



GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No PLN-22-403
DATE RECEIVED 24 July 2023

 CONSULTING ENGINEERS Emmanuel Dallas Pty Ltd phone: 6228 2225 mobile: 0418 232 811 email: edallas@bimond.com	Project Title: PROPOSED UNIT DEVELOPMENT FOR TOSAJI CORPORATION PTY LTD AT 2 MOORE PARK DR, GLENORCHY UNIT 2, ELEVATIONS		Scale: 1:100
	Designed by:		Job No. 5051
	Date:		Drawing No. A / I.
			R

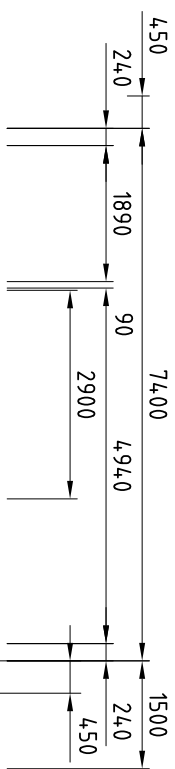


GROUND FLOOR PLAN

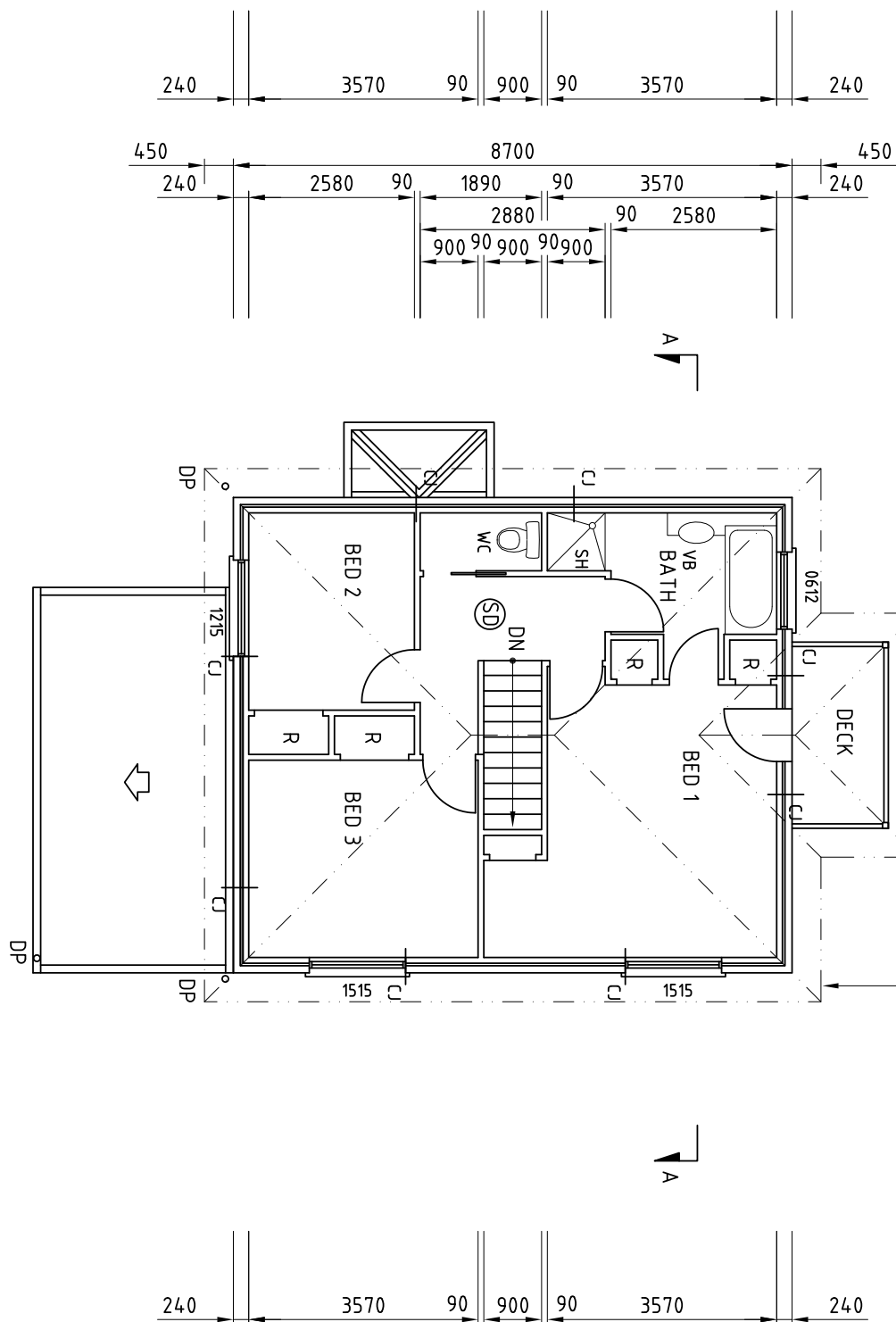
NOTES

1. **SD** HARDWIRED SMOKE DETECTOR
2. STAR TREADS NOSINGS TO COMPLY WITH BCA2007-3.9
3. WINDOW & GLAZING TO COMPLY WITH AS1288 & AS204.7
4. WET AREA CONSTRUCTION (BATH ROOM) TO COMPLY WITH BCA2007
5. CONTRACTOR TO BE RESPONSIBLE FOR SETTING OUT OF DIMENSIONS. VERIFY ANY DISCREPANCIES WITH DESIGNER PRIOR TO COMMENCING WORKS.
6. INSTALL CONTROL JOINT TO EXTERNAL BRICKWORK AS NOTED ON

HOUSE GF FA : 64 sqm
HOUSE 1F FA : 64 sqm
CARPORT FA : 18 sqm



EAVES LINES

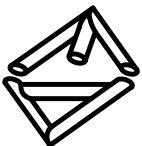


FIRST FLOOR PLAN

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION NO PLN-22-403

DATE RECEIVED 24 July 2023



CONSULTING ENGINEERS
Emmanuel Dallas Pty Ltd
phone: 6228 2225
mobile: 0418 232 811
email: edallas@bimond.com

Project Title:
**PROPOSED UNIT DEVELOPMENT
FOR TOSAJO CORPORATION PTY LTD
AT 2 MOORE PARK DR, GLENORCHY
UNIT 3, FLOOR PLAN**

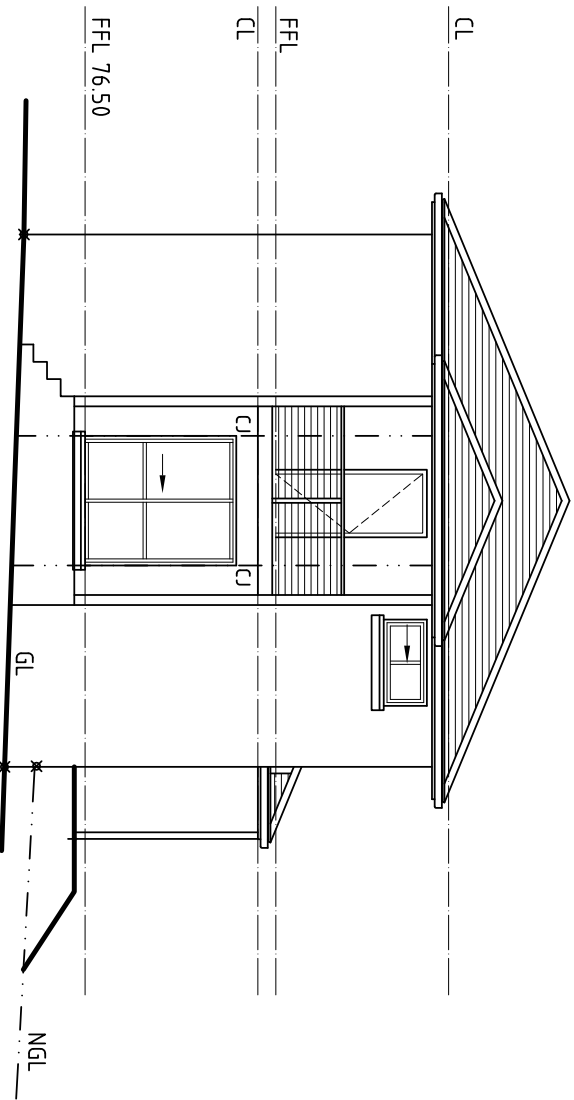
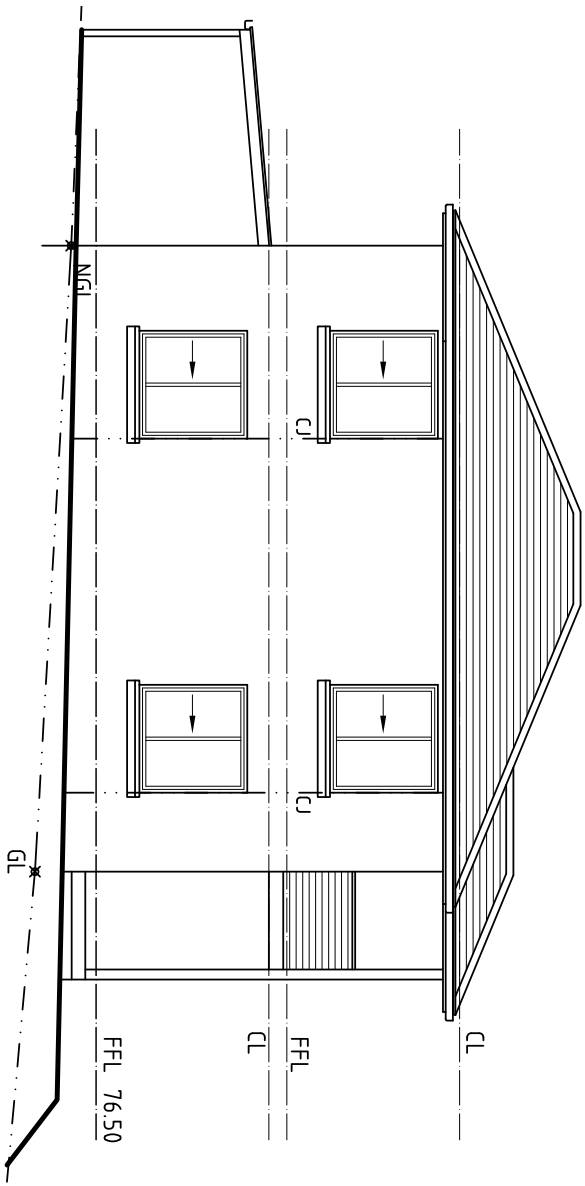
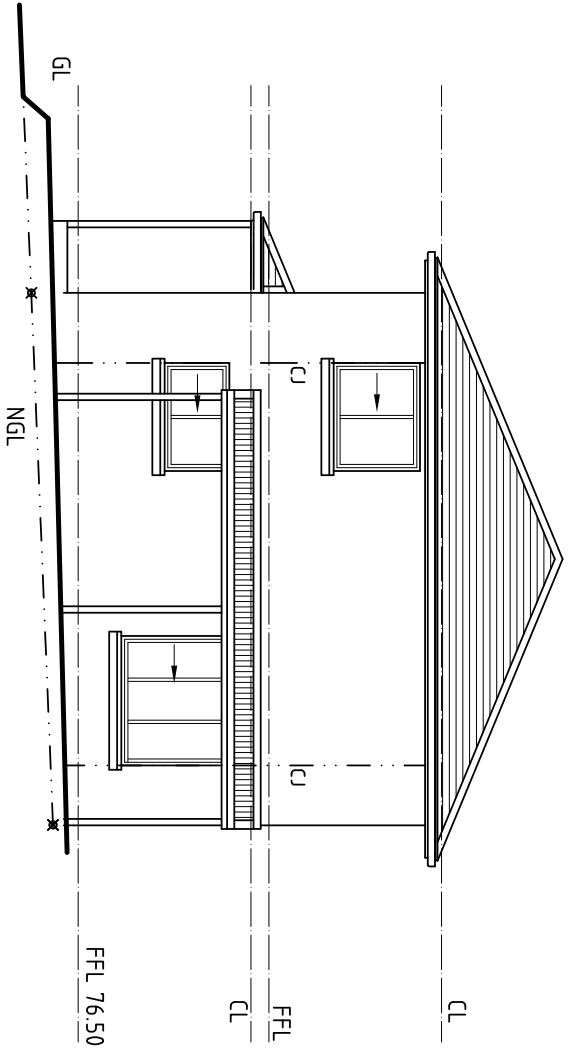
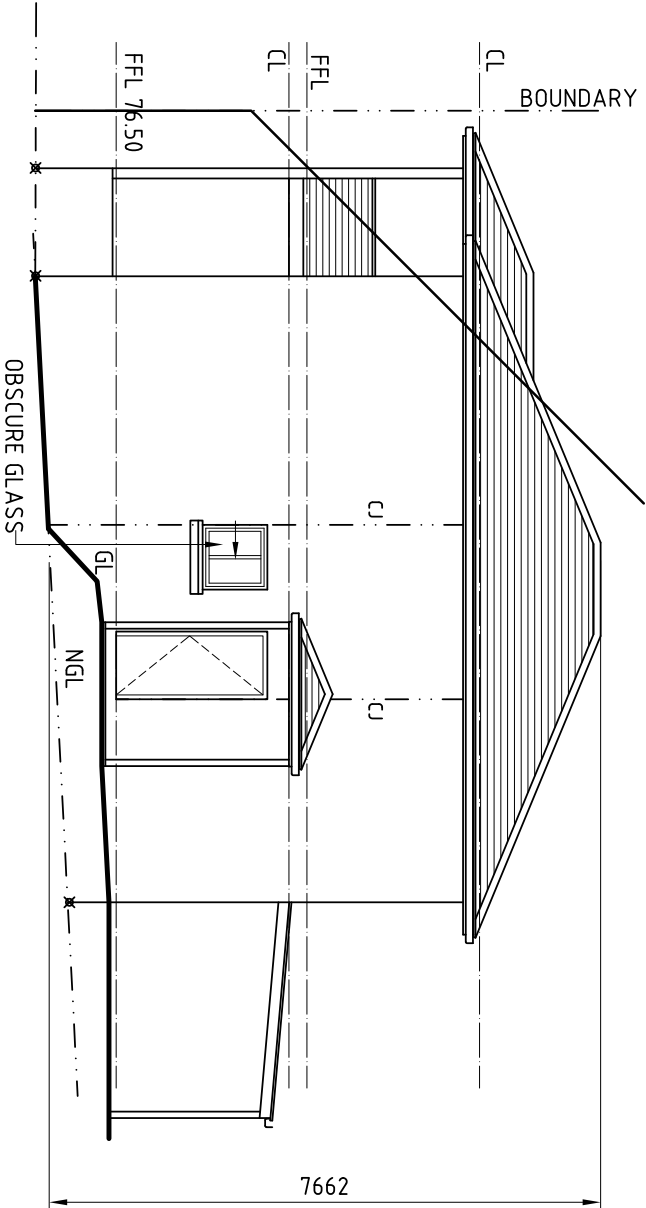
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Job No.
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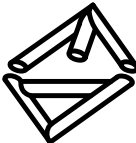
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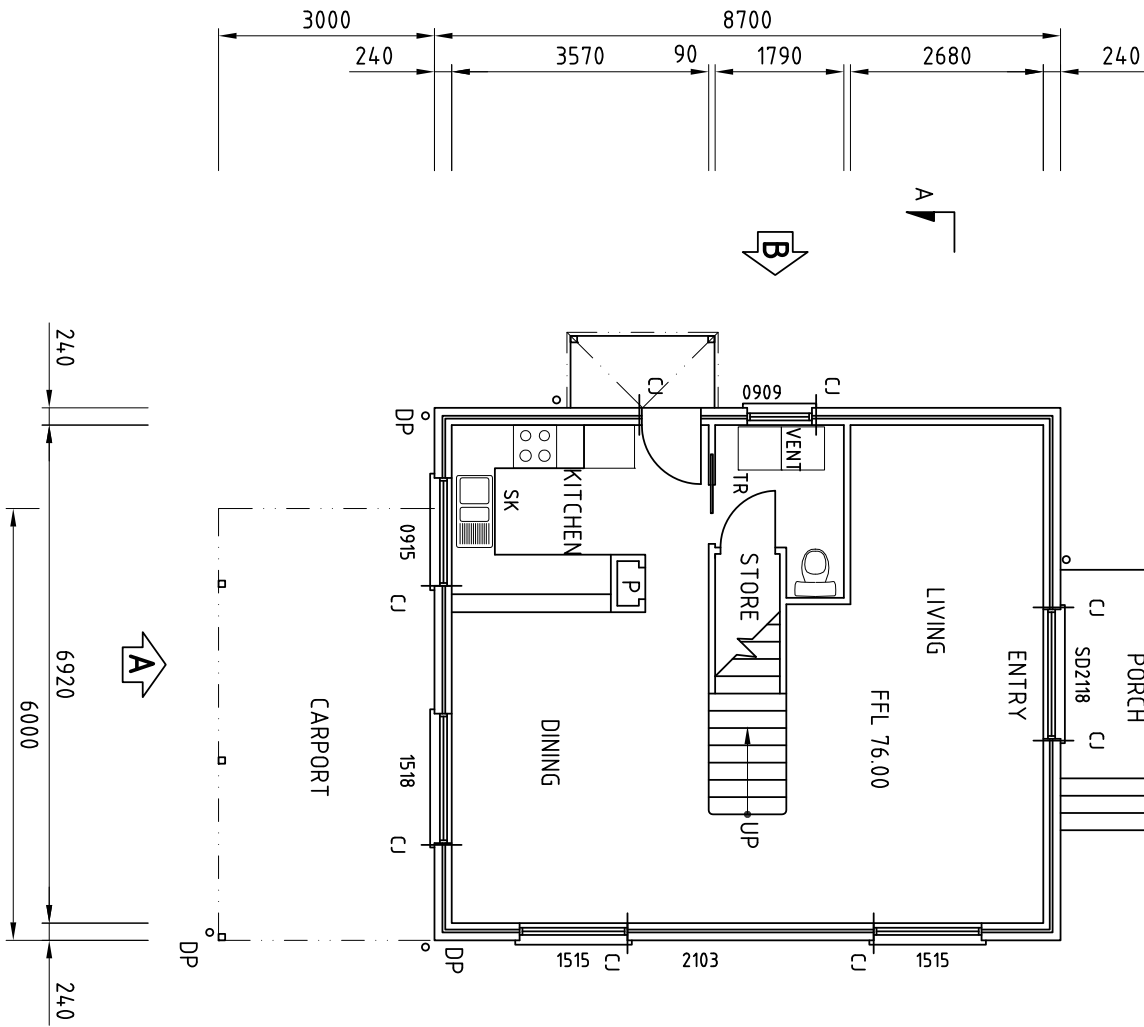
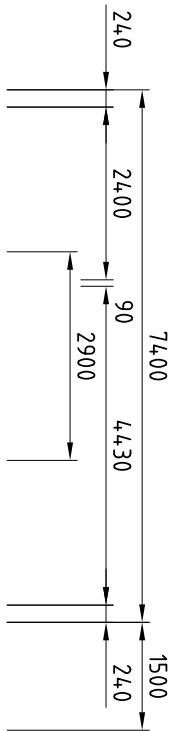
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Date:

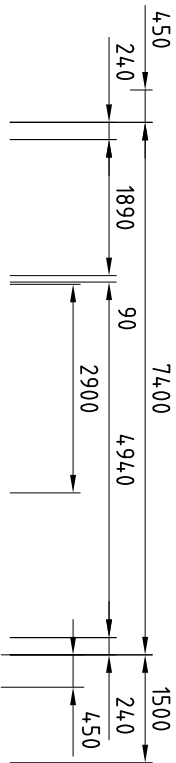


GLENORCHY CITY COUNCIL
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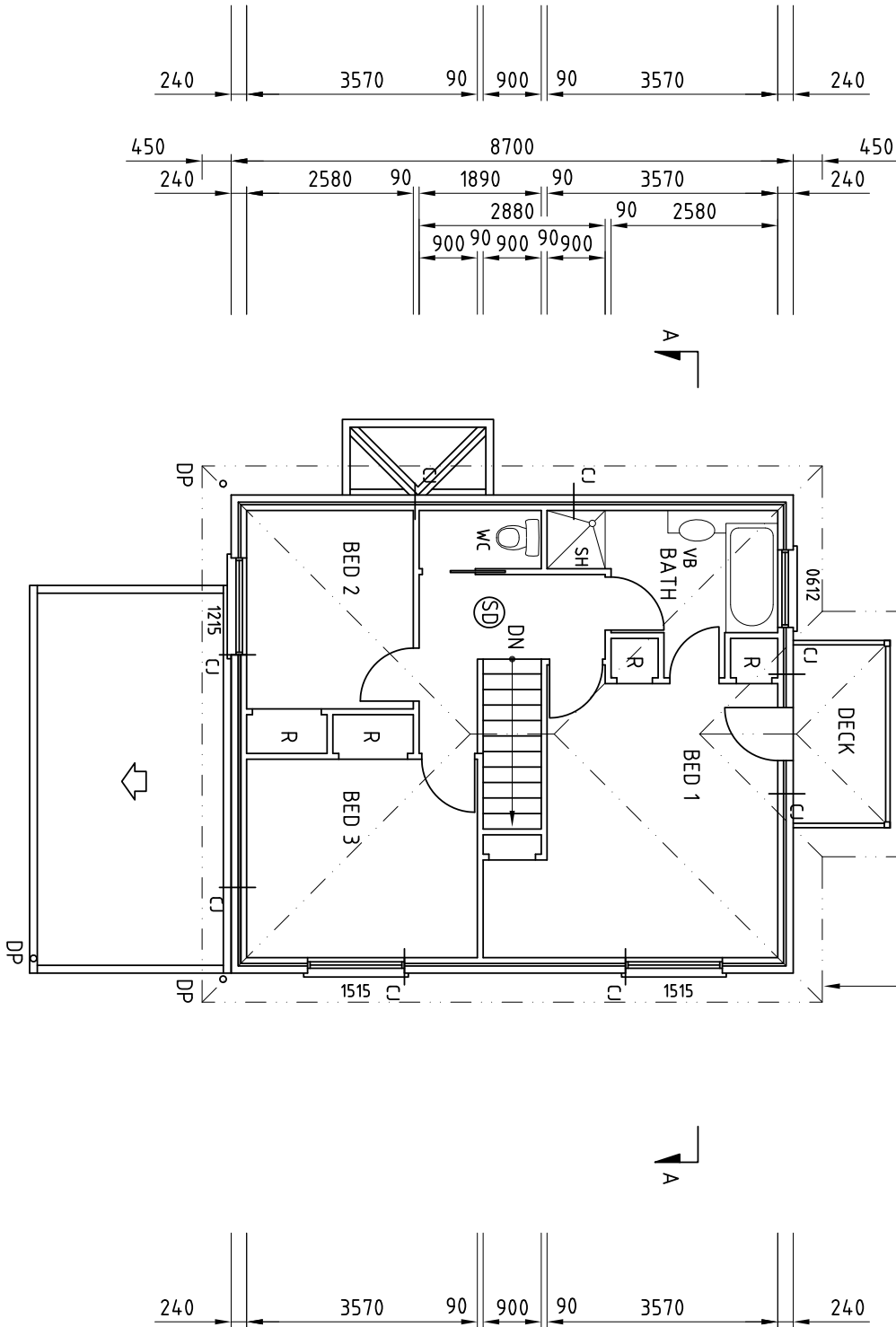
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	Scale:	
CONSULTING ENGINEERS Emmanuel Dallas Pty Ltd phone: 6228 2225 mobile: 0418 232 811 email: edallas@broadband.com	Job No.	5051
Designed by:	Date:	Drawing No.
		A



