

GLENORCHY PLANNING AUTHORITY
AGENDA
MONDAY, 7 MARCH 2016



GLENORCHY CITY COUNCIL

- * *The General Manager certifies that the reports contained in this Agenda have been written by qualified persons under Section 65 of the Local Government Act 1993.*
- * Aldermen with an interest or concern in relation to a particular item on this Agenda, are invited to attend the meeting.
- * All application information is available to Aldermen for inspection upon request to the relevant Planning Officer.

Chairperson: Alderman K. Johnston

Hour: 3.00 p.m.

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1. PLANNING AUTHORITY DECLARATION

The Chairperson stated that the Glenorchy Planning Authority intended to act as a Planning Authority under the Land Use Planning and Approvals Act 1993.

2. APOLOGIES/LEAVE OF ABSENCE

3. PECUNIARY INTERESTS

4. CONFIRMATION OF MINUTES

That the minutes of the Glenorchy Planning Authority Meeting held on 22 February 2016 be confirmed.

5. PROPOSED USE AND DEVELOPMENT - NEW BRIDGE - 3A AUSTINS FERRY ROAD, AUSTINS FERRY

Author: Planning Officer (Sylvia Jeffreys)

Qualified Person: Planning Officer (Sylvia Jeffreys)

Property ID: 5328144

REPORT SUMMARY:

<i>Application No.:</i>	PLN-16-019
<i>Applicant:</i>	Glenorchy City Council and Tas Span
<i>Owner:</i>	Glenorchy City Council
<i>Zone:</i>	Recreation, Open Space, Environmental Management
<i>Use Class</i>	Utilities
<i>Application Status:</i>	Discretionary
<i>Discretions:</i>	18.3.5 A1 Discretionary Use E10.0 Biodiversity Code: 10.7.1 A1 E11.0 Waterway Protection: E11.7.1 A1 E15.0 Inundation Prone Areas Code: E15.7.5 A3
	(The proposal meets all other applicable standards as demonstrated in the attached appendices)
<i>Level 2 Activity?</i>	No
<i>42 Days Expires:</i>	10 Mar 2016
<i>Existing Land Use:</i>	Sports and Recreation (Shoobridge Park)
<i>Proposal In Brief:</i>	New bridge
<i>Representations:</i>	0
<i>Recommendation:</i>	Approval, subject to conditions

REPORT IN DETAIL:

PROPOSAL

The application proposes a replacement bridge over Roseneath Rivulet at Shooobridge Park in Austins Ferry, which is a Council reserve. The proposed bridge would be located approximately 10m upstream from an existing bridge. The front elevation of the proposed bridge is shown in Figure 1 below.

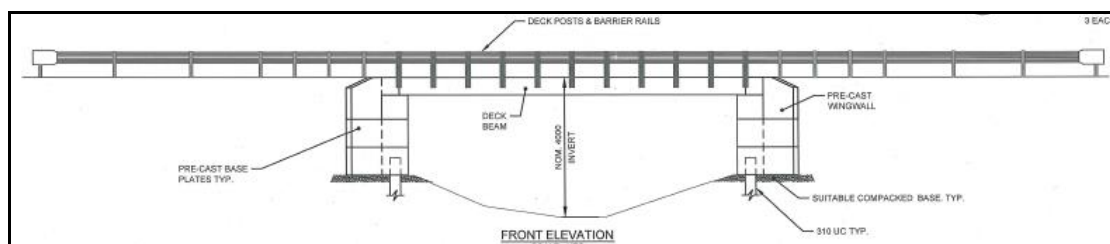


Figure 1: Proposal Plan - TasSpan

The new bridge would have a deck length of 11m and a traffic lane width of 4.2m. There would also be a separate pedestrian walkway adjacent to the traffic lane with a width of 1.2m. The proposed bridge would rest on precast concrete abutments. The proposal necessitates vegetation removal on each embankment. The existing bridge is to be demolished.

SITE and LOCALITY

The subject site comprises two properties with the same address at 3A Austins Ferry Road, Austins Ferry. The properties lie between the railway corridor and the River Derwent. Both properties contain a Council reserve. One property contains Weston Park and is described in title CT241149/1 and the other is Shooobridge Park described in title CT96023/10. Roseneath Rivulet runs over both properties in the vicinity of the common boundary.



Figure 2: Subject Site - Council Database 2013

The proposed bridge would be fully contained within Shoobridge Park, but access to the bridge site is gained from the road over a driveway through Weston Park. Weston Park is a recreational reserve, whilst Shoobridge Park contains a large sports ground with a perimeter track and a local scouts building with public toilets attached. There is a carpark in front of the scouts building and on the other side of the existing bridge in Weston Park. The new bridge would be connecting to the two parking areas. The proposed bridge would be located approximately 50m upstream from the discharge point of Roseneath rivulet. Both banks of the stream are heavily vegetated in the area of the bridge site.

ZONE

The two properties lie within three zones. The zones are Environmental Management shown in 'teal', Open Space shown in 'green' and Recreation shown in 'lime'. The building site of the bridge would be wholly contained within the Recreation Zone.