GROUND FLOOR PLAN



EAVES LINES

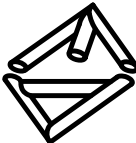


FIRST FLOOR PLAN

NOTES

1. HARDWIRED SMOKE DETECTOR
2. STAR TREADS NOSINGS TO COMPLY WITH BCA2007-3.9
3. WINDOW & GLAZING TO COMPLY WITH AS1288 & AS204.7
4. WET AREA CONSTRUCTION (BATH ROOM) TO COMPLY WITH BCA2007
5. CONTRACTOR TO BE RESPONSIBLE FOR SETTING OUT OF DIMENSIONS. VERIFY ANY DISCREPANCIES WITH DESIGNER PRIOR TO COMMENCING WORKS.
6. INSTALL CONTROL JOINT TO EXTERNAL BRICKWORK AS NOTED ON

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No PLN-22-403
DATE RECEIVED 15 August



Project Title:
**PROPOSED UNIT DEVELOPMENT
FOR TOSAJO CORPORATION PTY LTD
AT 2 MOORE PARK DR, GLENORCHY
UNIT 4, FLOOR PLANS**

Scale:
1:100
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CONSULTING ENGINEERS
Emmanuel Dallas Pty Ltd
phone: 6228 2225
mobile: 0418 232 811
email: edallas@bimond.com

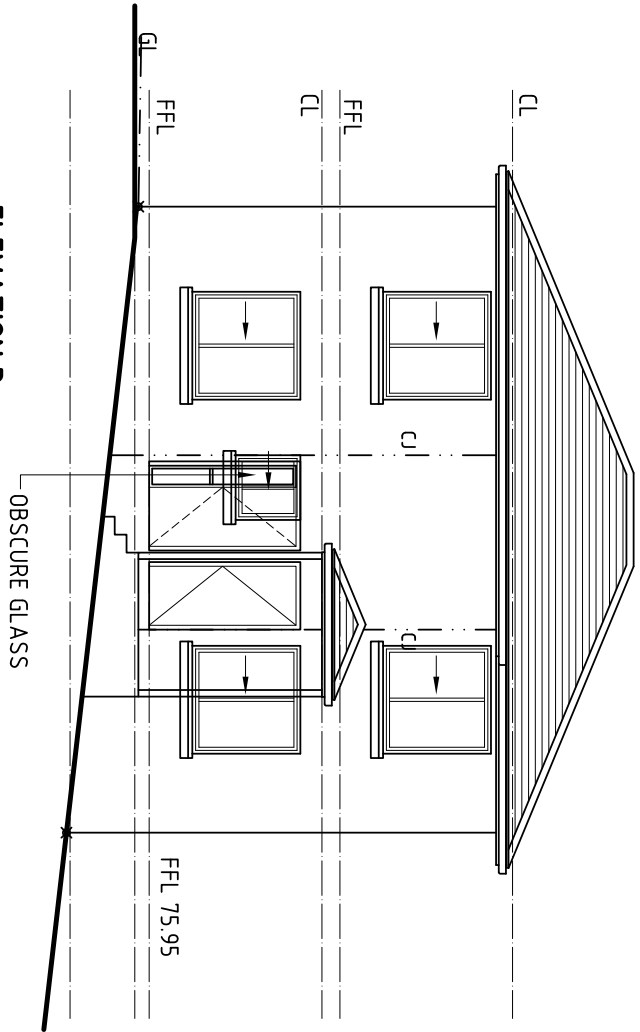
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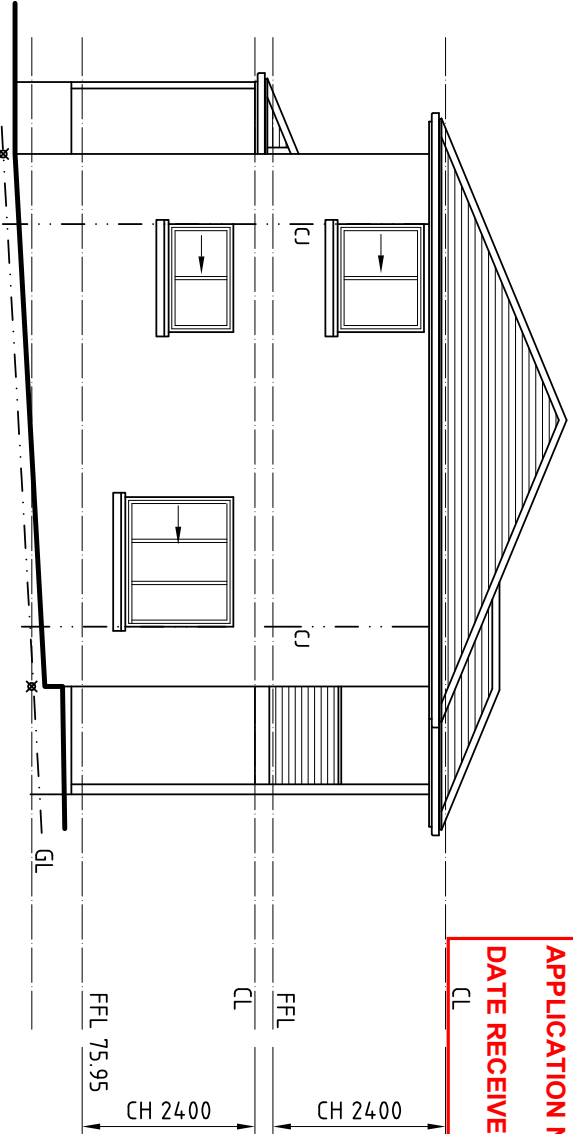
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Date:

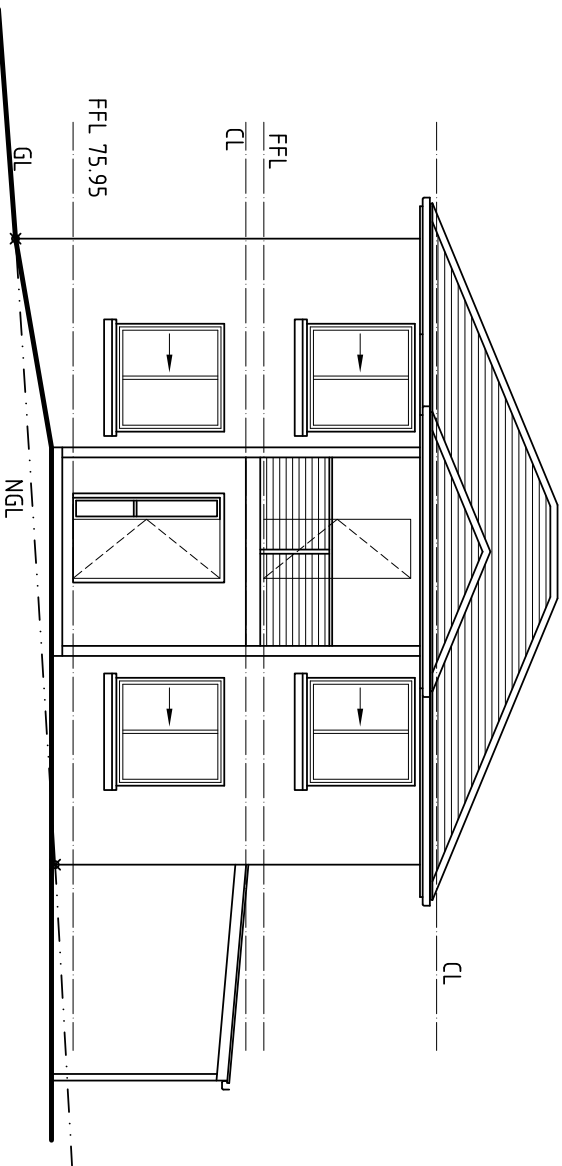
GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No PLN-22-403
DATE RECEIVED 15 August



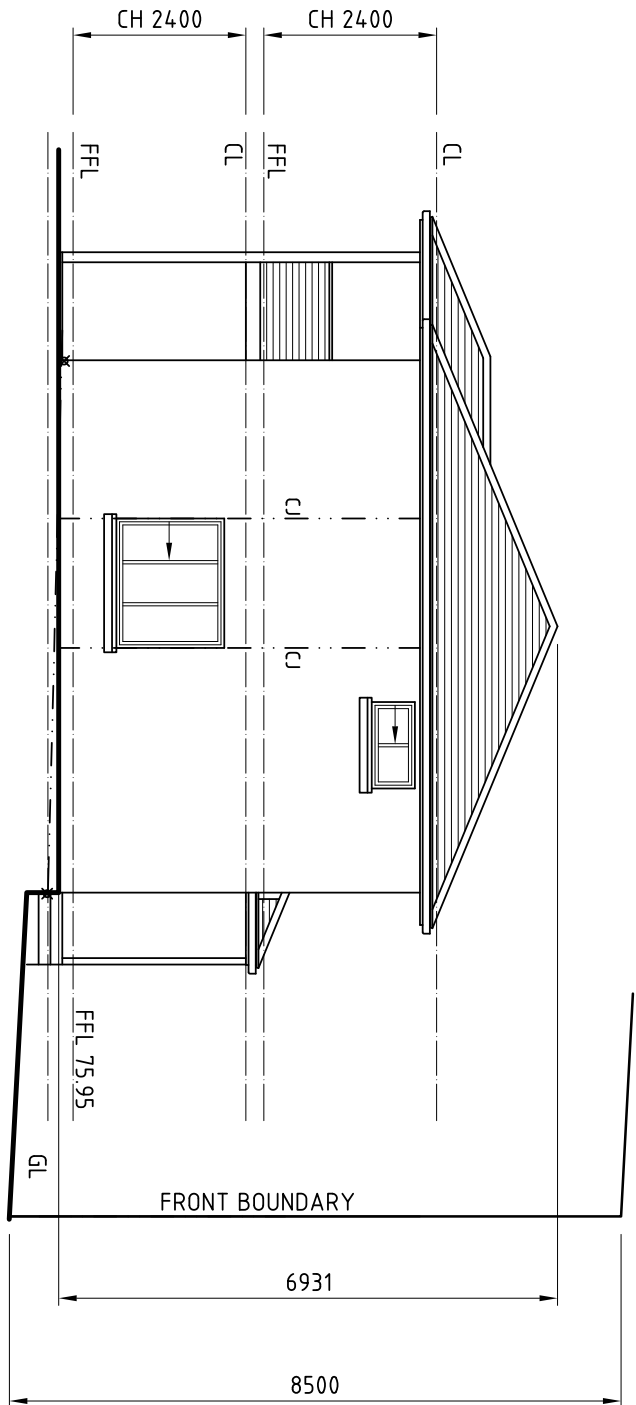
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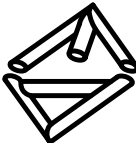
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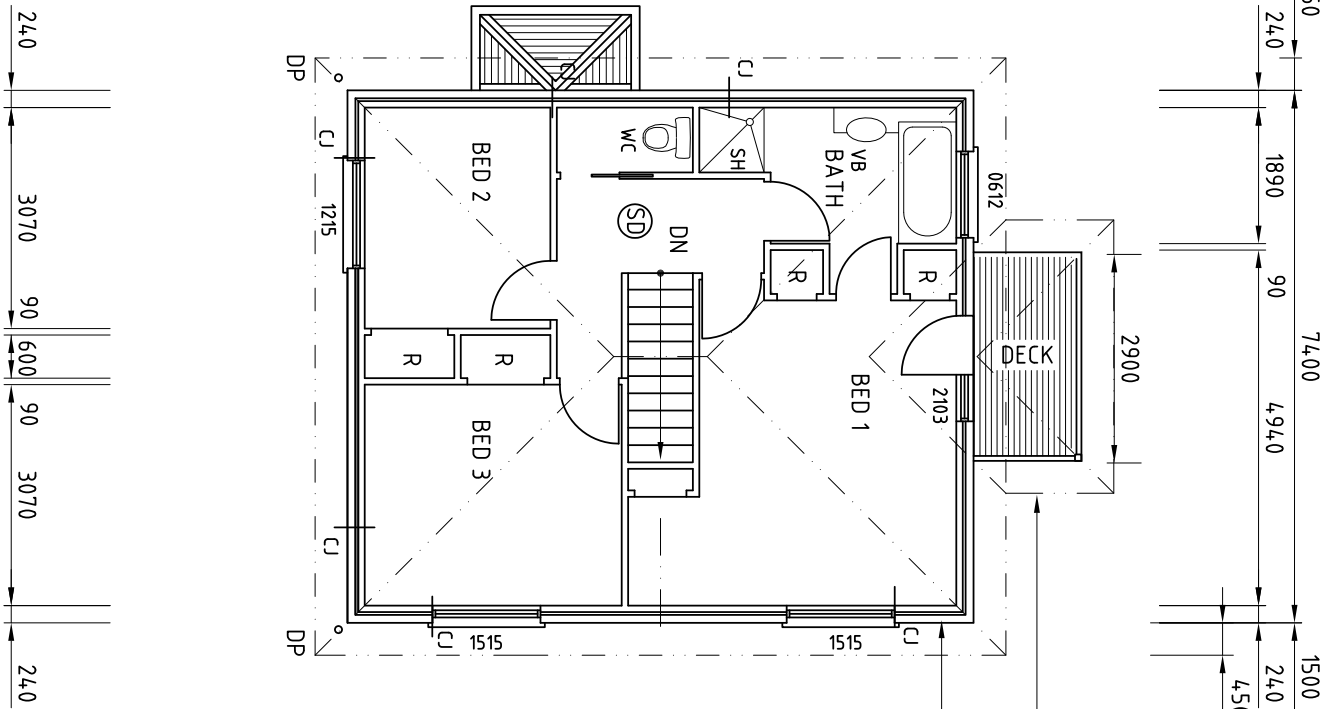
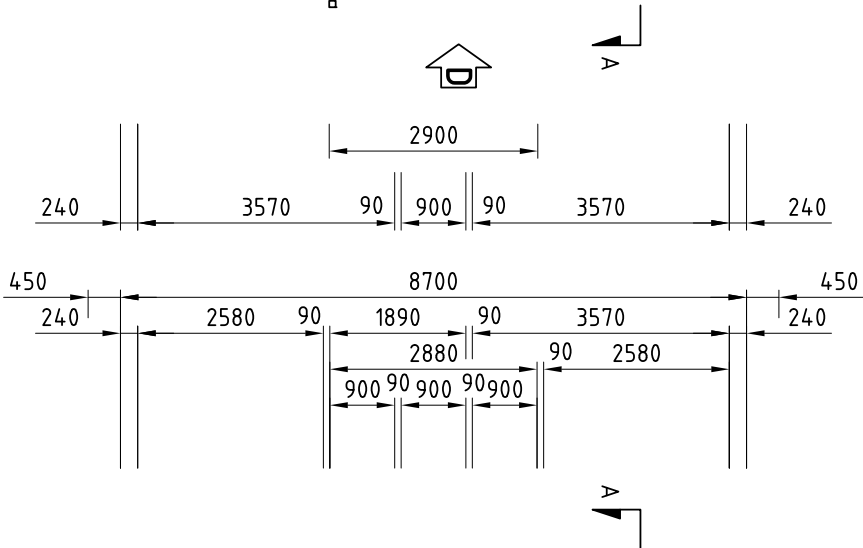
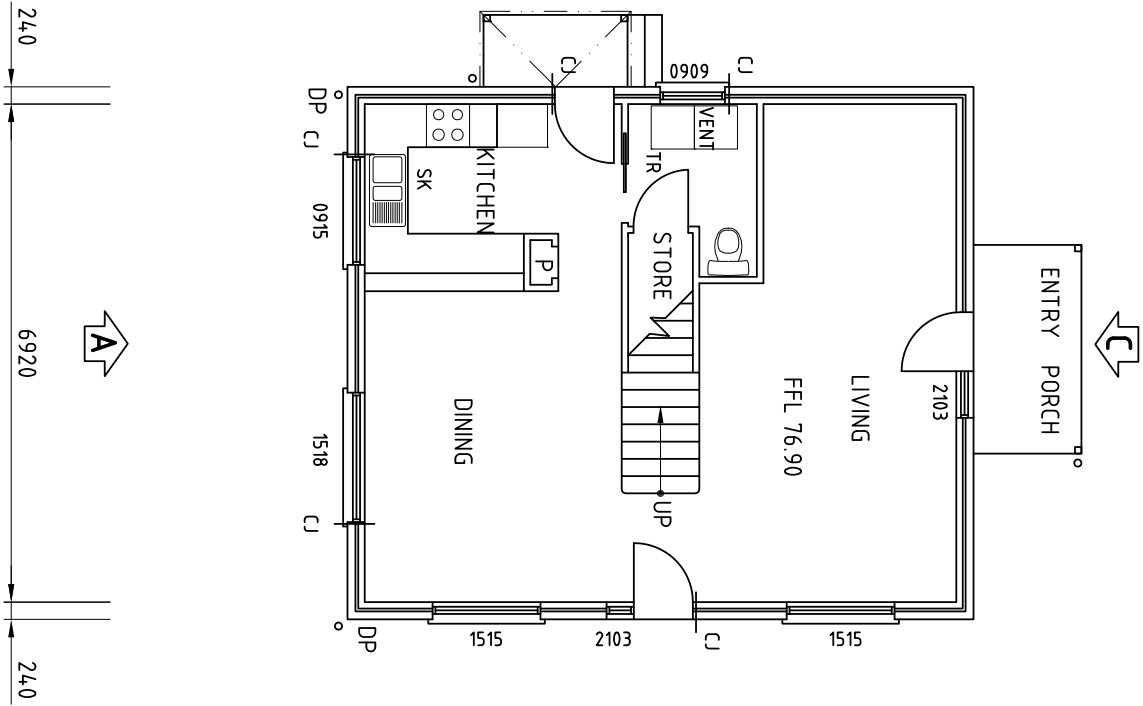
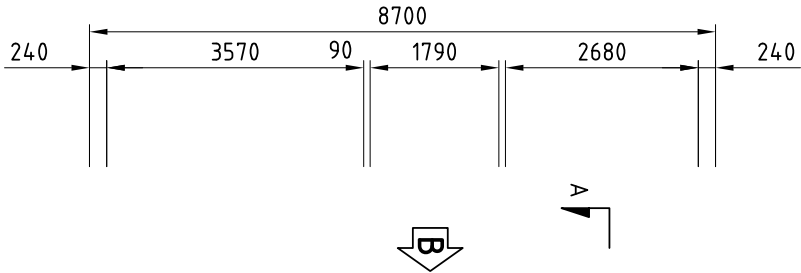
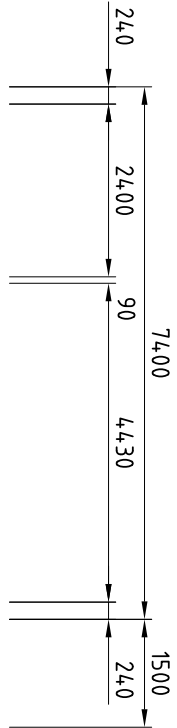


ELEVATION D



ELEVATION C

 CONSULTING ENGINEERS Emmanuel Dallas Pty Ltd phone: 6228 2225 mobile: 0418 232 811 email: edallas@rhinowood.com	Project Title: PROPOSED UNIT DEVELOPMENT FOR TOSAJ0 CORPORATION PTY LTD AT 2 MOORE PARK DR, GLENORCHY UNIT 4 E, ELEVATIONS		Scale: 1:100
	Designed by: _____		A
	Date:		
	Drawing No. 5051		
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GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No PLN-22-403
DATE RECEIVED 15 August

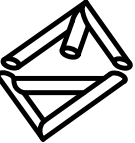
GROUND FLOOR PLAN

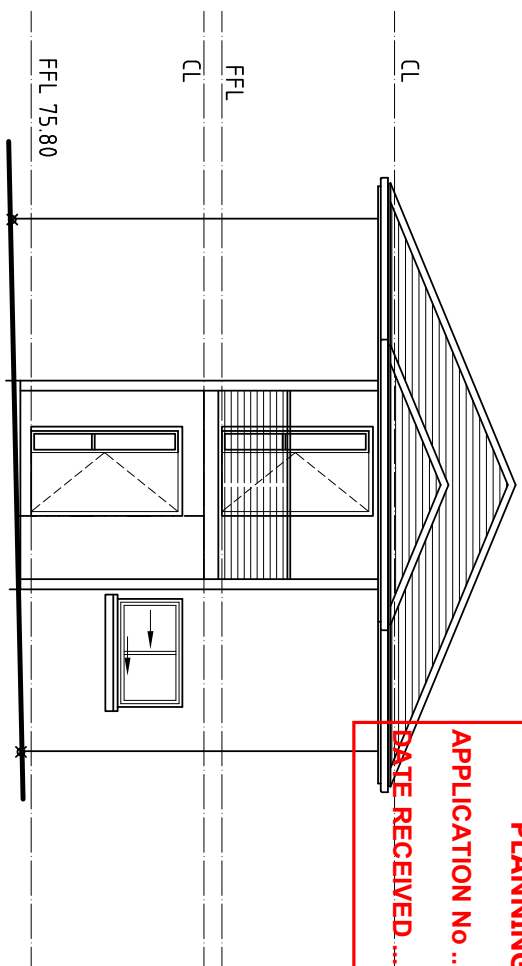
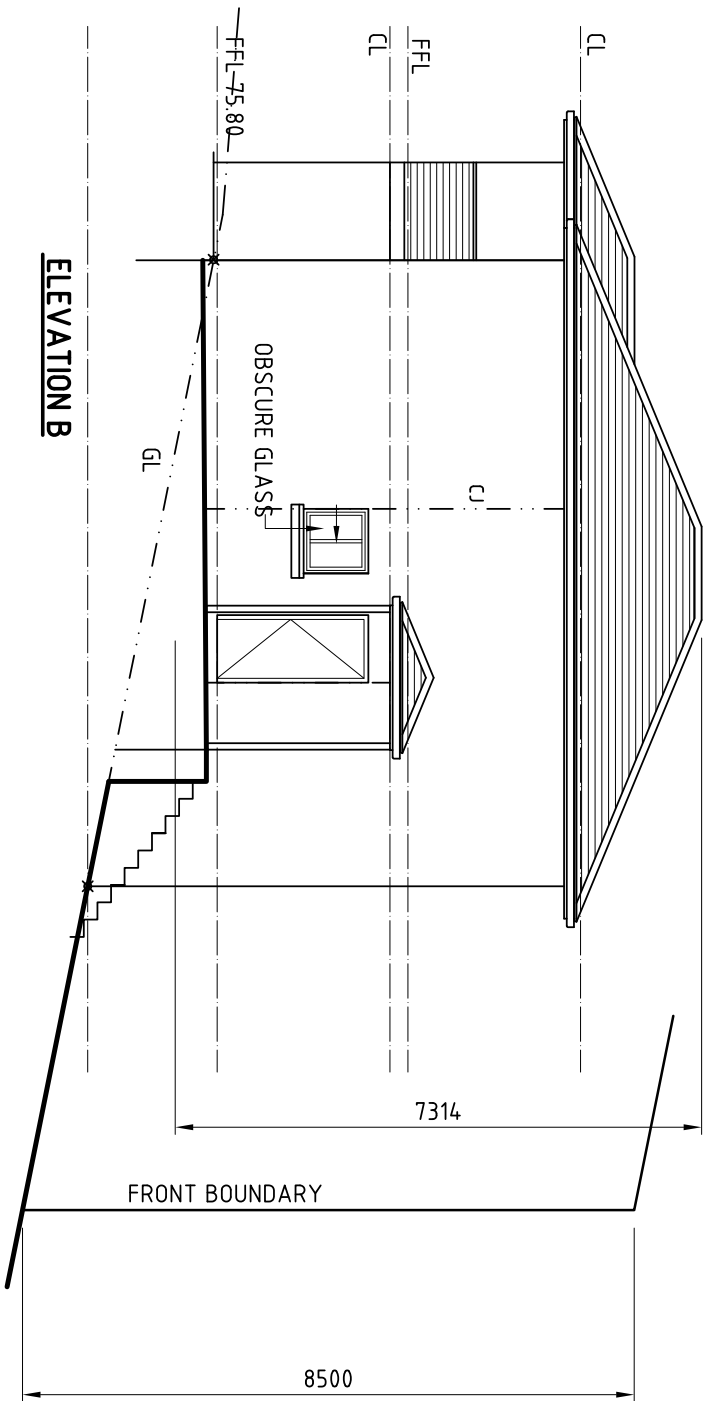
FIRST FLOOR PLAN

NOTES

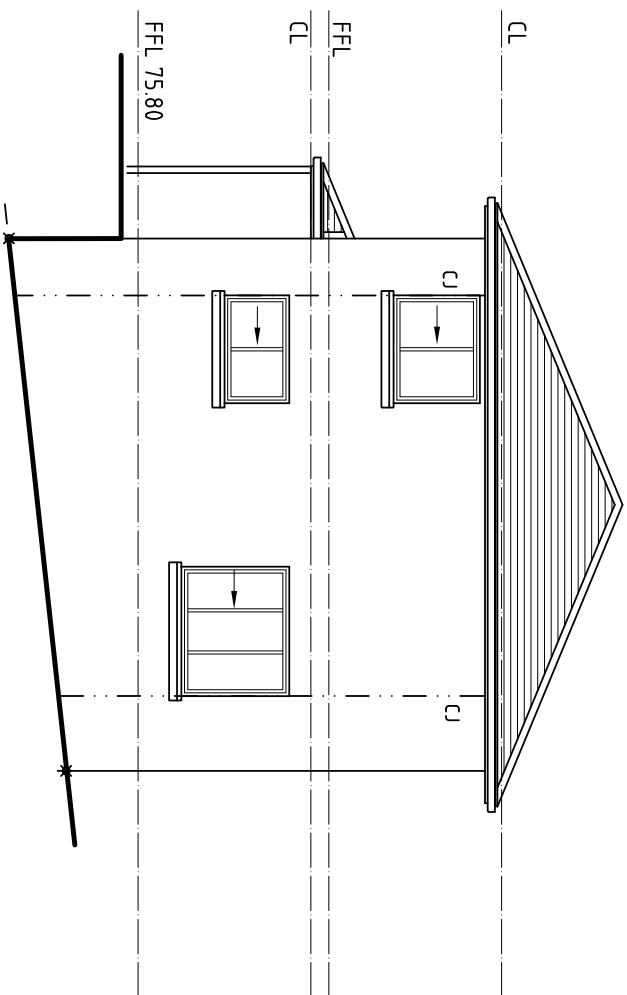
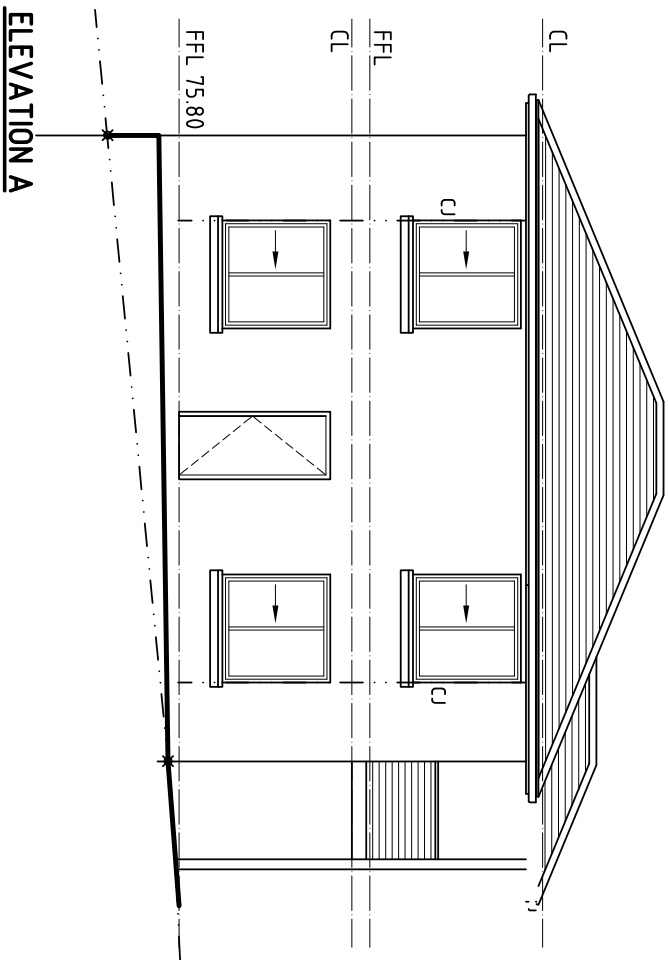
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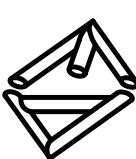
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HOUSE 1F FA : 64 sqm
CARPORT FA : 18 sqm

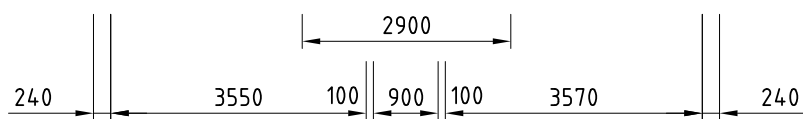
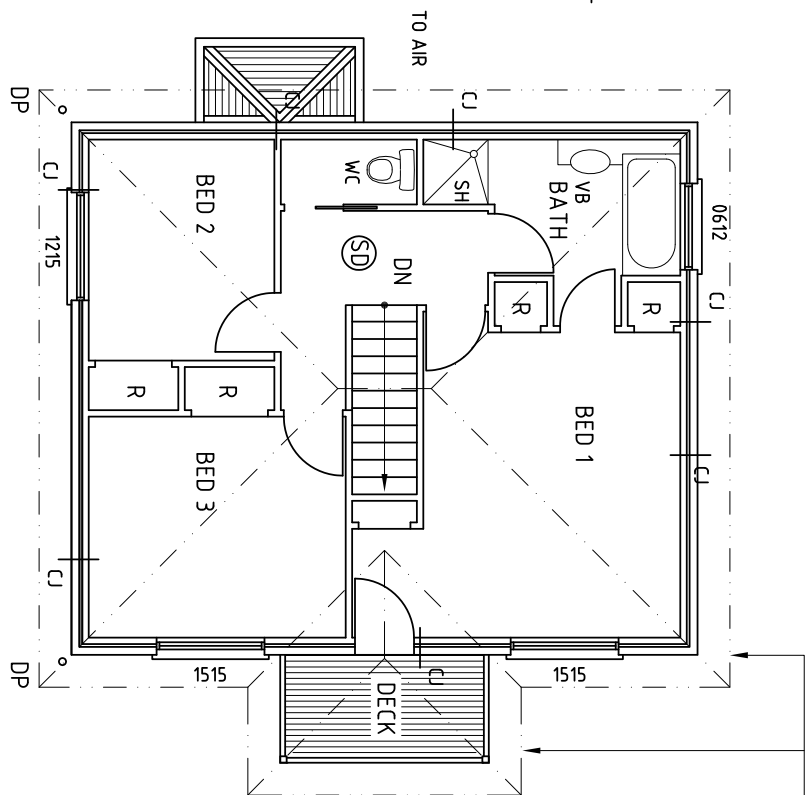
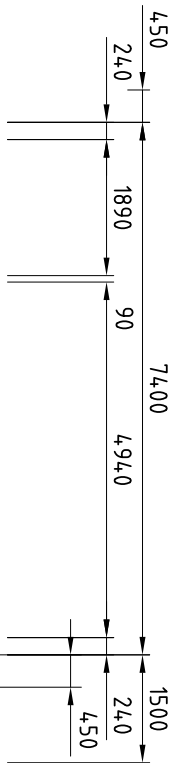
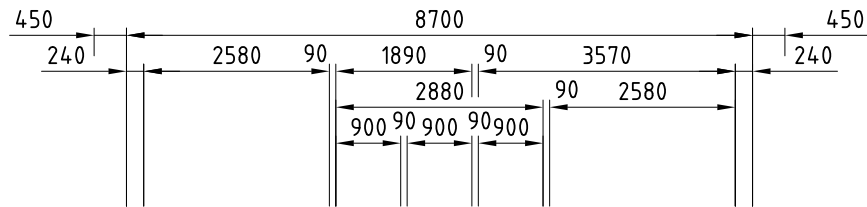
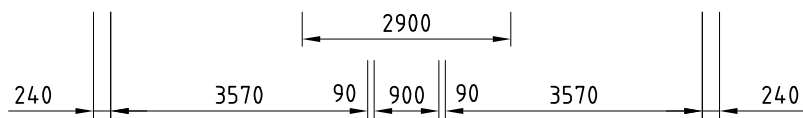
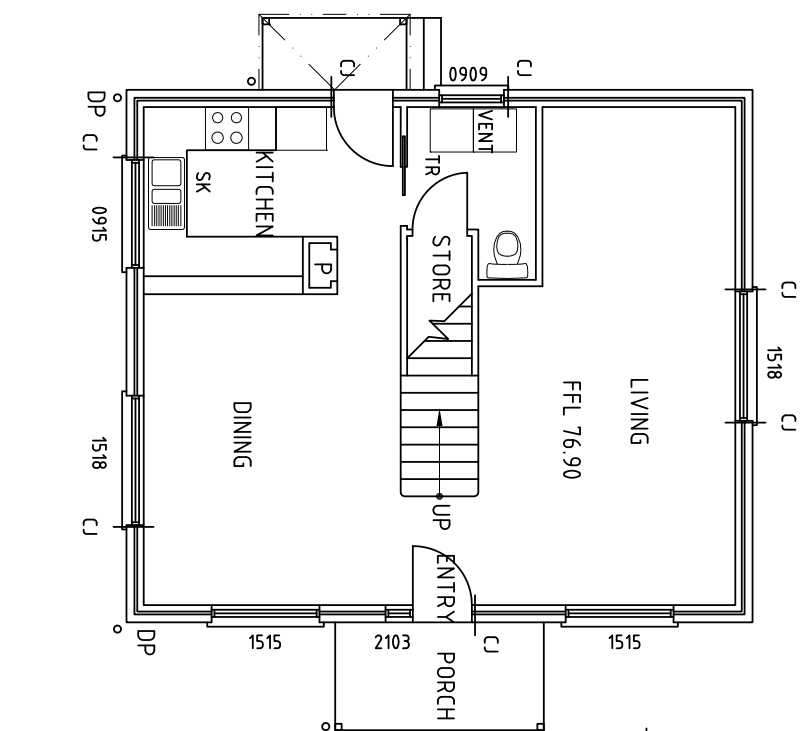
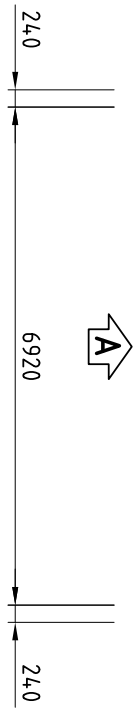
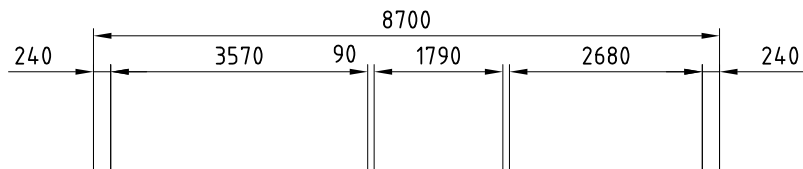
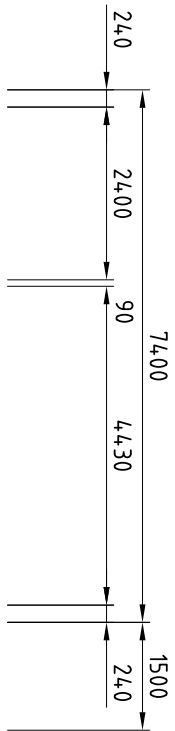
	Project Title:		Scale:
	PROPOSED UNIT DEVELOPMENT		1:100
	FOR TOSAJO CORPORATION PTY LTD		A
	AT 2 MOORE PARK DR, GLENORCHY		
UNIT 5, FLOOR PLANS		Job No.	5051
CONSULTING ENGINEERS Emmanuel Dallas Pty Ltd phone: 6228 2225 mobile: 0418 232 811 email: edallas@bhinnord.com		Drawing No.	R
Designed by:		Date:	



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 PLN-22-403
 15 August



 CONSULTING ENGINEERS Emmanuel Dallas Pty Ltd phone: 6228 2225 mobile: 0418 232 811 email: edallas@rhinond.com	Project Title: PROPOSED UNIT DEVELOPMENT FOR TOSAJI CORPORATION PTY LTD AT 2 MOORE PARK DR, GLENORCHY UNIT 5, ELEVATIONS		Scale: 1:100
	Designed by:		Date:
	Job No. 5051		Drawing No. A 11
	Drawing No. R		R



GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No PLN-22-403
DATE RECEIVED 15 August

GROUND FLOOR PLAN

FIRST FLOOR PLAN

NOTES

1. HARDWIRED SMOKE DETECTOR
2. STAIR TREADS NOSINGS TO COMPLY WITH BCA2007-3.9
3. WINDOW & GLAZING TO COMPLY WITH AS1288 & AS204.7
4. WET AREA CONSTRUCTION (BATH ROOM) TO COMPLY WITH BCA2007
5. CONTRACTOR TO BE RESPONSIBLE FOR SETTING OUT OF DIMENSIONS. VERIFY ANY DISCREPANCIES WITH DESIGNER PRIOR TO COMMENCING WORKS.
6. INSTALL CONTROL JOINT TO EXTERNAL BRICKWORK AS NOTED ON

HOUSE GF FA : 64 sqm
HOUSE 1F FA : 64 sqm
CARPORT FA : 18 sqm

CONSULTING ENGINEERS
Emmanuel Dallas Pty Ltd
phone: 6228 2225
mobile: 0418 232 811
email: edallas@bhinnord.com

Project Title:
PROPOSED UNIT DEVELOPMENT
FOR TOSAJO CORPORATION PTY LTD
AT 2 MOORE PARK DR, GLENORCHY
UNIT 6, FLOOR PLANS

Scale:
1:100
A

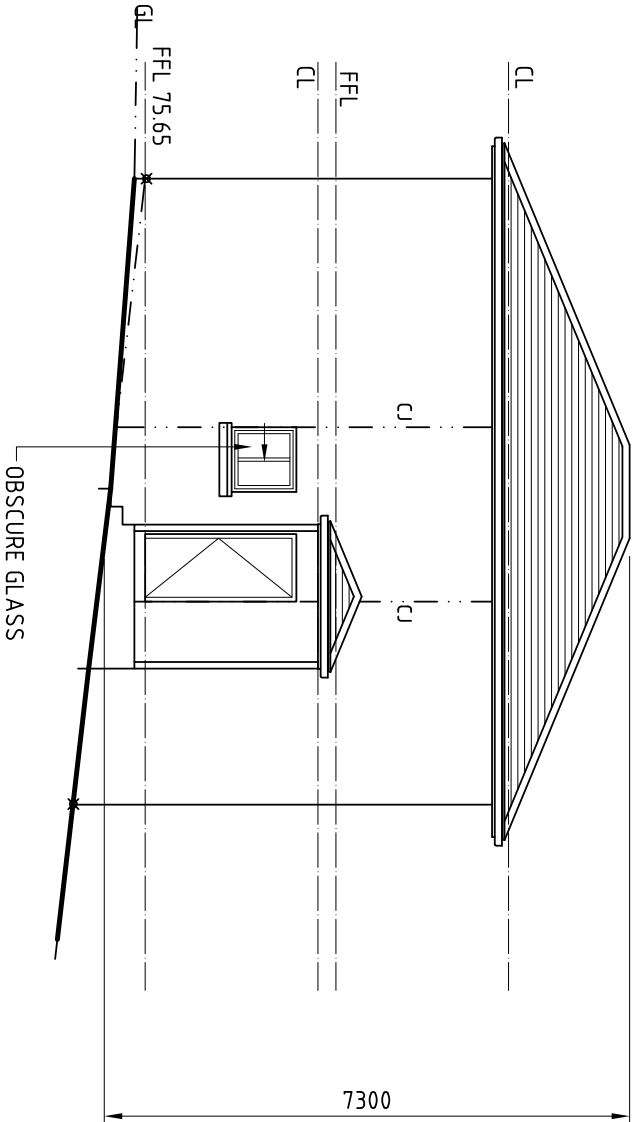
Job No.
5051

Drawing No.
A 11
R

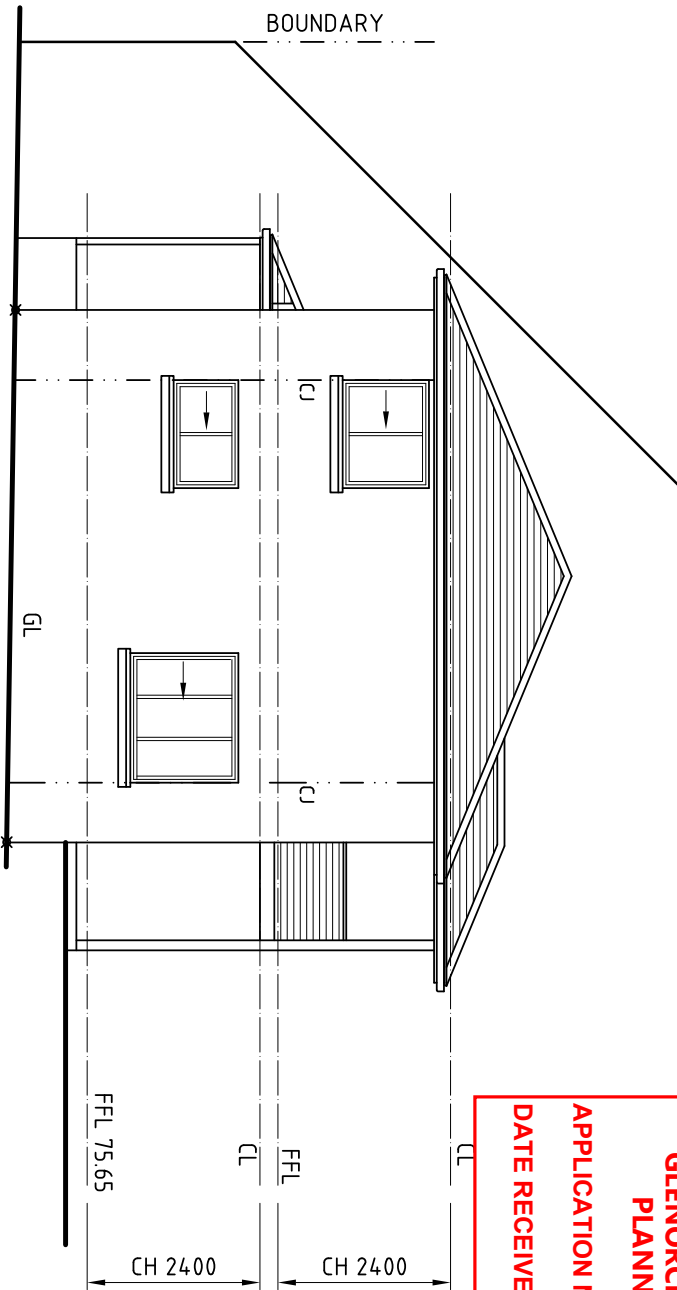
Designed by:

Date:

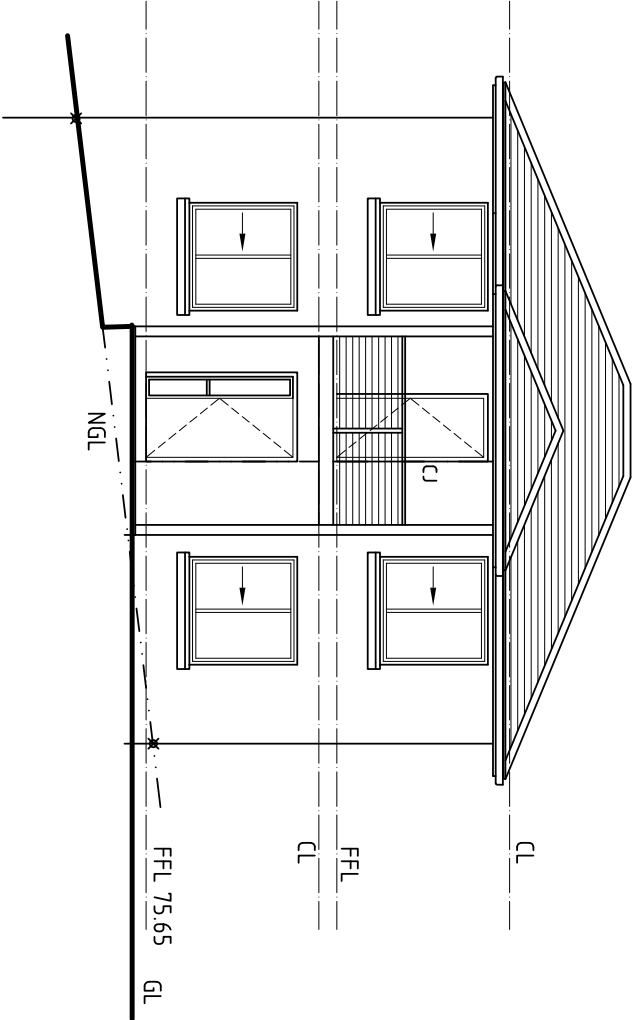
**GLENORCHY UNIT COUNCIL
PLANNING SERVICES**
APPLICATION No PLN-22-403
DATE RECEIVED 15 August



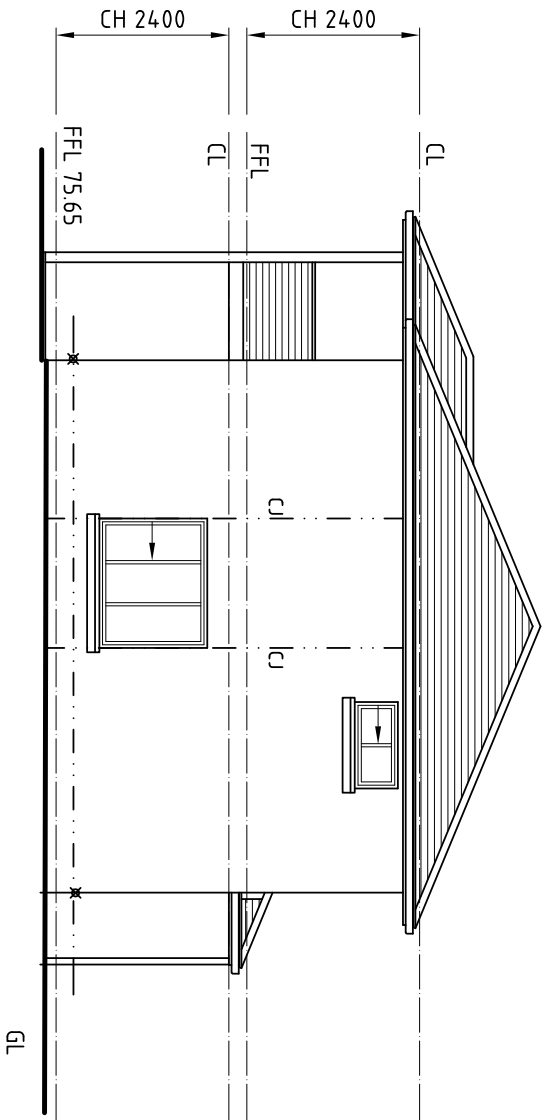
ELEVATION B



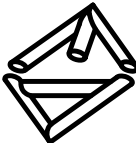
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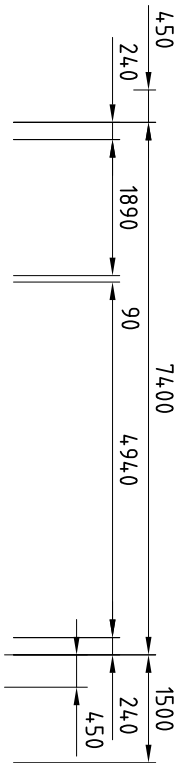
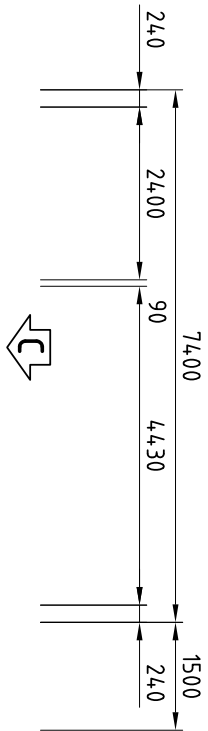


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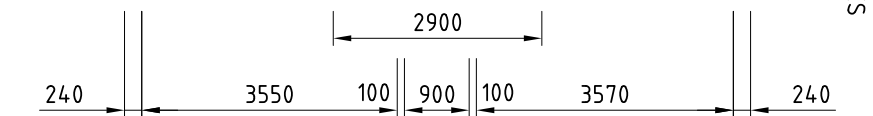
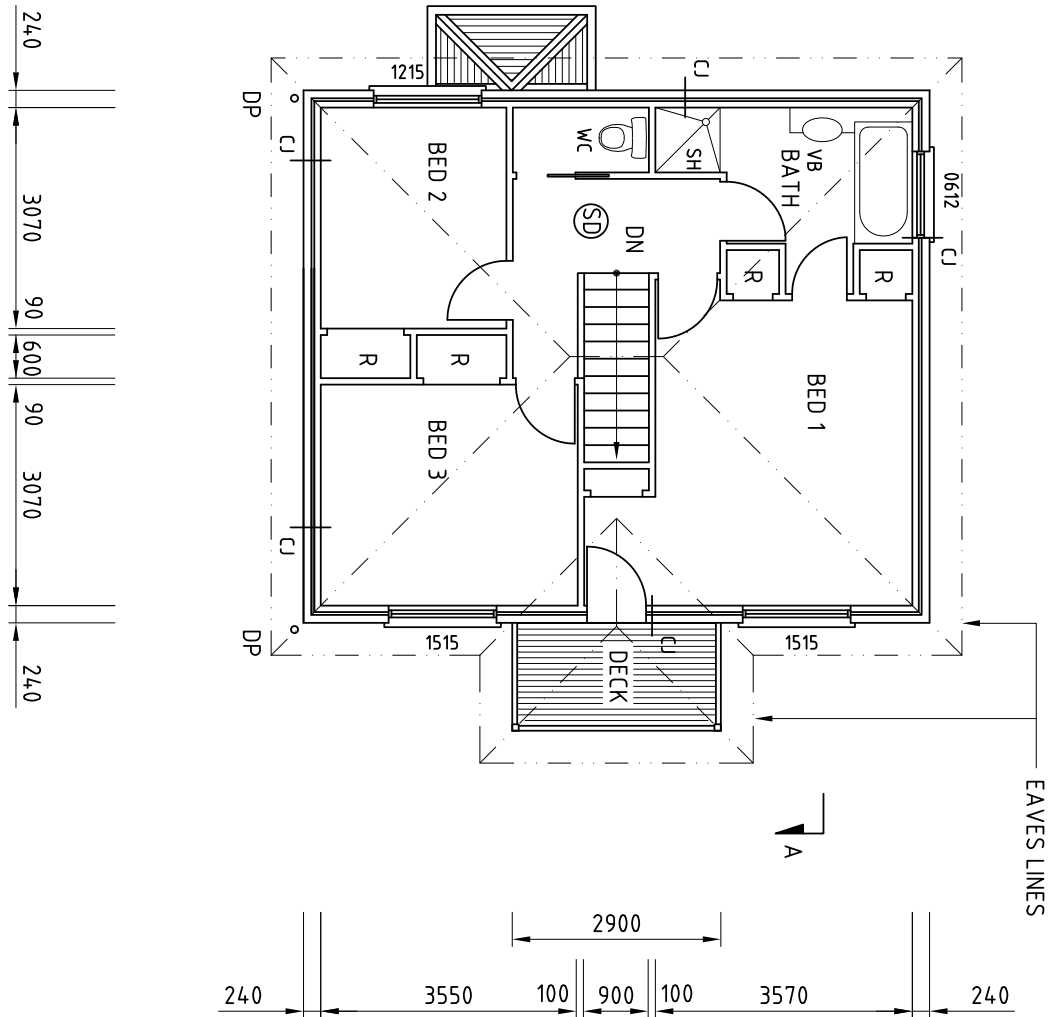
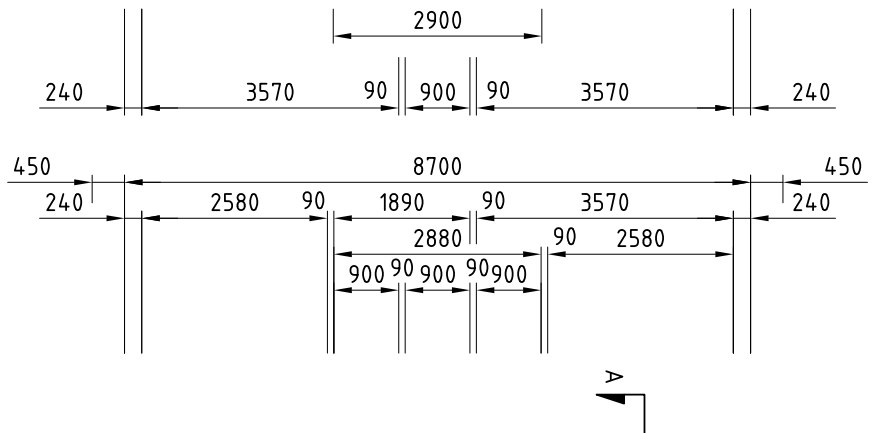
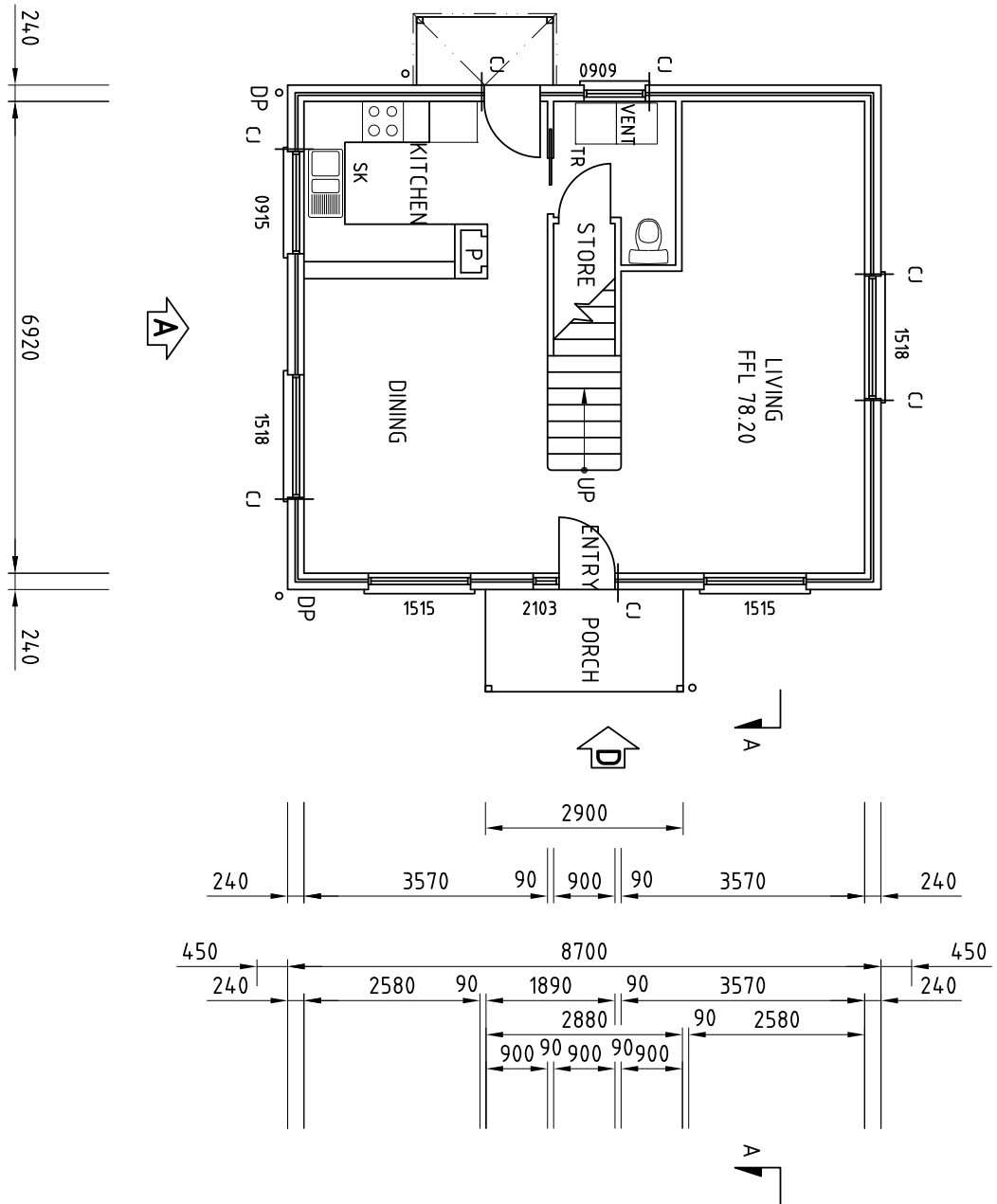
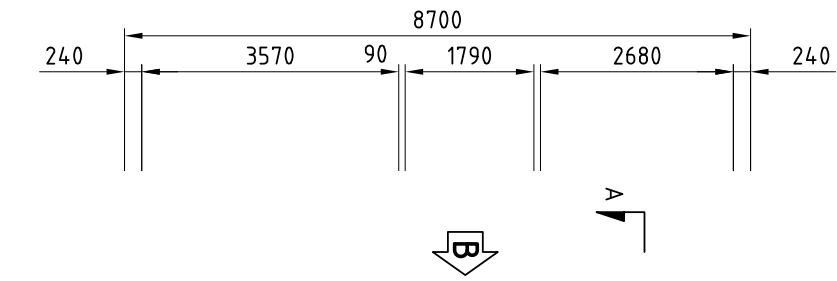


ELEVATION C

	Project Title:		Scale:
	PROPOSED UNIT DEVELOPMENT FOR TOSAJI CORPORATION PTY LTD AT 2 MOORE PARK DR, GLENORCHY UNIT 6, ELEVATIONS		1:100
	Consulting Engineers Emmanuel Dallas Pty Ltd phone: 6228 2225 mobile: 0418 232 811 email: edallas@rhinowood.com		Job No. 5051
	Designed by: _____		Drawing No. A 12
		Date: _____	R



**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No PLN-22-403
DATE RECEIVED 15 August



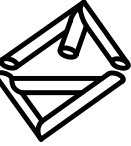
GROUND FLOOR PLAN

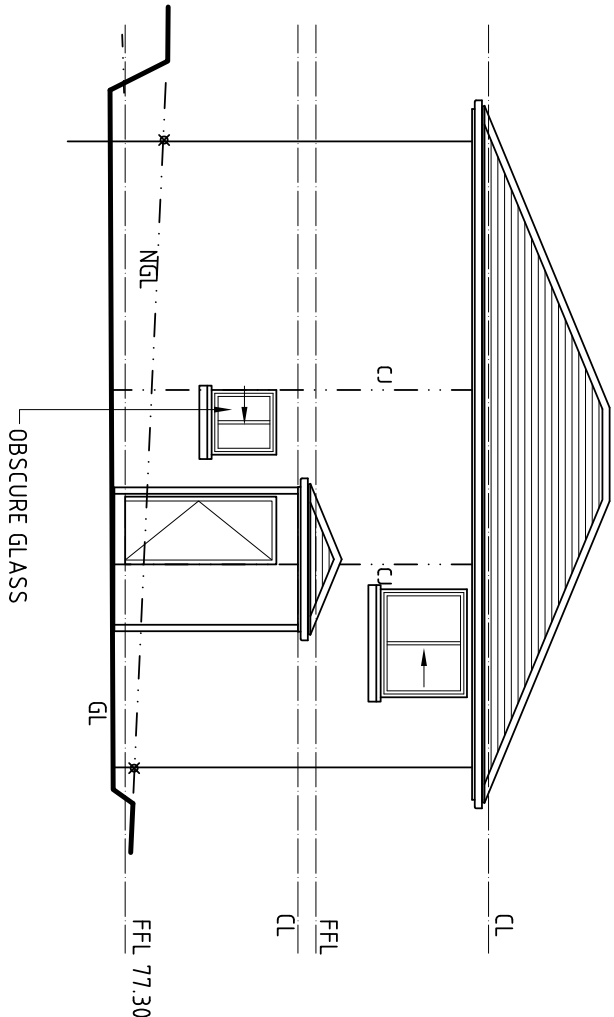
FIRST FLOOR PLAN

NOTES

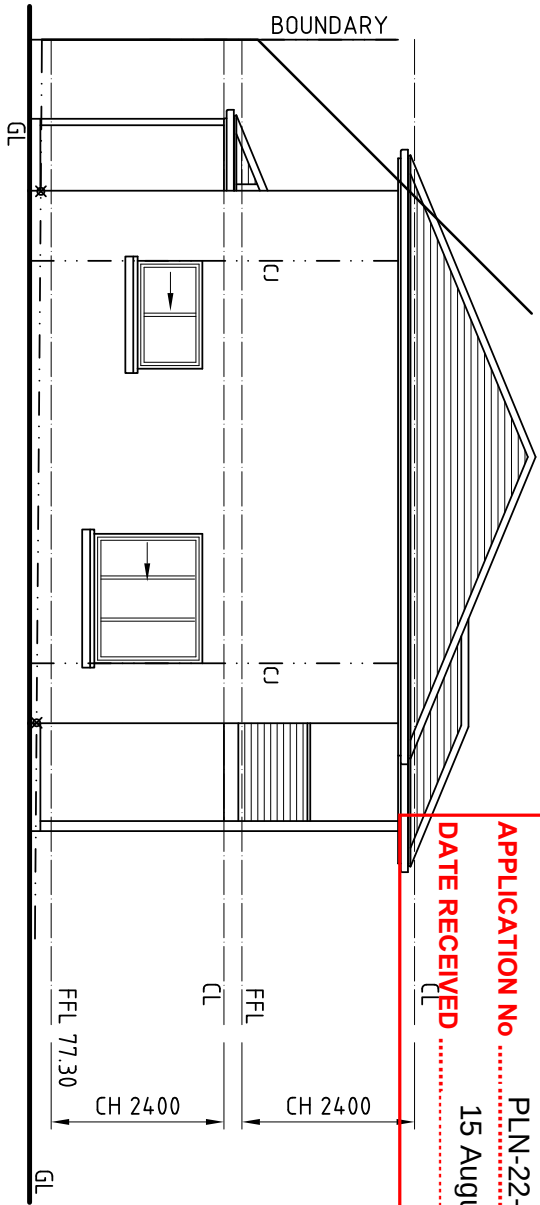
1. (SD) HARDWIRED SMOKE DETECTOR
2. STAR TREADS NOSINGS TO COMPLY WITH BCA2007-3.9
3. WINDOW & GLAZING TO COMPLY WITH AS1288 & AS204.7
4. WET AREA CONSTRUCTION (BATH ROOM) TO COMPLY WITH BCA2007
5. CONTRACTOR TO BE RESPONSIBLE FOR SETTING OUT OF DIMENSIONS. VERIFY ANY DISCREPANCIES WITH DESIGNER PRIOR TO COMMENCING WORKS.
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HOUSE GF FA : 64 sqm
HOUSE 1F FA : 64 sqm
CARPORT FA : 18 sqm

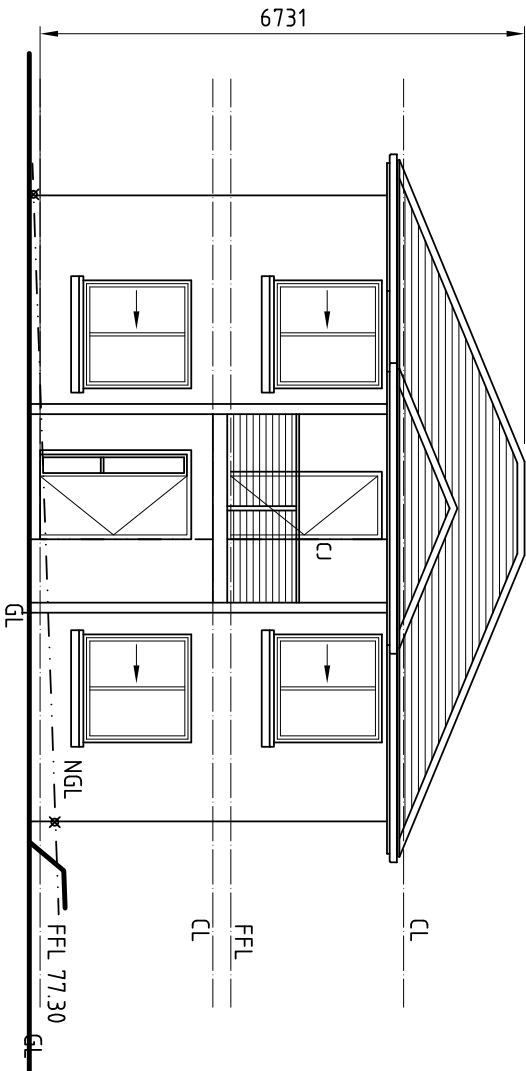
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	PROPOSED UNIT DEVELOPMENT FOR TOSAJ0 CORPORATION PTY LTD AT 2 MOORE PARK DR, GLENORCHY UNIT 7, FLOOR PLANS		1:100
	CONSULTING ENGINEERS Emmanuel Dallas Pty Ltd phone: 6228 2225 mobile: 0418 232 811 email: edallas@bhinnord.com		Job No. 5051
	Designed by: _____ Date: _____		Drawing No. A 12



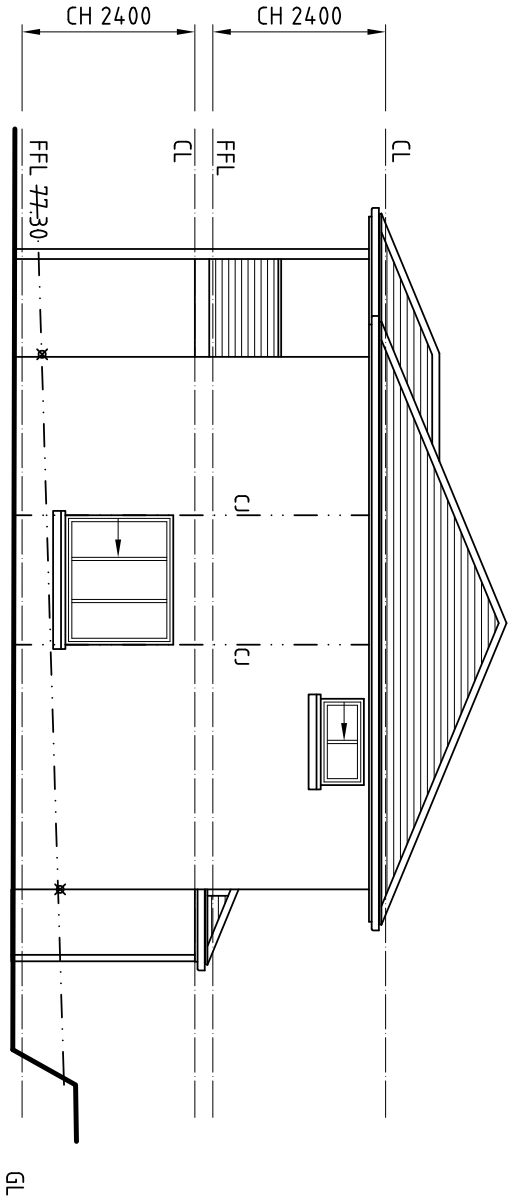
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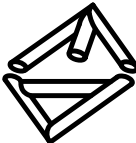
ELEVATION A

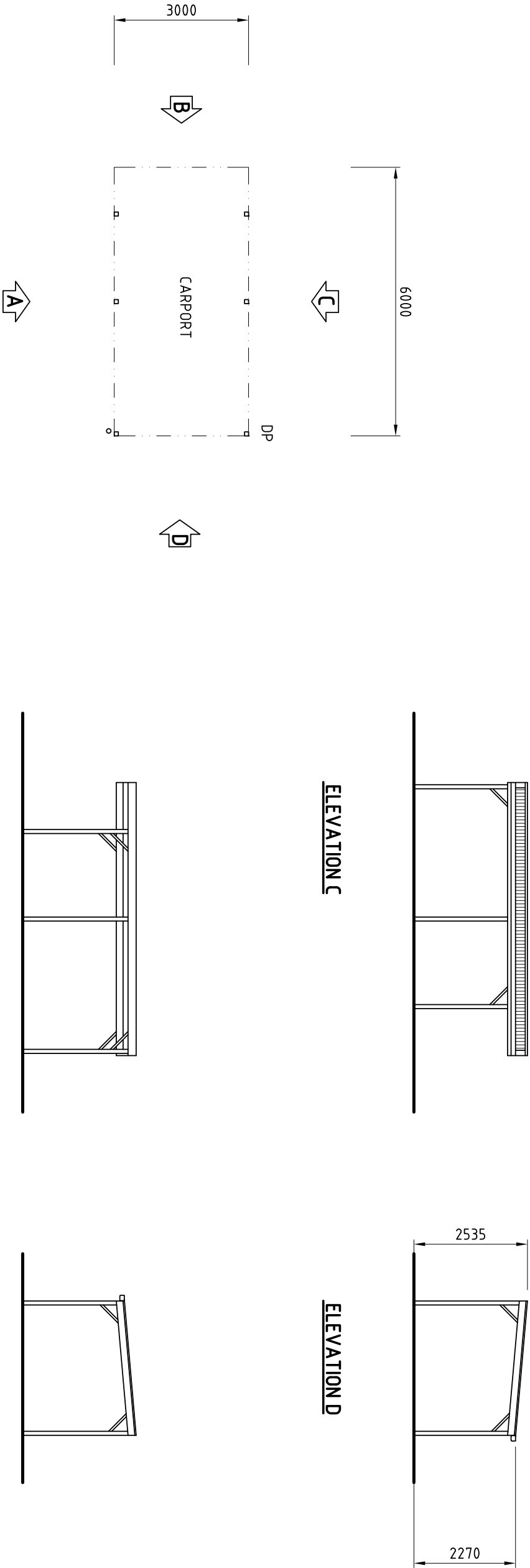


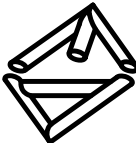
ELEVATION D



ELEVATION C

	Project Title:		Scale:
	PROPOSED UNIT DEVELOPMENT FOR TOSAJI CORPORATION PTY LTD AT 2 MOORE PARK DR, GLENORCHY UNIT 7, ELEVATIONS		1:100
	Consulting Engineers Emmanuel Dallas Pty Ltd phone: 6228 2225 mobile: 0418 232 811 email: edallas@rhinowood.com		Job No. 5051
	Designed by:		Drawing No. A 11.



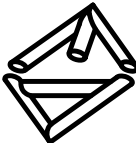
 CONSULTING ENGINEERS Emmanuel Dallas Pty Ltd phone: 6228 2225 mobile: 0418 232 811 email: edallas@bimond.com	Project Title: PROPOSED UNIT DEVELOPMENT FOR TOSAJO CORPORATION PTY LTD AT 2 MOORE PARK DR, GLENORCHY CARPORT FOR UNIT 7 & 8 PLAN & ELEVATIONS		Scale: 1:100
	Designed by:		Job No. 5051
	Date:		Drawing No. A 11C
			R

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No PLN-22-403
DATE RECEIVED 15 August



REV P: PLANNING INFORMATION ADDED



CONSULTING ENGINEERS
Emmanuel Dallas Pty Ltd
phone: 6228 2225
mobile: 0418 232 811
email: edallas@bimond.com

Project Title:
**PROPOSED UNIT DEVELOPMENT
FOR TOSAJI CORPORATION PTY LTD
AT 2 MOORE PARK DR, GLENORCHY
BUILDING SET-BACKS + BIN STORAGE**

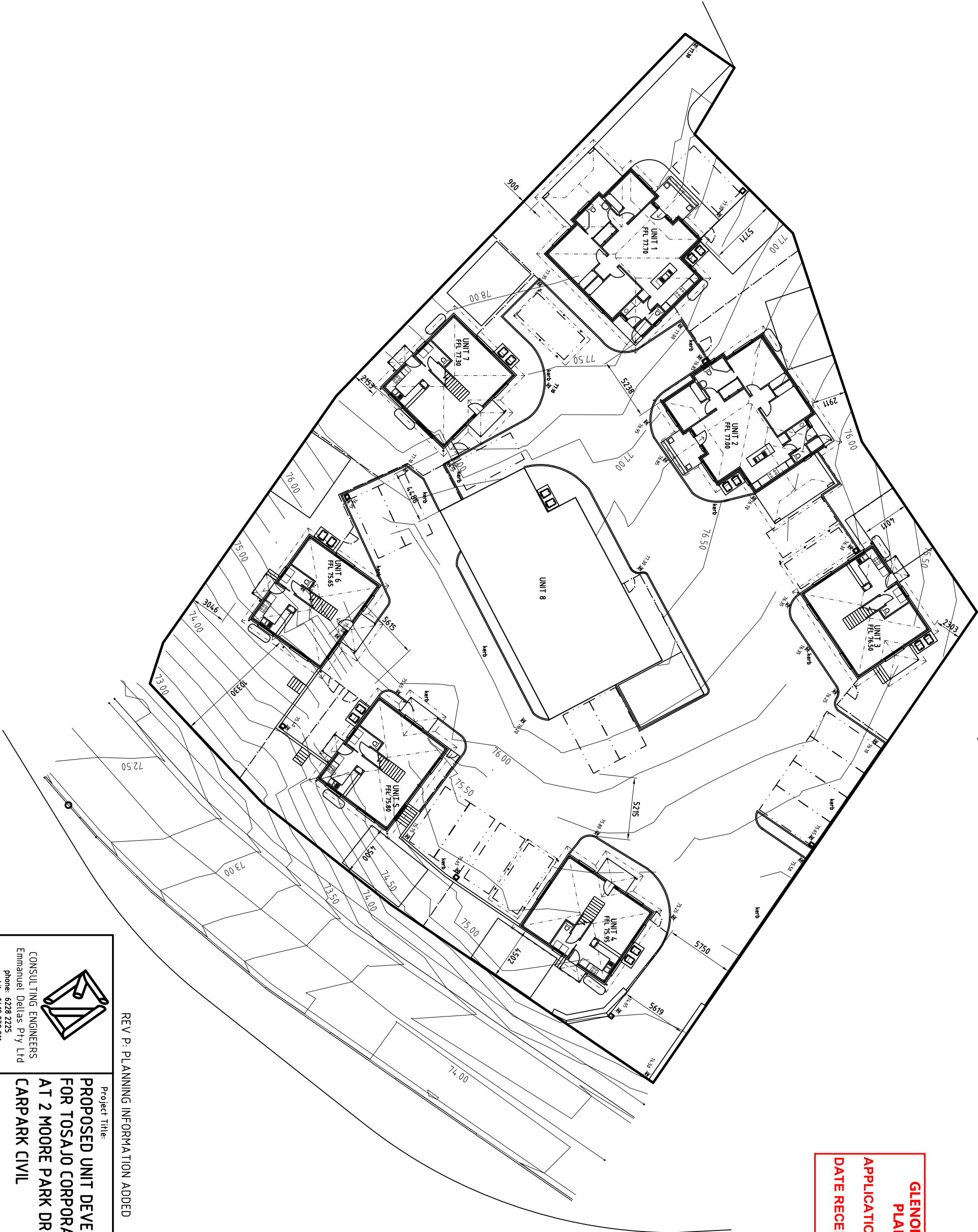
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Job No.
5051

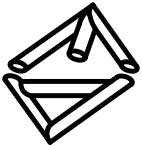
Drawing No.
R1

Designed by: _____ Date: _____

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No PLN-22-403
DATE RECEIVED 15 August



REV P: PLANNING INFORMATION ADDED



CONSULTING ENGINEERS
Emmanuel Dallas Pty Ltd
phone: 6228 2225
mobile: 0418 232 811
email: edallas@emmanuel.com

Project Title:
**PROPOSED UNIT DEVELOPMENT
FOR TOSAJI CORPORATION PTY LTD
AT 2 MOORE PARK DR, GLENORCHY
CARPARK CIVIL**

Designed by:

Date:

Scale:

1:300, 1:50

A

Job No.

5051

Drawing No.

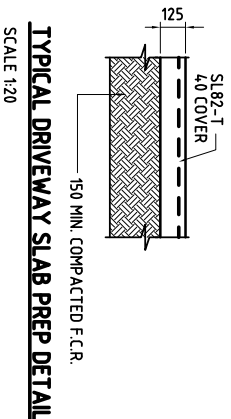
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**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No **PLN-22-403**

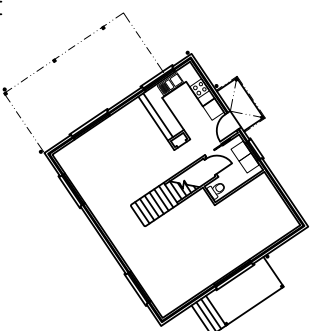
DATE RECEIVED **15 August**



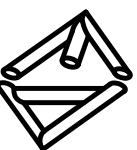
PARKING BAY DIMENSIONS

SAFETY BARRIER TO TOP OF
CONCRETE BLOCK RETAINING WALL

VEHICLE CRASH BARRIER VB1 TO TOP OF
CONCRETE BLOCK RETAINING WALL
REFER DETAIL



REV P: PLANNING INFORMATION ADDED



CONSULTING ENGINEERS
Emmanuel Deltas Pty Ltd
phone: 6228 2225
mobile: 04 18 232 811
email: edellac@hannond.com

Project Title:
**PROPOSED UNIT DEVELOPMENT
FOR TOSAJO CORPORATION PTY LTD
AT 2 MOORE PARK DR, GLENORCHY
SITE PARKING PLAN**

Designed by:	--	Date:	
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D1

Scale

1:300, 1:50

Job No. _____

5051

Drawing No

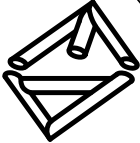


EXISTING TASWATER SEWER
CONNECTION POINT

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No PLN-22-403
DATE RECEIVED 15 August

EXISTING TASWATER SEWER
CONNECTION POINT

REV P: PLANNING INFORMATION ADDED



CONSULTING ENGINEERS
Emmanuel Dallas Pty Ltd
phone: 6228 2225
mobile: 0418 232 811
email: edallas@bhinnord.com

Project Title:
**PROPOSED UNIT DEVELOPMENT
FOR TOSAJI CORPORATION PTY LTD
AT 2 MOORE PARK DR, GLENORCHY
SEWER DRAINAGE PLAN**

Designed by: _____ Date: _____

Scale:

1:300

A

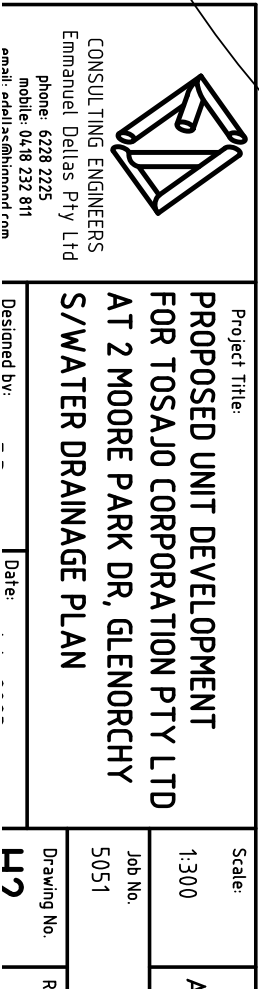
Job No.

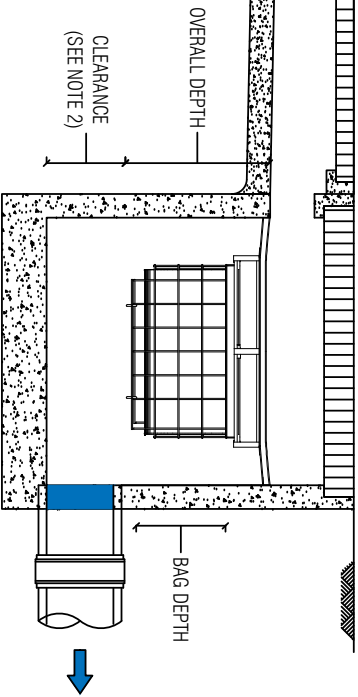
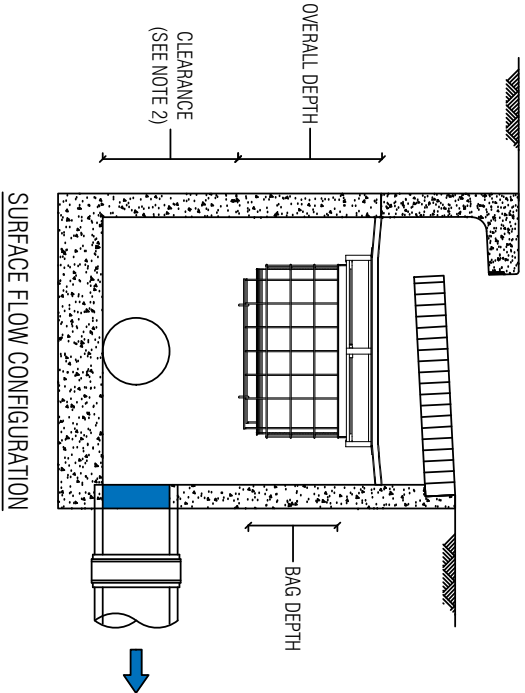
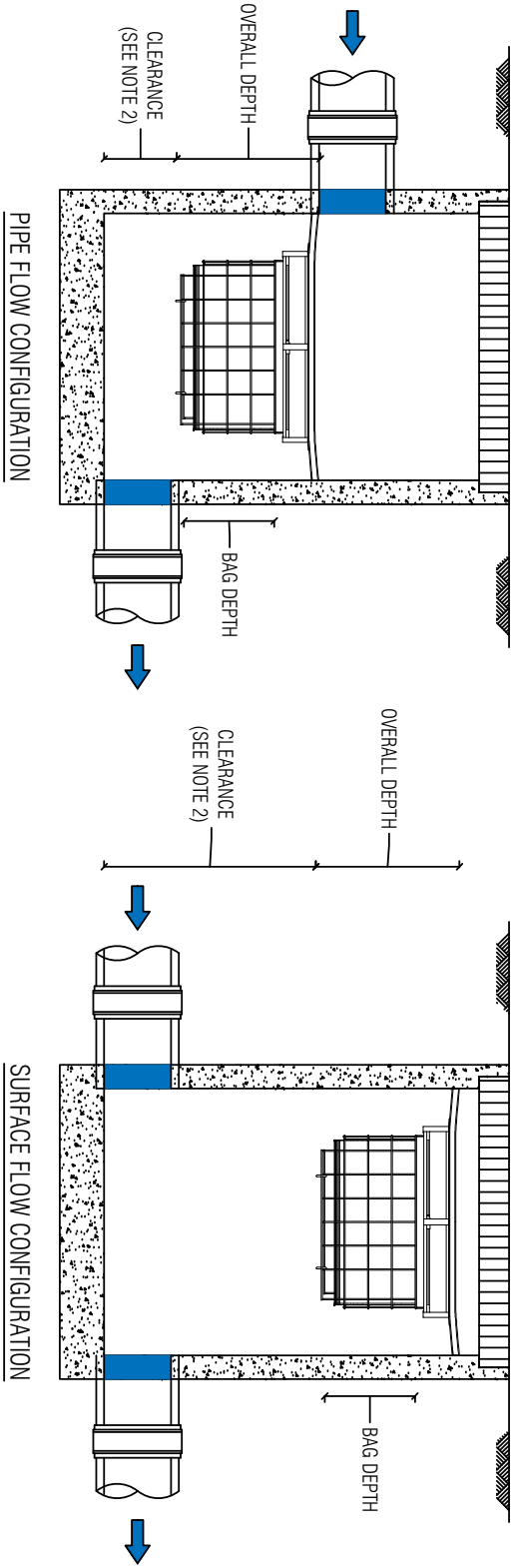
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Drawing No.

L11

R





GLENORCHY CITY COUNCIL

PLANNING SERVICES

APPLICATION No

PLN-22-403

DATE RECEIVED

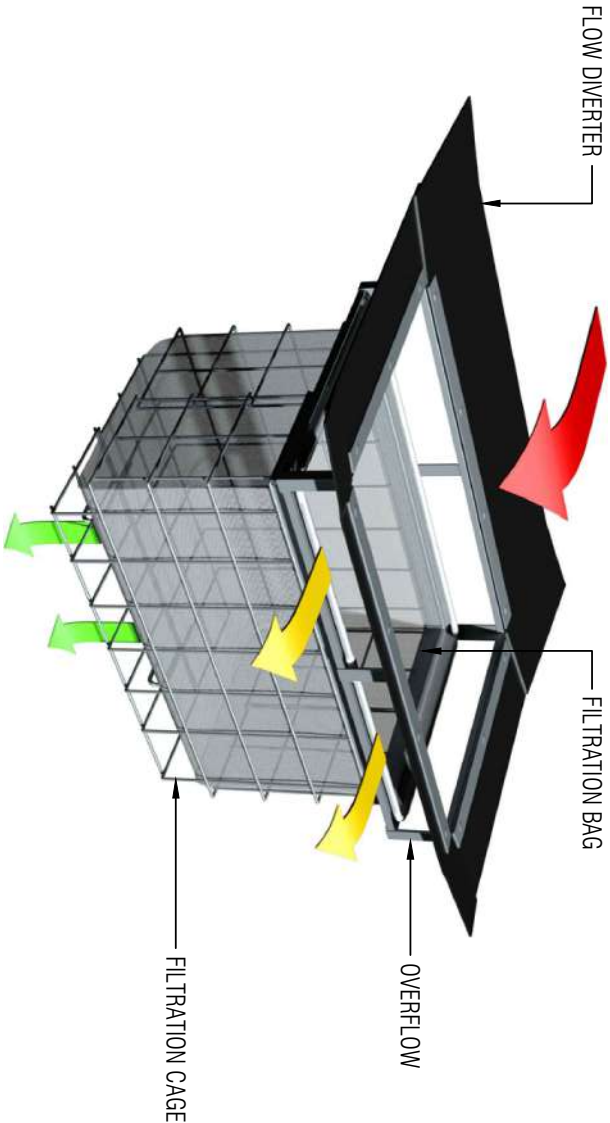
24 July 2023

GRATED STRIP DRAIN CONFIGURATION

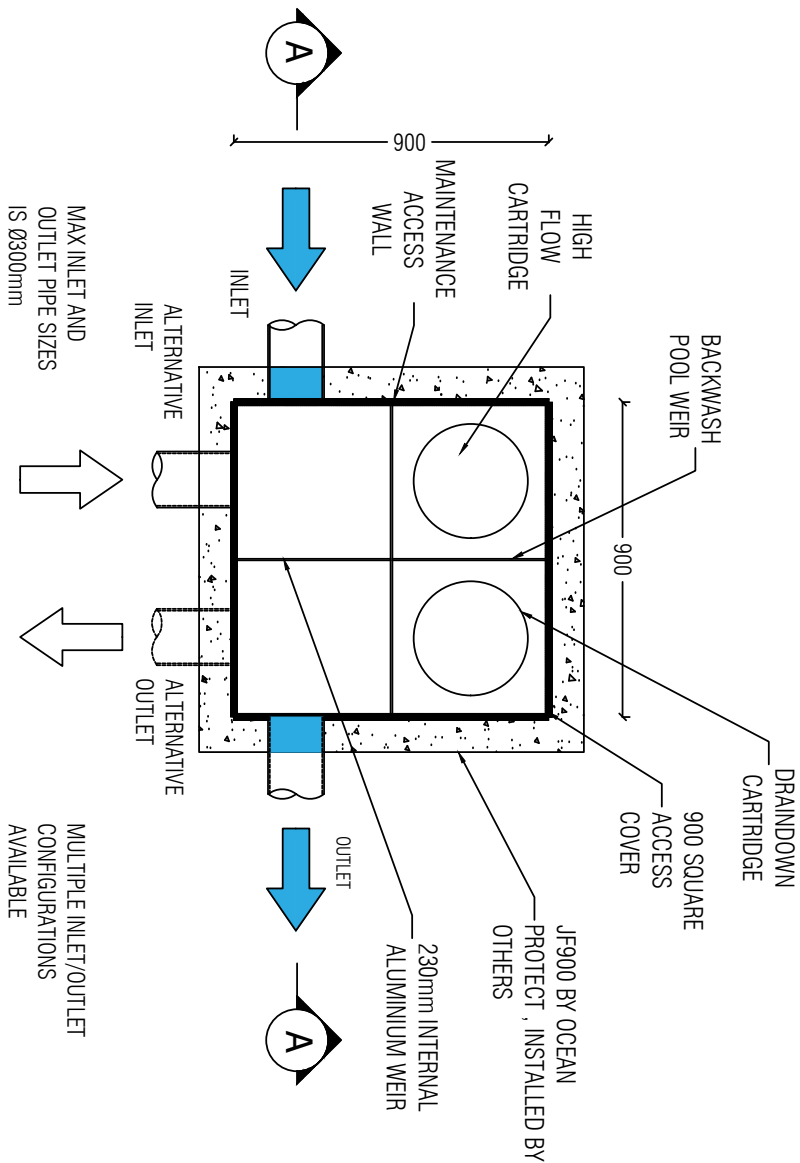
PLAN ID		MAXIMUM PIT PLAN DIMENSIONS	
S		450mm x 450mm	
M		600mm x 600mm	
L		900mm x 900mm	
XL		1200mm x 1200mm	

DEPTH ID	BAG DEPTH	OVERALL DEPTH
1	170	270
2	300	450
3	600	700

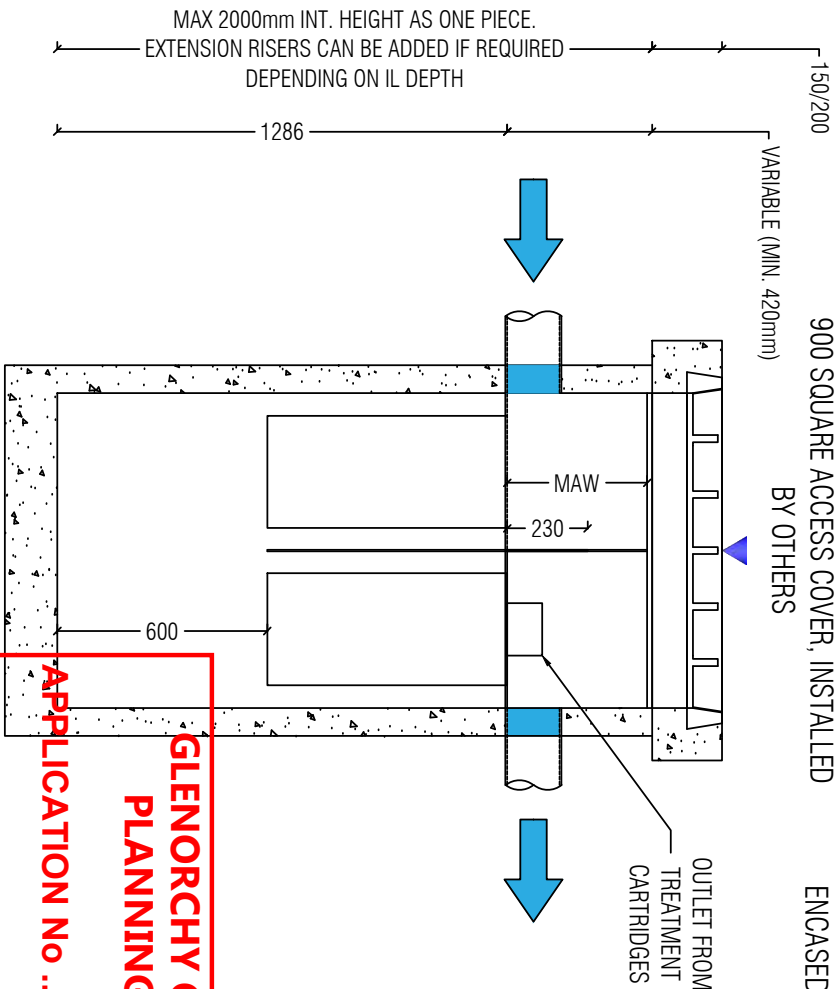
PLAN ID		DEPTH ID		
	S	1	2	3
	M	■	■	■
	L	■	■	■
	XL	■	■	■



- GENERAL NOTES**
- THE MINIMUM CLEARANCE DEPENDS ON THE CONFIGURATION (SEE NOTE 2) AND THE LOCAL COUNCIL REQUIREMENTS.
 - CLEARANCE FOR ANY PIT WITHOUT AN INLET PIPE (ONLY USED FOR SURFACE FLOW) CAN BE AS LOW AS 50mm. FOR OTHER PITS, THE RECOMMENDED CLEARANCE SHOULD BE GREATER OR EQUAL TO THE PIPE OBVERT SO AS NOT TO INHIBIT HYDRAULIC CAPACITY.
 - OCEAN PROTECT PROVIDES TWO FILTRATION BAG TYPES: 200 MICRON BAGS FOR HIGHER WATER QUALITY FILTERING AND A COARSE BAG FOR TARGETING GROSS POLLUTANTS.
 - DRAWINGS NOT TO SCALE.



PLAN LAYOUT



CAST IRON CAN BE SUPPLIED LOOSE, OR CONCRETE ENCASSED (150/200mm THICK)

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No PLN-22-403

24 July 2023

SECTION A-A
DATE RECEIVED

JELLYFISH DESIGN TABLE

JELLYFISH TREATMENT FLOW IS A FUNCTION OF THE NUMBER OF CARTRIDGES AND THE DEVICE TOTAL HEAD DIFFERENTIAL. IF THE PIPE FLOW EXCEEDS THE TREATMENT FLOW THEN AN UPSTREAM BYPASS STRUCTURE IS REQUIRED.

REQUIRED DEVICE TOTAL HEAD DIFFERENTIAL [mm]	460	230
CARTRIDGE FLOW RATE FOR HIGH-FLOW / DRAINDOWN [L/s]	2.5 / 1.3	1.27 / 0.79
CARTRIDGE LENGTH [mm]	690	690
OUTLET INVERT TO STRUCTURE INVERT [mm]	1985	1985

SITE SPECIFIC
DATA REQUIREMENTS

STRUCTURE ID				JF900-1-1
WATER QUALITY FLOW RATE (L/S)				2.06
# OF CARTRIDGES REQUIRED (HF - DD)				1-1
CARTRIDGE SIZE				690
PIPE DATA:		I.L.	MATERIAL	DIAMETER
INLET PIPE	[		]	[
OUTLET PIPE	[		]	[
LID WEIGHT				TBC
PART A & B WEIGHT (SEPARATE)				TBC

NOTE: TANK SUPPLIED IN TWO PARTS; PARTS A & B TO BE JOINED ON SITE

GENERAL NOTES

- JELLYFISH WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF THE PROJECT.
- PRECAST STRUCTURE SUPPLIED WITH CORE HOLES TO SUIT OUTER DIAMETER OF NOMINATED PIPE SIZE / MATERIAL.
- STRUCTURE AND ACCESS COVERS TO BE DESIGNED TO MEET AUSTRROADS T44 LOAD RATING WITH 0.0m TO 2.0m FILL MAXIMUM (CLASS D) UNLESS OTHERWISE NOTED. THE OUTLET PIPE INVERT ELEVATION, CERTIFYING ENGINEER TO CONFIRM ACTUAL GROUNDWATER ELEVATION.PRECAST STRUCTURE SHALL BE IN ACCORDANCE WITH AS3600.
- IF THE PEAK FLOW RATE AS DETERMINED BY THE CERTIFYING ENGINEER, EXCEEDS THE TREATMENT FLOW RATE OF THE SYSTEM, AN UPSTREAM BYPASS STRUCTURE IS REQUIRE.
- ALL WATER QUALITY TREATMENT DEVICES REQUIRE PERIODIC MAINTENANCE. REFER TO OPERATION AND MAINTENANCE MANUAL FOR GUIDELINES AND ACCESS REQUIREMENTS.
- SITE SPECIFIC PRODUCTION DRAWING WILL BE PROVIDED ON PLACEMENT OF ORDER.
- DRAWING NOT TO SCALE.

INSTALLATION NOTES

- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE SPECIFIC DESIGN CONSIDERATION AND SHALL BE SPECIFIED BY THE CERTIFYING ENGINEER.
- CONTRACTOR TO PROVIDE ALL EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STRUCTURE (LIFTING DETAIL, PROVIDED SEPARATELY).
- CONTRACTOR TO INSTALL AND LEVEL THE STRUCTURE, APPLY SEALANT TO ALL JOINTS AND TO PROVIDE, INSTALL AND GROUT INLET AND OUTLET PIPES.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.
- CARTRIDGE INSTALLATION, BY OCEANPROTECT, SHALL OCCUR ONLY AFTER SITE HAS BEEN STABILIZED AND THE JELLYFISH UNIT IS CLEAN AND FREE OF DEBRIS. CONTACT OCEAN PROTECT TO COORDINATE CARTRIDGE INSTALLATION WITH SITE COMPLETION.



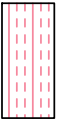
OCEAN PROTECT
JELLYFISH-1-1 900 SQUARE
INTERNAL OFFLINE ARRANGEMENT

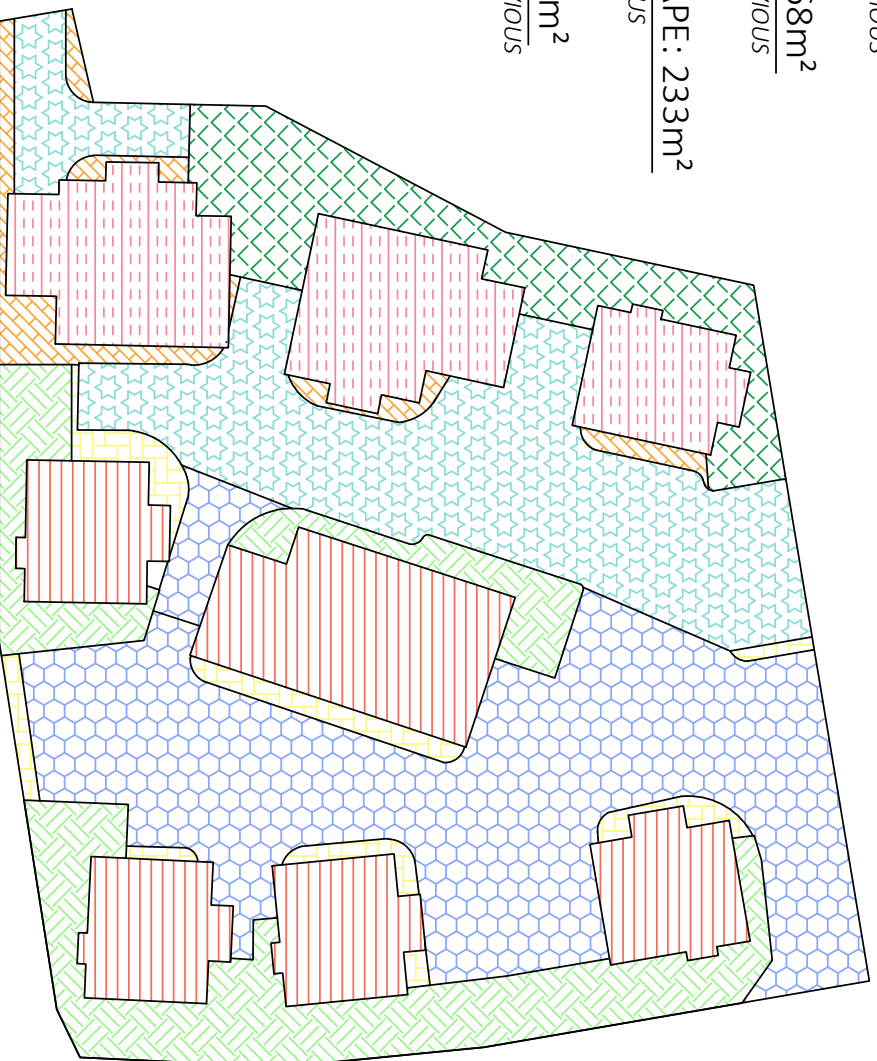
WSUD SITE AREA BREAK-UP

2 Moore Park Drive, Glenorchy

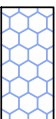
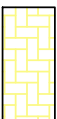
June 30, 2023

CATCHMENT 1

	ROOF: 391m ²
100% IMPERVIOUS	
	ROAD: 568m ²
100% IMPERVIOUS	
	LANDSCAPE: 233m ²
100% PERVIOUS	
	PATH: 88m ²
100% IMPERVIOUS	



CATCHMENT 2

	ROOF: 544m ²
100% IMPERVIOUS	
	ROAD: 832m ²
100% IMPERVIOUS	
	LANDSCAPE: 427m ²
100% PERVIOUS	
	PATH: 102m ²
100% IMPERVIOUS	

TOTAL AREA: 3185m²

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

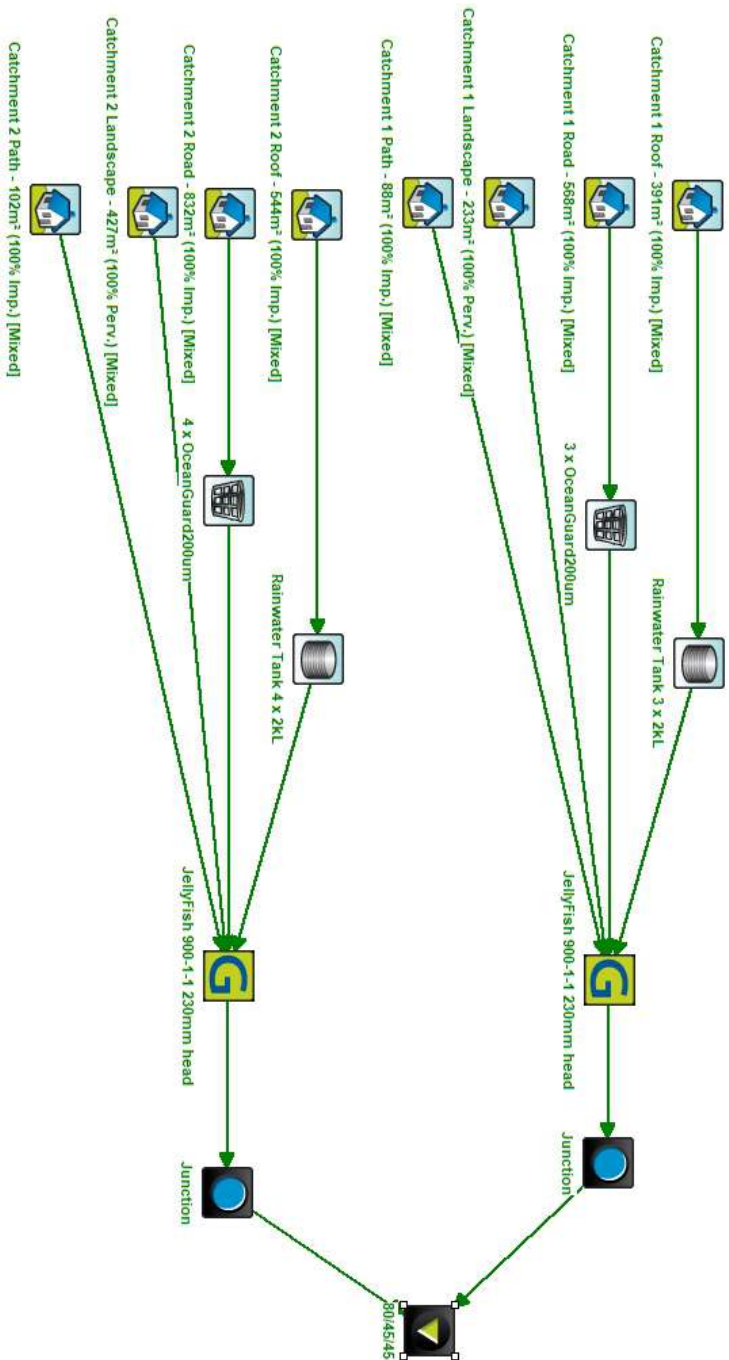
APPLICATION NO PLN-22-403

DATE RECEIVED 24 July 2023

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No PLN-22-403

DATE RECEIVED 24 July 2023



Treatment Train Effectiveness - 80/45/45				
Flow (ML/yr)	Sources	Residual Load	% Reduction	
Total Suspended Solids (kg/yr)	1.07	0.976	9.1	
Total Phosphorus (kg/yr)	249	10.6	95.7	
Total Nitrogen (kg/yr)	0.451	0.158	65	
Gross Pollutants (kg/yr)	2.61	1.1	58	
	39.9	0.123	99.7	

Our ref: **PLN-22-403**
Enquiries **Peter Coney**
Direct phone: (03) 6216 6800
Email: gccmail@gcc.tas.gov.au

18 September 2023

Emmanuel Deltas Pty Ltd
20 Stratton Avenue
Lenah Valley TAS 7008

Email: edellas@bigpond.com

Dear Sir/Madam

GENERAL MANAGER'S CONSENT – S.14 URBAN DRAINAGE ACT 2013

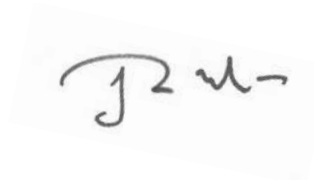
I refer to the proposed Multiple Dwellings (one existing and seven proposed) at 2 Moore Park Drive Glenorchy for which a planning permit (the "Related Planning Permit") has been granted by the Planning Authority. The Related Planning Permit for this consent is PLN-22-403.

It is advised that the consent of the General Manager to interfere with the public stormwater system for the use/development approved by the Related Planning Permit has been granted by Council pursuant to Section 14(1) of the *Urban Drainage Act 2013*.

This consent is subject to the compliance with the conditions set out in Attachment 1. You must comply with the conditions of this consent.

Advice relevant to this consent is provided in Attachment 2. Please take time to read and consider the advice before commencing works.

Yours sincerely



Bree Narksut
Development Engineer

Attachment 1 – Conditions of General Manager’s Consent

1. The stormwater works must be substantially in accordance with the approved drawings submitted with Council on 14 August 2023, except as otherwise required as a condition of the General Manager’s Consent.
2. No stormwater works are to commence until the Related Planning Permit has force and effect. (Please refer to Advice in Attachment 2.)
3. This consent remains valid while the Related Planning Permit continues to have force and effect. If the Related Planning Permit lapses pursuant to Section 53(5) of the *Land Use Planning and Approvals Act 1993*, this consent also lapses.
4. All internal hydraulic service works required for the development must be at the Developer’s expense and must comply with the requirements of Council’s Plumbing Surveyor. Any alterations or works to the public stormwater system must be undertaken by Council at the developer’s cost.
5. The property owner is to ensure that Council’s Road Assets and Infrastructure are protected during the construction of the stormwater works. The owner is to ensure that damage to road assets, footpaths, kerb and channel, drainage pits, nature strips and other services is kept to a minimum and any damaged assets are reinstated. Should damages occur, the repair costs associated with such damages are the responsibility of the property owner.
6. If reinstatement works are not undertaken promptly or to Council’s satisfaction, Council may elect to reinstate or rectify any defects and recover the expenses reasonably incurred in doing so from the property owner.
7. Adequate on-site stormwater detention must be provided so that stormwater discharged from the site does not exceed the pre-development stormwater runoff for 1 in 20 ARI (5% AEP) storm event. A detailed design in accordance with the approved plans must be submitted with the Building Application for approval by Council’s Development Engineer before undertaking the works. Installation of on-site stormwater detention must be completed prior to a Certificate of Occupancy being issued.
8. The development must incorporate the nominated Water Sensitive Urban Design (WSUD) element(s) or equivalent, as set out in the Stormwater Management Plan. The WSUD elements must be installed and completed prior to a Certificate of Occupancy being issued for any of the dwellings.
9. In association with a Building Application, a WSUD Maintenance Scheme must be submitted for approval, to the satisfaction of Council’s Development Engineer, defining the maintenance method and frequency for each WSUD element incorporated in the

development. The Owner and all successors in title must ensure ongoing compliance with the approved WSUD Maintenance Scheme for the duration of the approved use. Council must first approve any changes to the approved WSUD Maintenance Scheme.

Attachment 2 – Advice

Related Planning Permit

Please ensure you have obtained a copy of the Related Planning Permit before undertaking stormwater works. In addition to complying with the conditions of this consent, all stormwater works must be undertaken in a manner that is consistent with the approved plans and conditions of the Related Planning Permit for the use/development.

Planning permits for which representations were received do not have force and effect until 14 days after notice is served on the representors. Planning permits may also be subject of an appeal by the applicant or representors to the Resource Management and Planning Appeals Tribunal (RMPAT). Where an appeal is lodged the permit does not have force and effect until the appeal is determined or abandoned. To confirm whether the Related Planning Permit has force and effect, please contact Council's Planning Section on (03) 6216 6800.

Other Permits

Please be aware that this consent is for stormwater works and has been issued under the *Urban Drainage Act 2013*. You should consult with an accredited Building Surveyor prior to commencing work to ensure all relevant requirements of the Building Act 2016 are complied with. In addition to this consent, a building permit and/or plumbing permit may also be required. If further clarification is required, please contact Council's Building Section on (03) 6216 6800.

Other Services

The designer must ensure that the needs of all providers including TasWater, TasGas, TasNetworks, and Telstra are catered for both in the construction of the stormwater works. Underground service providers should be contacted for line marking of their services and any requirements or conditions they may have prior to commencing any works on site. Phone 1100, Dial Before You Dig or visit www.dialbeforeyoudig.com.au for information on the location of underground services and cables in relation to the proposed development prior to commencing any works on site.

Submission to Planning Authority Notice

Council Planning Permit No.	PLN-22-477	Council notice date	21/11/2022
TasWater details			
TasWater Reference No.	TWDA 2022/01887-GCC	Date of response	23/11/2022
TasWater Contact	Al Cole	Phone No.	0439605108
Response issued to			
Council name	GLENORCHY CITY COUNCIL		
Contact details	gccmail@gcc.tas.gov.au		
Development details			
Address	2 MOORE PARK DR, GLENORCHY	Property ID (PID)	1964573
Description of development	Multiple Dwellings x 9 (8 new + 1 ex) - staged		
Schedule of drawings/documents			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
Dellas Consulting Engineers	Site Plan	N/A	June 2022
Conditions			
Pursuant to the <i>Water and Sewerage Industry Act 2008 (TAS)</i> Section 56P(1) TasWater imposes the following conditions on the permit for this application: CONNECTIONS, METERING & BACKFLOW - A suitably sized water supply with metered connections and sewerage system and connections to the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit. Advice: Any new water meter(s) should be installed next to the driveway. - Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost. - Prior to commencing construction/use of the development, any water connection utilised for construction/the development must have a backflow prevention device and water meter installed, to the satisfaction of TasWater. DEVELOPMENT ASSESSMENT FEES - The applicant or landowner as the case may be, must pay a development assessment fee of \$376.68, to TasWater, as approved by the Economic Regulator and the fee will be indexed, until the date paid to TasWater. The payment is required within 30 days of the issue of an invoice by TasWater.			
Advice			
Water Submetering As of July 1 2022, TasWater's Sub-Metering Policy no longer permits TasWater sub-meters to be installed for new developments. Please ensure plans submitted with the application for Certificate(s) for Certifiable Work (Building and/or Plumbing) reflect this. For clarity, TasWater does not object to private sub-metering arrangements. Further information is available on our website (www.taswater.com.au) within our Sub-Metering Policy and Water Metering Guidelines.			



General

For information on TasWater development standards, please visit <https://www.taswater.com.au/building-and-development/technical-standards>

For application forms please visit <https://www.taswater.com.au/building-and-development/development-application-form>

Service Locations

Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.

- (a) A permit is required to work within TasWater's easements or in the vicinity of its infrastructure.
Further information can be obtained from TasWater.
- (b) TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit www.taswater.com.au/Development/Service-location for a list of companies.
- (c) Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au



22-Sep-2023

Disclaimer: The graphic information on this map is produced by Glenorchy City Council. As errors or omissions may occur please verify data before any projects are commenced. The representation of roads or tracks is no evidence of right of way. This map is not to be used as a site plan for making an application to council.

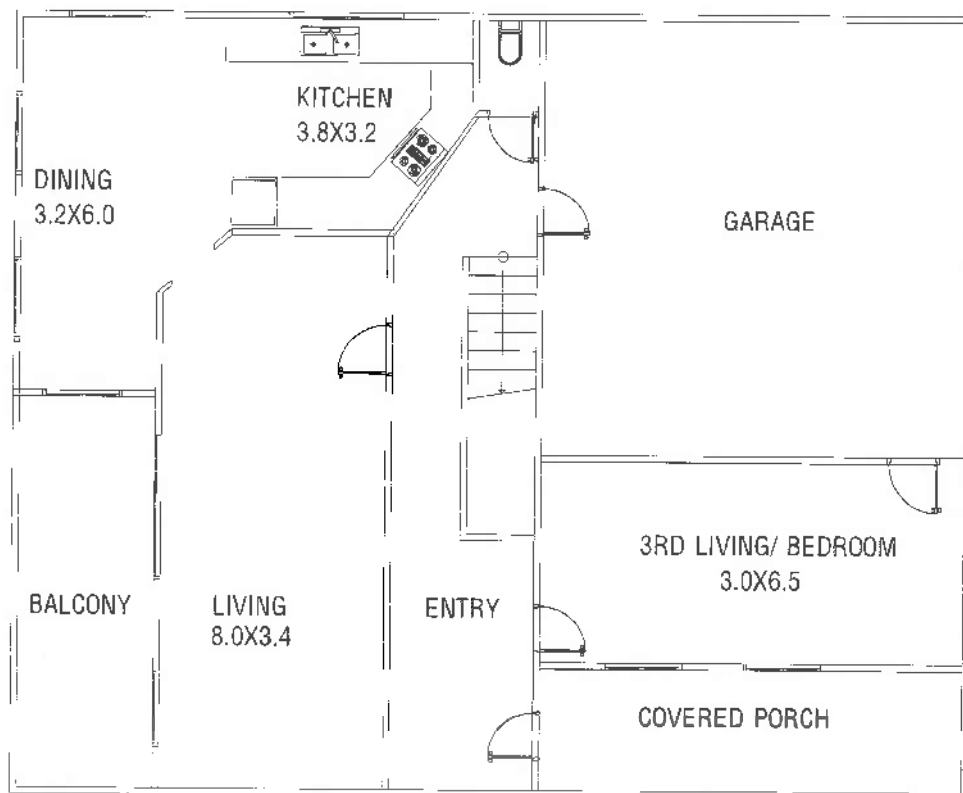


GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No PLN-23-215

DATE RECEIVED 8 August 2023

First Floor

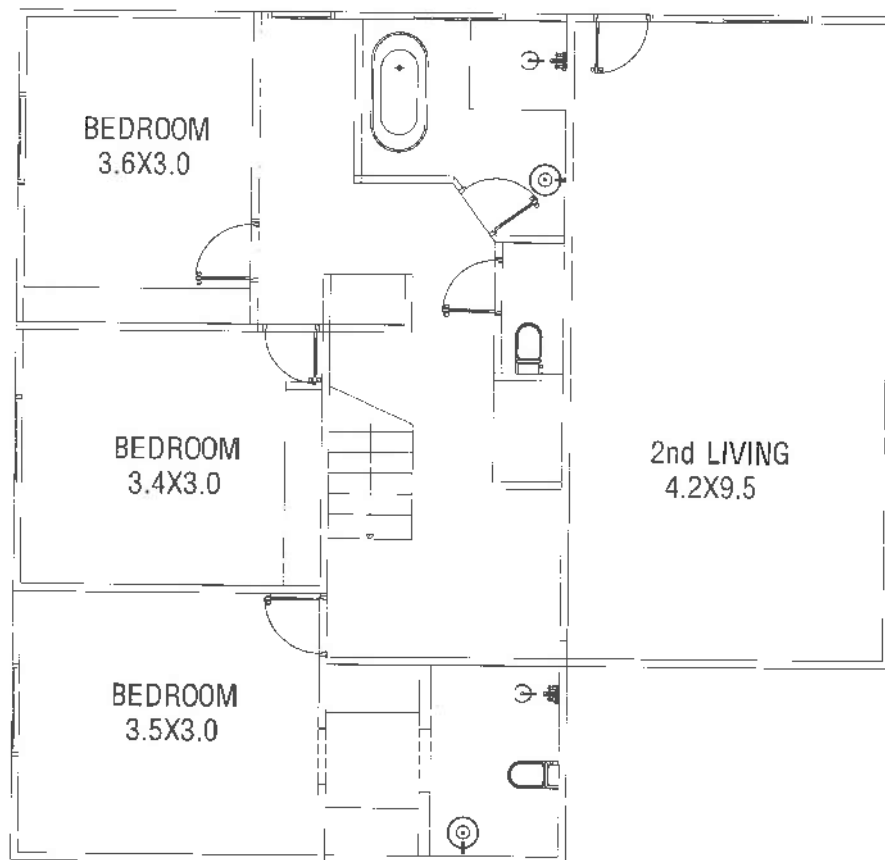


GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No PLN-23-215

DATE RECEIVED 8 August 2023

Second Floor

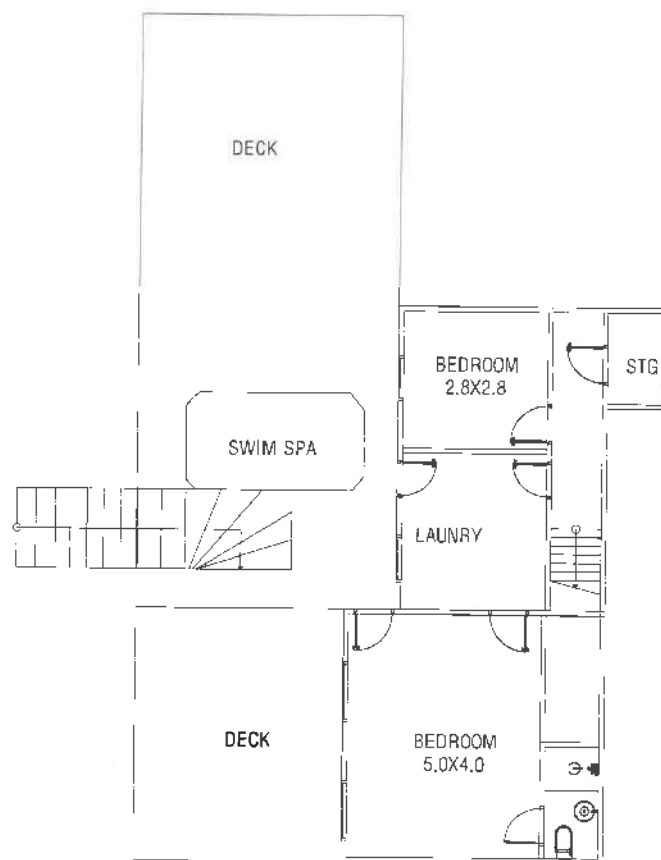


GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No PLN-23-215

DATE RECEIVED 8 August 2023

Third Floor





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131A Allunga Rd, Chigwell

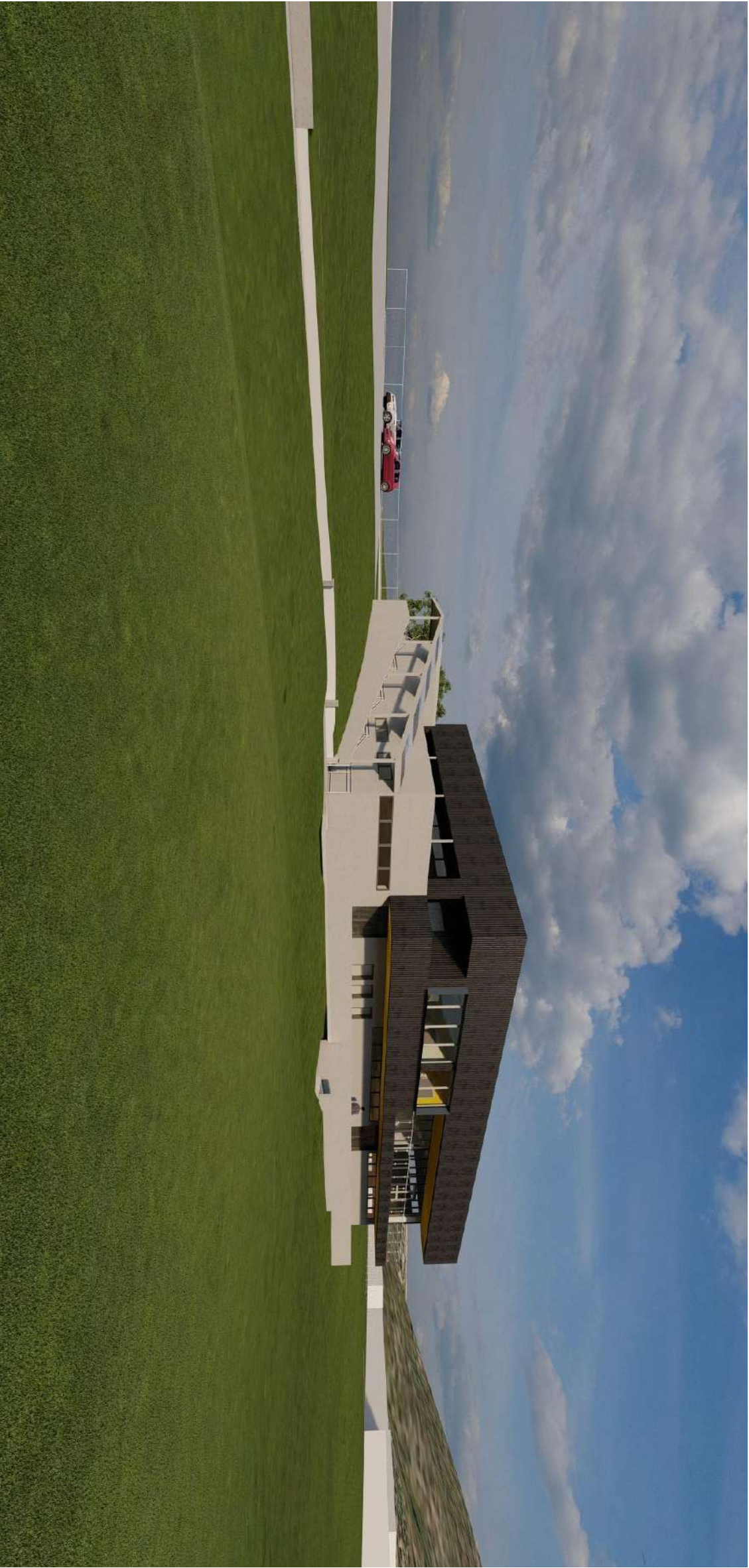
19-Sep-2023



The graphic information on this map is produced by Glenorchy City Council. As errors or omissions may occur please verify data before any projects are commenced. The representation of roads or tracks is no evidence of right of way. This map is not to be used as a site plan for making an application to council.



200 m



NORTH CHIGWELL SPORTS FACILITY

131A, ALLUNGA ROAD, CHIGWELL, TAS 7011

R E V I S I O N		Drawn By	Appr
No.	Description	Date	
1	ISSUED FOR PRELIMINARY APPROVAL	17/03/2023	NS

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No
PLN23-065

DATE RECEIVED
16/03/2023



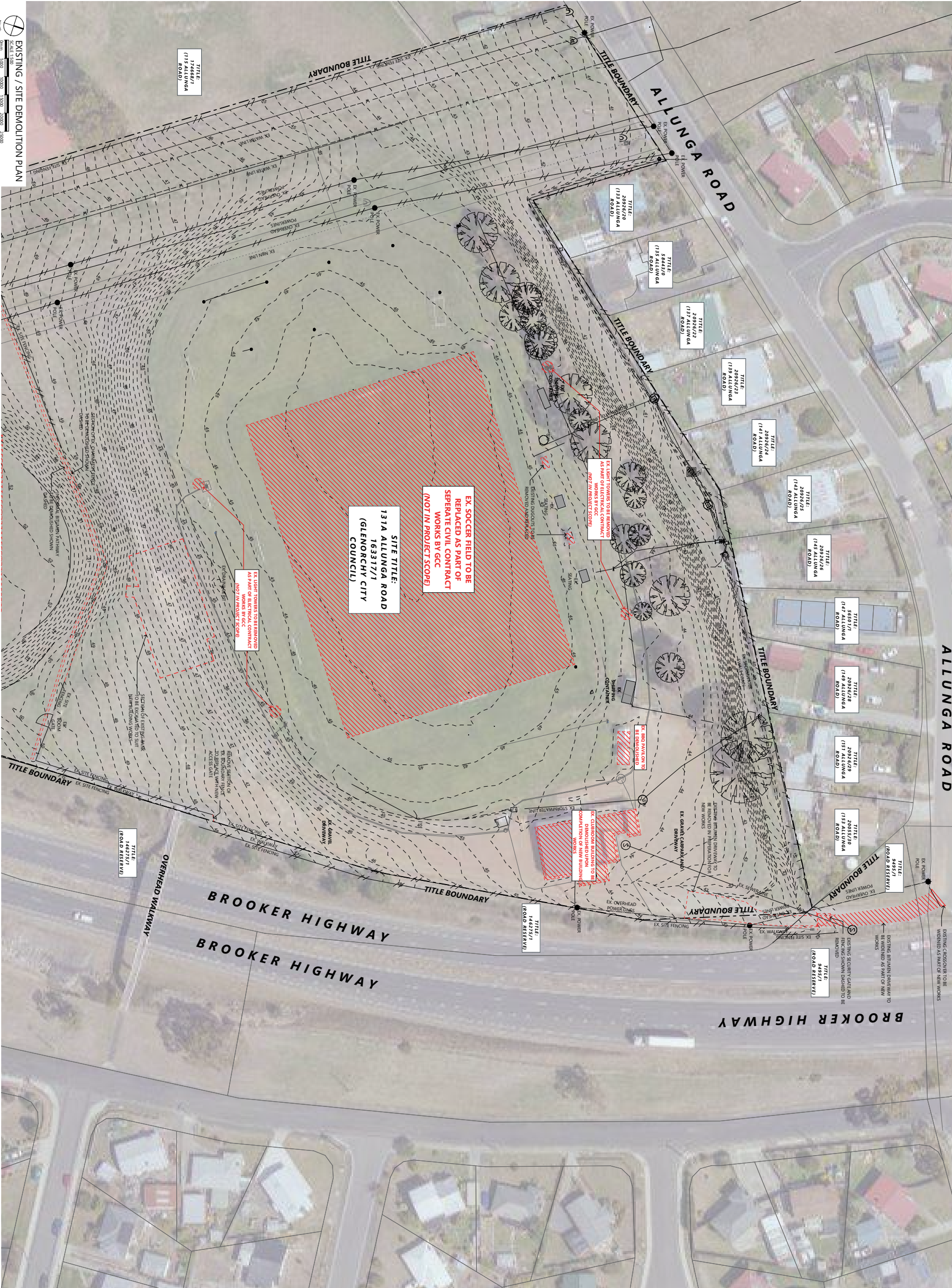
Launceston | Hobart
www.artas.com.au

ARTAS
ARCHITECTS

SHEET SIZE	CONTRACT NO.	TENDER DATE	PROJECT NUMBER	DRAWING NUMBER
A1 (LANDSCAPE)	TBA	TBA	224005	A000-DA01
DRAWING ISSUE				APPROVAL

ARTAS

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R. E. V. I. S. I. O. N.	
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GLENORCHY CITY COUNCIL
PLANNING SERVICES
PLAN23-065
APPLICATION NO
DATE RECEIVED16/03/2023

NORTH CHIGWELL SPORTS FACILITY

GLENORCHY CITY COUNCIL

ARTIAS
ARCHITECTS

APPROVAL **224005** **A002-DA01**

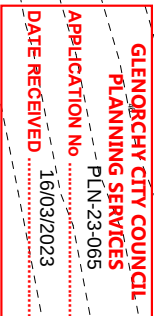
SHRUT SEELA N. BANERJEE

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ARTAS
ARCHITECTS





NORTH CHIGWELL SPORTS FACILITY

GLENORCHY CITY COUNCIL

GLENORCHY CITY COUNCIL



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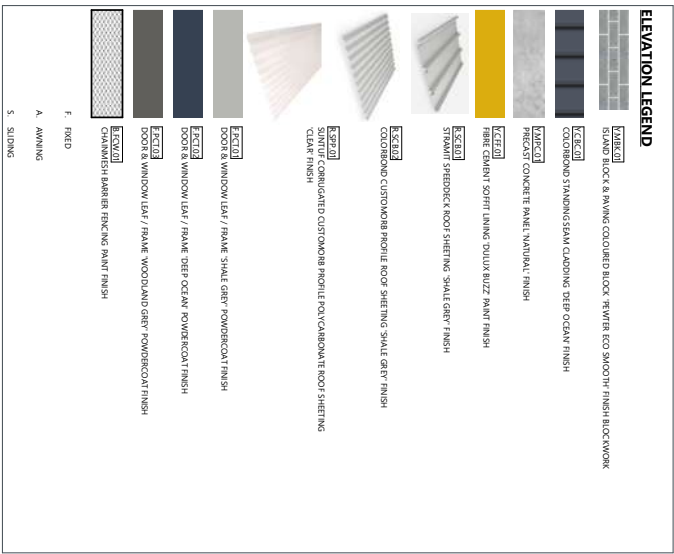
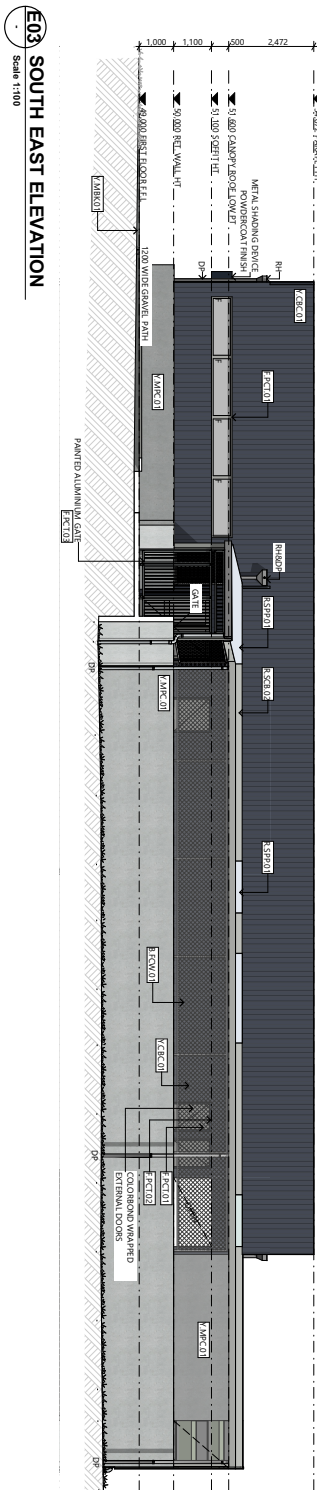
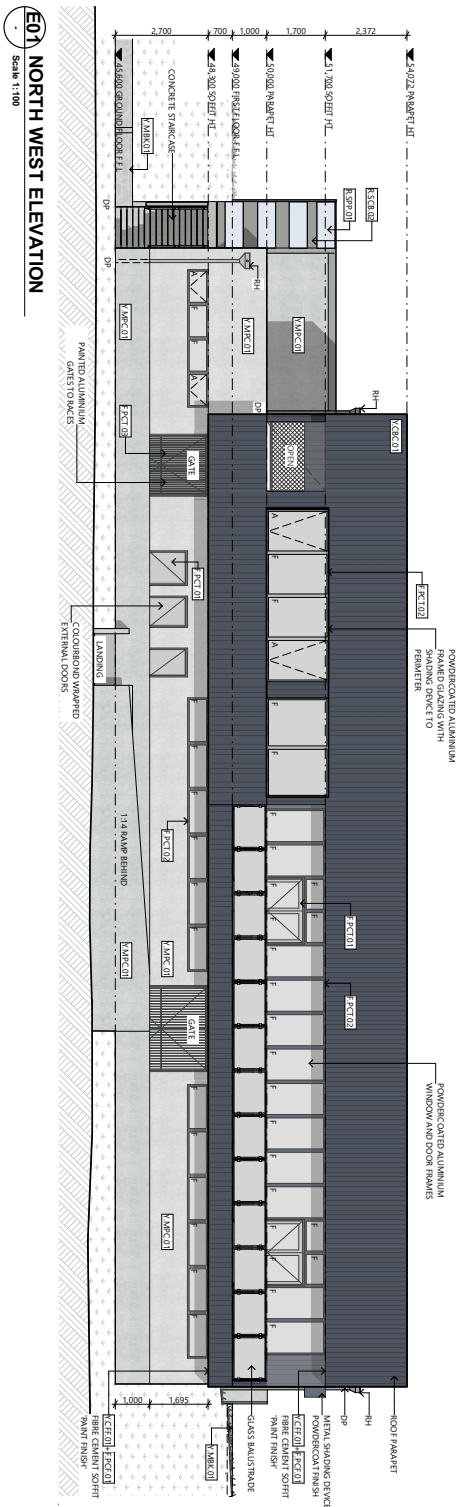
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APPROVAL
 224005
 SHEET SEE A1 (A0505C4E)
A210-DA01
 ARCHITECTS

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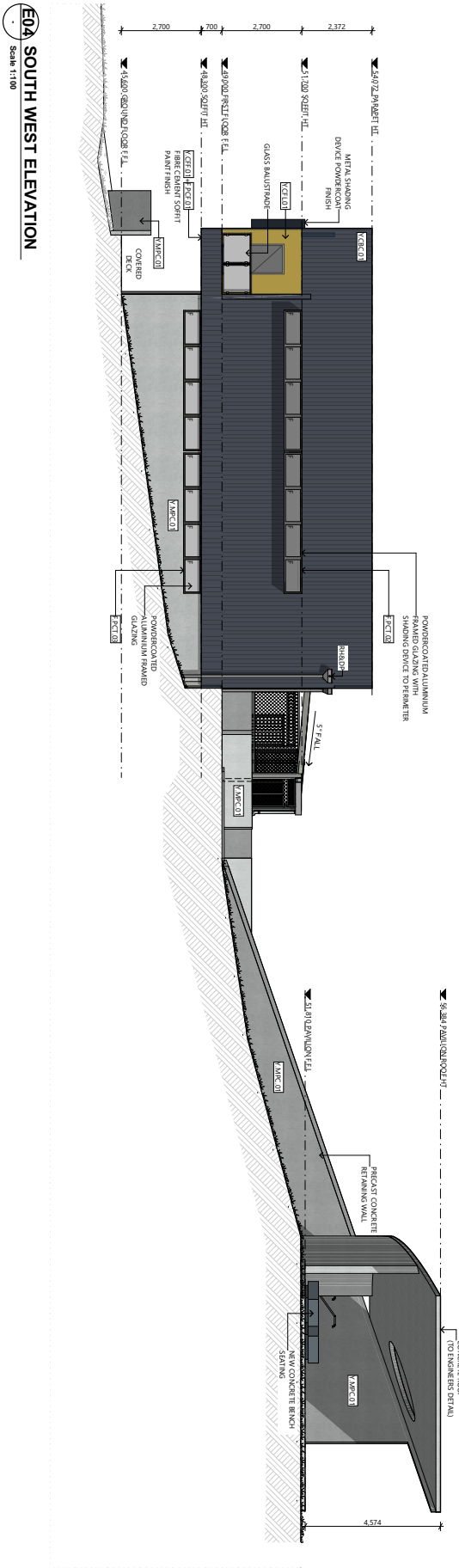
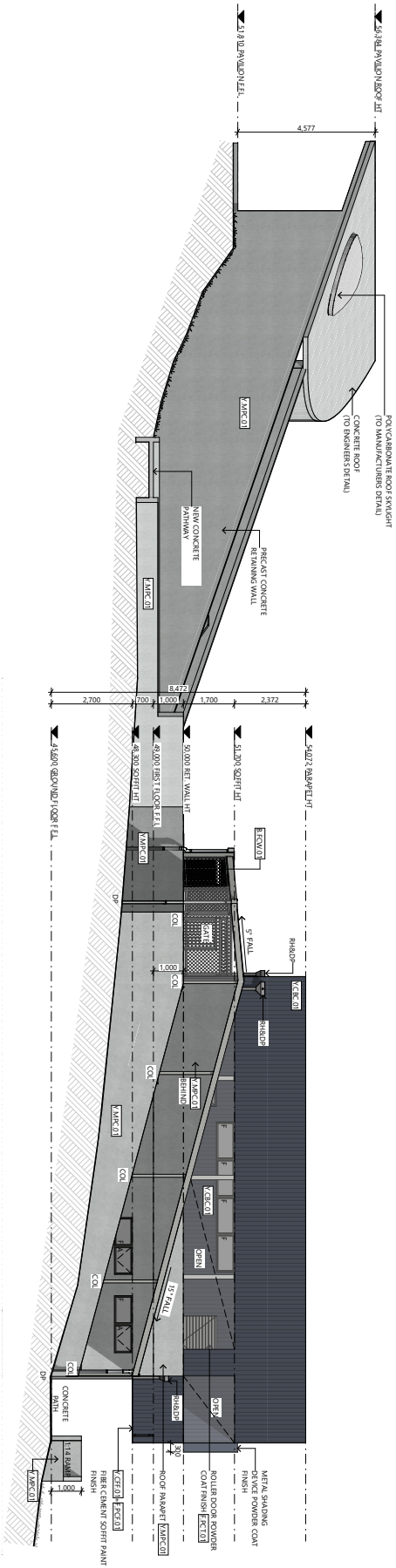
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**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
PLN-23-065
APPLICATION No
16/03/2023
DATE RECEIVED



NORTH CHIGWELL SPORTS FACILITY

GLENORCHY CITY COUNCIL



ELEVATION LEGEND	
	E01C01 ISLAND BLOCK & WAVING COLOURED BLOCK - R/W/ITER ECO SMOOTH FINISH BLOCKWORK
	E01C02 COLOURED STANDING SEAM CLADDING - DEEP OCEAN FINISH
	E01C03 PRECAST CONCRETE PANEL - NATURAL FINISH
	E01C04 FIBRE CEMENT SHEET - DUNE DOLUX BLIZZ PAINT FINISH
	E01C05 STRAINT SHEETROCK ROOF SHEETING - SHALE GREY FINISH
	E01C06 COLOURED CUSTOM PROFILE ROOF SHEETING - SHALE GREY FINISH
	E01C07 COLOURED CUSTOM PROFILE ROOF SHEETING - SHALE GREY FINISH
	E01C08 DOOR & WINDOW LEAF / FRAME - SHALE GREY POWDERCOAT FINISH
	E01C09 DOOR & WINDOW LEAF / FRAME - DEEP OCEAN POWDERCOAT FINISH
	E01C10 DOOR & WINDOW LEAF / FRAME - WOODLAND GREY POWDERCOAT FINISH
	E01C11 CHANNELISH BARRIER FENCING - PAINT FINISH
	F. ROAD
	A. AVENUE
	S. SLOPING

R E V I S I O N	
No.	Description
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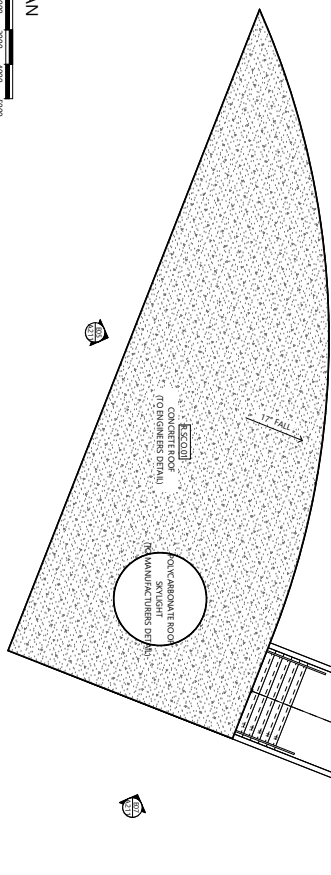
GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No PLN23-065
16/03/2023
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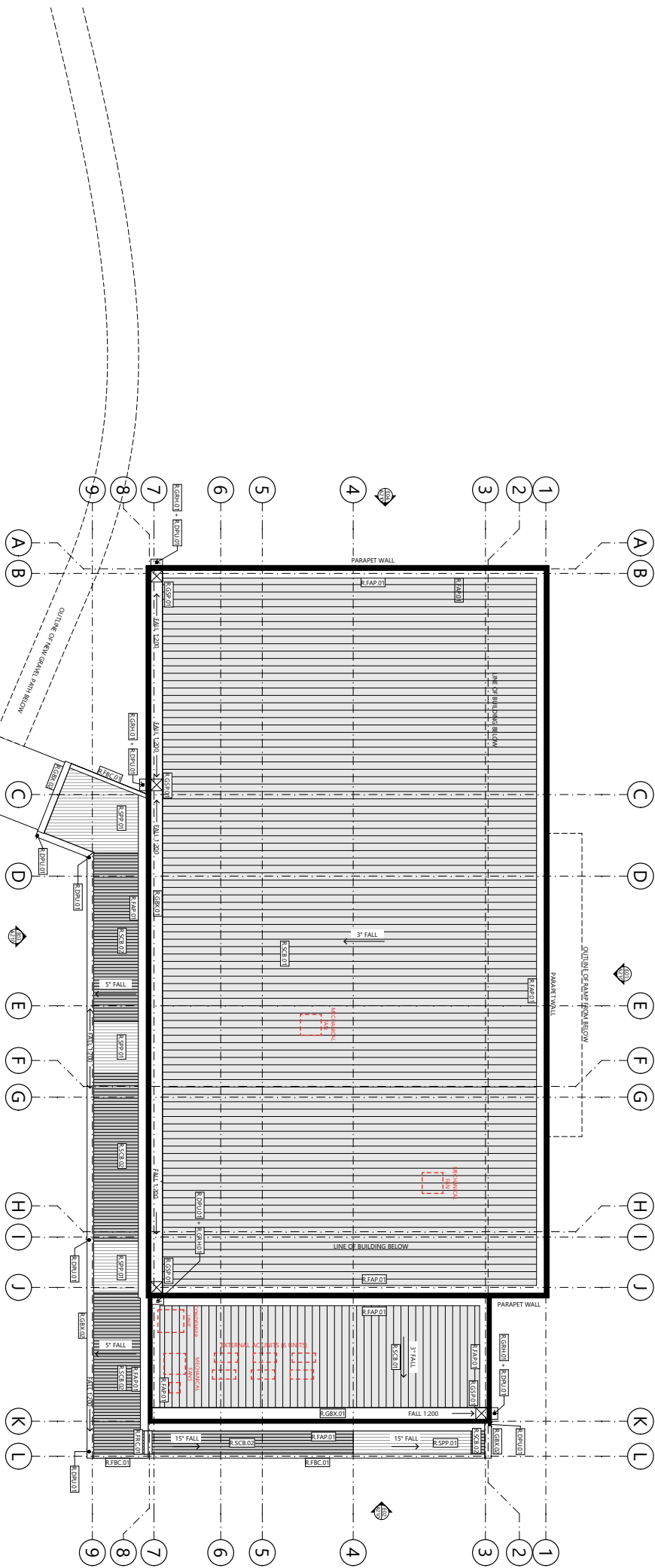
**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. PLN-23-065

DATE RECEIVED 13/04/2023



ROOF MATERIALS LISTED			
ID	ITEM DESCRIPTION	SUPPLIER	RANK
R00101	DOWNPIPE	N/A	--
R00102	DOWNPIPE	96cm DIA UPVC DOWNPIPE TO MATCH ROOF AND WALL COLOURS	COLOMBIAN SHALE GAVN
R00103	ARSON FLASHING	USDAOT	COLOMBIAN SHALE GAVN
R00104	BARGE CARPING FLASHING	USDAOT	COLOMBIAN SHALE GAVN
R00105	ROOF CARPING FLASHING	USDAOT	COLOMBIAN SHALE GAVN
R00106	ROOF CARPING FLASHING	USDAOT	COLOMBIAN SHALE GAVN
R00107	ROOF GUTTER	USDAOT	--
R00108	ROOF GUTTER	USDAOT	--
R00109	ROOF GUTTER	USDAOT	--
R00110	ROOF GUTTER	USDAOT	--
R00111	ROOF GUTTER	USDAOT	--
R00112	ROOF GUTTER	USDAOT	--
R00113	ROOF GUTTER	USDAOT	--
R00114	ROOF GUTTER	USDAOT	--
R00115	ROOF GUTTER	USDAOT	--
R00116	ROOF GUTTER	USDAOT	--
R00117	ROOF GUTTER	USDAOT	--
R00118	ROOF GUTTER	USDAOT	--
R00119	ROOF GUTTER	USDAOT	--
R00120	ROOF GUTTER	USDAOT	--
R00121	ROOF GUTTER	USDAOT	--
R00122	ROOF GUTTER	USDAOT	--
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R00197	ROOF GUTTER	USDAOT	--
R00198	ROOF GUTTER	USDAOT	--
R00199	ROOF GUTTER	USDAOT	--
R00200	ROOF GUTTER	USDAOT	--

[illegible][illegible]

ROOF PLAN NOTES

METAL SHEET ROOFING TO COMPLY WITH PART 3.5.1.3 OF THE BCA WHEREVER POSSIBLE HAVE THE SHEETS LAID SO THAT THE SIDE LAP IS FACING AWAY FROM PREVAILING WEATHER.

3.00x1.50x2mm GAUGE GALVANIZED SAFETY MESH TO BE INSTALLED UNDER ALL METAL ROOF SHEETING IN ACCORDANCE WITH AS/NZS 3893.

SAGGING / ROOF PLANKS SHALL BE CONTINUOUS OVER RIPS AND JOISTS. JOISTS SHALL BE SPACED AT 16" ON CENTER. JOISTS SHALL BE POLYMER OR IRON CAST. VALLEY CLOSURES, SHEETS MUST BE Laid OVER PLYWOOD AND USING COMPLETE LENGTHS FROM EDGES TO EDGES, ANY SHEET JOINTS MUST BE LAPPED 300mm MIN. AND SEALED WITH EASYFLEX STAINLESS. INSTALL STRICTLY TO COMPLY WITH MANUFACTURERS RECOMMENDATIONS.

SHEET METAL ROOF FLASHINGS, CAPNINGS AND RESTRAINTS ARE TO COMPLY WITH PART 5.3.1, 5.3.2 AND 5.3.3 OF THE C.A.A. ALL DOWNPOUTS TO BE LOCATED WITH APPROVED SOLVENT AND PRIMER PAYS SHALL BE PAINTED AS SHOWN ON THE ELEVATIONS. REFER TO ENGINEERS DETAILS FOR ROOF FLASHING DETAILS.

ALL FLASHINGS SHALL BE COLORBOND FINISHED TO MATCH ROOF SHEETING IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR SHALL FLASH EDGE OF TRANSVERSE FLASHINGS TO FIT SHEET PROFILE. TRANSVERSE FLASHINGS SHALL HAVE A WIDTH OF 200mm MINIMUM. TYPICALLY ACROSS THE BUILDING WITH A PROTECTORY FOAM PROTECTOR CLOSURE STRIP INSTALLED UNDER.

LONGITUDINAL FLASHINGS SHALL BE INSTALLED WITH A 200mm MIN WIDTH TO SUIT THE NEAREST ROOF SHEET PANAVALLEY. ALL FLASHINGS SHALL BE FIXED TO MANUFACTURERS RECOMMENDATIONS.

ALL JOINT DOWNPIPES TO BE JOINED WITH APPROVED SOLVANT AND PRIMER. GALVANIZED DOWNPIPES SHALL BE INSTALLED AND SEALED TO ENGINEERS DETAILS

REFER TO ENGINEERS DETAILS FOR ROOF FRAMING.

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

PLN-23-065

APPLICATION NO

DATE RECEIVED 27/06/2023

ARTAS
ARCHITECTS

PROJECT NAME
NORTH CHIGWELL
SPORTS FACILITY
CLIENT NAME
GLENORCHY CITY COUNCIL

DRAWING NAME
ROOF PLAN

DRAWN	APPROVED	SHEET SIZE
RT	IC	A1 (LANDSCAP)
DRAWING ISSUE	DRAWING NUMBER	
APPROVAL		A190-DA02
PROJECT NUMBER:		
224005		



GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION NO PLN23/008
DATE RECEIVED 02/08/2023

FOR APPROVAL

DA	ISSUED FOR DEVELOPMENT APPROVAL	01/08/2023	JM
ISSUE	REVISION	DATE	BY

CES Coordinated Engineering Services
Ground Floor, 73 Paterson Street, Lismore, TAS 7250
03 6338 9974 info@coordinatedeng.com.au ABN: 79 651 045 715

NORTH CHIGWELL SPORTS FACILITY

131A ALLUNGA ROAD, CHIGWELL, TAS 7011
for GLENORCHY CITY COUNCIL

DRAWING TITLE:
SITE HYDRAULIC SERVICES

Issue Legend: P - Preliminary T - Tender C - Construction A - Amendment	PROJECT & SHEET NO:	ISSUE:	SET OFF:
Drawn: JM	226079-C05 DA	9	
Authorised: SS			
Proj Date: 01/08/2023			
Scale: 1:500			
DWG No: 126112			



Our ref: PLN-23-065
Enquiries: Sylvia Jeffreys
Direct phone: (03) 6216 6800
Email: gccmail@gcc.tas.gov.au

19 September 2023

Artas Architects Hobart
1/136 Davey Street
Hobart TAS 7000

Email: tim@artas.com.au

Dear Sir/Madam

GENERAL MANAGER'S CONSENT – S.14 URBAN DRAINAGE ACT 2013

I refer to the proposed Demolition, sports clubrooms and associated works (Sports and Recreation) at 131A Allunga Road Chigwell for which a planning permit (the "Related Planning Permit") has been granted by the Planning Authority. The Related Planning Permit for this consent is PLN-23-065.

It is advised that the consent of the General Manager to interfere with the public stormwater system for the use/development approved by the Related Planning Permit has been granted by Council pursuant to Section 14(1) of the *Urban Drainage Act 2013*.

This consent is subject to the compliance with the conditions set out in Attachment 1. You must comply with the conditions of this consent.

Advice relevant to this consent is provided in Attachment 2. Please take time to read and consider the advice before commencing works.

Yours sincerely

A handwritten signature in black ink, appearing to read "Bree Narksut", is shown within a light blue rectangular border.

Bree Narksut
Development Engineer

374 Main Road, Glenorchy
PO Box 103, Glenorchy TAS 7010
(03) 6216 6800 | gccmail@gcc.tas.gov.au
www.gcc.tas.gov.au

**Attachment 1 – Conditions of General Manager’s Consent**

1. The stormwater works must be substantially in accordance with the approved drawings, except as otherwise required as a condition of the General Manager’s Consent.
2. No stormwater works are to commence until the Related Planning Permit has force and effect. (Please refer to Advice in Attachment 2.)
3. This consent remains valid while the Related Planning Permit continues to have force and effect. If the Related Planning Permit lapses pursuant to Section 53(5) of the *Land Use Planning and Approvals Act 1993*, this consent also lapses.
4. All internal hydraulic service works required for the development must be at the Developer’s expense and must comply with the requirements of Council’s Plumbing Surveyor. Any alterations or works to the public stormwater system must be undertaken by Council at the developer’s cost.
5. The property owner is to ensure that Council’s Road Assets and Infrastructure are protected during the construction of the stormwater works. The owner is to ensure that damage to road assets, footpaths, kerb and channel, drainage pits, nature strips and other services is kept to a minimum and any damaged assets are reinstated. Should damages occur, the repair costs associated with such damages are the responsibility of the property owner.
6. If reinstatement works are not undertaken promptly or to Council’s satisfaction, Council may elect to reinstate or rectify any defects and recover the expenses reasonably incurred in doing so from the property owner.
7. The WSUD elements must be installed and completed prior to a Certificate of Occupancy being issued for any of the dwellings.
8. In association with a Building Application, a WSUD Maintenance Scheme must be submitted for approval, to the satisfaction of Council’s Senior Civil Engineer, defining the maintenance method and frequency for each WSUD element incorporated in the development. The Owner and all successors in title must ensure ongoing compliance with the approved WSUD Maintenance Scheme for the duration of the approved use. Council must first approve any changes to the approved WSUD Maintenance Scheme.



Attachment 2 – Advice

Related Planning Permit

Please ensure you have obtained a copy of the Related Planning Permit before undertaking stormwater works. In addition to complying with the conditions of this consent, all stormwater works must be undertaken in a manner that is consistent with the approved plans and conditions of the Related Planning Permit for the use/development.

Planning permits for which representations were received do not have force and effect until 14 days after notice is served on the representors. Planning permits may also be subject of an appeal by the applicant or representors to the Resource Management and Planning Appeals Tribunal (RMPAT). Where an appeal is lodged the permit does not have force and effect until the appeal is determined or abandoned. To confirm whether the Related Planning Permit has force and effect, please contact Council's Planning Section on (03) 6216 6800.

Other Permits

Please be aware that this consent is for stormwater works and has been issued under the *Urban Drainage Act 2013*. You should consult with an accredited Building Surveyor prior to commencing work to ensure all relevant requirements of the Building Act 2016 are complied with. In addition to this consent, a building permit and/or plumbing permit may also be required. If further clarification is required, please contact Council's Building Section on (03) 6216 6800.

Other Services

The designer must ensure that the needs of all providers including TasWater, TasGas, TasNetworks, and Telstra are catered for both in the construction of the stormwater works. Underground service providers should be contacted for line marking of their services and any requirements or conditions they may have prior to commencing any works on site. Phone 1100, Dial Before You Dig or visit www.dialbeforeyoudig.com.au for information on the location of underground services and cables in relation to the proposed development prior to commencing any works on site.



Submission to Planning Authority Notice

Council Planning Permit No.	PLN-23-065	Council notice date	5/04/2023
TasWater details			
TasWater Reference No.	TWDA 2023/00431-GCC	Date of response	19/09/2023
TasWater Contact	Elio Ross	Phone No.	0467 874 330
Response issued to			
Council name	GLENORCHY CITY COUNCIL		
Contact details	gccmail@gcc.tas.gov.au		
Development details			
Address	131a ALLUNGA RD, CHIGWELL	Property ID (PID)	3312253
Description of development	Construction of new two storey clubroom and additional viewing pavillion		
Schedule of drawings/documents			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
CES	CES216112-C1-01 (Memo)	--	31/07/2023
CES	226079-C05	DA	01/08/2023
ARTAS Architects	224005	--	--
	A000 to A002, A120, A121	DA01	27/02/2023
	A003	DA01	12/04/2023
Conditions			
Pursuant to the <i>Water and Sewerage Industry Act 2008</i> (TAS) Section 56P(1) TasWater imposes the following conditions on the permit for this application: CONNECTIONS, METERING & BACKFLOW 1. A suitably sized water supply with metered connections and sewerage system and connections to the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit. Advice: TasWater will not accept direct fire boosting from the network. To this end break tanks may be required with the rate of flow into the break tank controlled so that peak flows to fill the tank do not also cause negative effect on the network. Prior to the detailed design please contact TasWater to obtain modelling advice on the available flow and pressures at the point of connection. 2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost. 3. Prior to commencing construction or use of the development, any water connection utilised for construction/the development must have a backflow prevention device and water meter installed, to the satisfaction of TasWater.			



TRADE WASTE

4. Prior to the commencement of operation the developer/property owner must obtain Consent to discharge Trade Waste from TasWater.
5. The developer must install appropriately sized and suitable pre-treatment devices prior to gaining Consent to discharge.
6. The Developer/property owner must comply with all TasWater conditions prescribed in the Trade Waste Consent.

DEVELOPMENT ASSESSMENT FEES

7. The applicant or landowner as the case may be, must pay a development assessment fee of \$749.17, to TasWater, as approved by the Economic Regulator and the fee will be indexed, until the date paid to TasWater.

The payment is required within 30 days of the issue of an invoice by TasWater.

Advice

Trade Waste

Prior to any Building and/or Plumbing work being undertaken, the applicant will need to apply to TasWater for a Certificate for Certifiable Work (Building and/or Plumbing). The Certificate for Certifiable Work (Building and/or Plumbing) must accompany all documentation submitted to Council.

Documentation must include a floor and site plan with:

- Location of all pre-treatment devices i.e. grease arrestor;
- Schematic drawings and specification (including the size and type) of any proposed pre-treatment device and drainage design; and
- Location of an accessible sampling point in accordance with the TasWater Trade Waste Flow Meter and Sampling Specifications for sampling discharge.
- Details of the proposed use of the premises, including the types of food that will be prepared.

At the time of submitting the Certificate for Certifiable Work (Building and/or Plumbing) a Trade Waste Application form is also required.

If the nature of the business changes or the business is sold, TasWater is required to be informed in order to review the pre-treatment assessment.

The application forms are available at <http://www.taswater.com.au/Customers/Liquid-Trade-waste/Commercial>



General

For information on TasWater development standards, please visit <https://www.taswater.com.au/building-and-development/technical-standards>

For application forms please visit <https://www.taswater.com.au/building-and-development/development-application-form>

Water Submetering

As of July 1 2022, TasWater's Sub-Metering Policy no longer permits TasWater sub-meters to be installed for new developments. Please ensure plans submitted with the application for Certificate(s) for Certifiable Work (Building and/or Plumbing) reflect this. For clarity, TasWater does not object to private sub-metering arrangements. Further information is available on our website (www.taswater.com.au) within our Sub-Metering Policy and Water Metering Guidelines.

Service Locations

Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.

- (a) A permit is required to work within TasWater's easements or in the vicinity of its infrastructure.
Further information can be obtained from TasWater.
- (b) TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit <https://www.taswater.com.au/building-and-development/service-locations> for a list of companies.
- (c) Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.

NOTE: In accordance with the WATER AND SEWERAGE INDUSTRY ACT 2008 - SECT 56ZB A regulated entity may charge a person for the reasonable cost of –

- (a) a meter; and
- (b) installing a meter.

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au