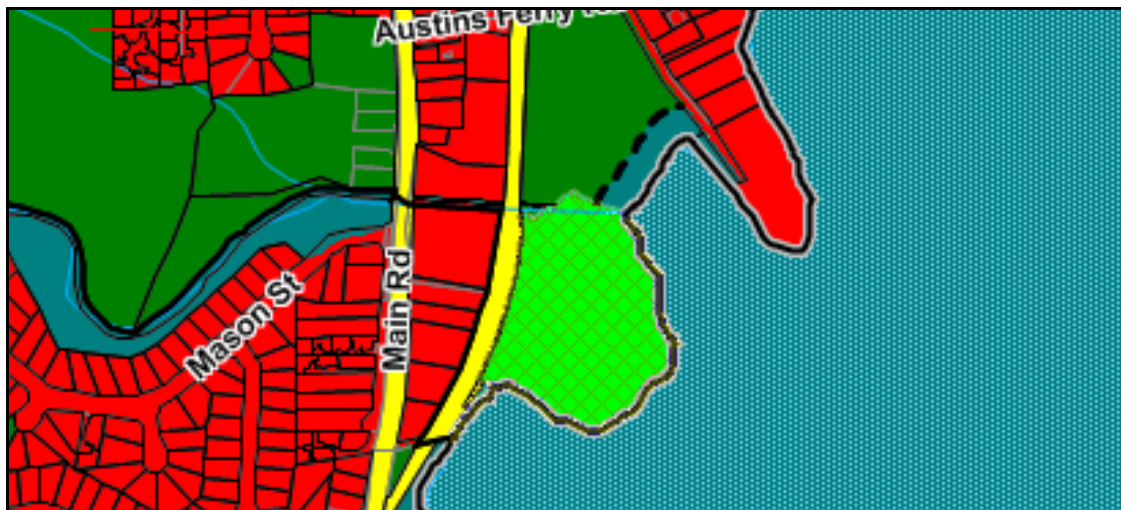


Figure 3: Zoning Map - GIPS 2015

BACKGROUND

There is no background information relevant to the assessment of this application.

ASSESSMENT

STATE POLICIES, OBJECTIVES of LUPAA

There are no inconsistencies with any other State Policies or with the objectives of the Land Use Planning and Approvals Act 1993 (LUPAA).

A condition is recommended requiring appropriate soil and water management to prevent erosion and the transport of sediments into surface waters, consistent with the State Policy on Water Quality Management.

GLENORCHY INTERIM PLANNING SCHEME 2015

Part B: Administration

General Exemptions

Nil.

Limited Exemptions

Nil.

Planning Scheme Operation (Does a SAP or Code override Zone provisions?)

There is no Special Areas Plan applicable. However, the following codes apply:

- E10.0 Biodiversity
- E11.0 Waterway and Coastal Protection Code
- E15.0 Inundation Prone Areas Code

Use Class Description (Table 8.2):

The use is defined Utility in table 8.2 Use Classes as follows:

Use of land for utilities and infrastructure including:

- (a) telecommunications;*
- (b) electricity generation;*
- (c) transmitting or distributing gas, oil, or power;*
- (d) transport networks;*
- (e) collecting, treating, transmitting, storing or distributing water; or*
- (f) collecting, treating, or disposing of storm or floodwater, sewage, or sullage.*

Examples include an electrical sub-station or powerline, gas, water or sewerage main, optic fibre main or distribution hub, pumping station, railway line, retarding basin, road, sewage treatment plant, storm or flood water drain, water storage dam and weir.

Other relevant definitions (Clause 4.1):

Nil.

Part C: Special Provisions

The following special provisions of the Scheme apply to this proposal:

9.4 Demolition

It is proposed to demolish the existing bridge. Subclause 9.4.1 Demolition allows for demolition to be approved as part of another development.

Part D: Zones

The building site is within the **Recreation Zone** and the following Scheme zone purpose statements, use table, use standards and/or development standards apply to this proposal:

Zone Purpose Statement

The zone purpose statement is in 18.1.1 and is as follows:

- To provide for a range of active and organised recreational use or development and complementary uses that do not impact adversely on the recreational use of the land.
- To encourage open space networks that are linked through the provision of walking and cycle trails.

Comment

The proposed bridge provides a link between two recreational spaces and therefore enhances the existing recreational uses on site which accords with the zone purpose.

Use Table

The use is classed Utility which is a 'discretionary' use in Table 18.2 Use Table. Therefore the application is 'discretionary' pursuant to subclause 8.8.1 (a) and (b), owing to the discretionary use and reliance of the proposal on the performance criteria of an applicable standard.

Discretions

18.3.5 A1 Discretionary Use (use must complement recreational use)

E10.0 Biodiversity Code: 10.7.1 A1 Building and Works

E11.0 Waterway Protection: E11.7.1 A1 Building and Works

E15.0 Inundation Prone Areas Code: E15.7.5 A3 Riverine Low Inundation Hazard Area

Use Standards

There is no Acceptable Solution in standard 18.3.5 A1 Discretionary Use so that any proposal must comply with the Performance Criteria in 18.3.5 P1 which is as follows:

Discretionary use must complement and enhance the use of the land for recreational purposes by providing for facilities and services that augment and support Permitted use or No Permit Required use.

Comment

It is considered that the proposed bridge, which is classed Utility, would be essential to give access to Shoobridge Park. The location of the bridge would not interfere with the existing site layout for recreational activities. Therefore, it is considered that the proposal would enhance the existing use of land for recreational purposes, which satisfies the above performance criteria.

Development Standards for Buildings & Works

The proposal accords with all development standards as can be seen in the attached Appendix 1.

Part E: Codes

The mapping system indicates that the following codes of the Scheme might apply:

E6.0 Parking and Access Standards

There is no parking space requirement for Utilities in Table E6.1 Number of Carparking Spaces, which is as follows:

Use Class: Utilities		
Land Use	Rate (spaces)	Car parking measure
Utilities	No requirement	No requirement

E10.0 Biodiversity Code

The subject site lies within the riparian zone of Roseneath Rivulet so that the Biodiversity Code applies as shown in Figure 4 below.

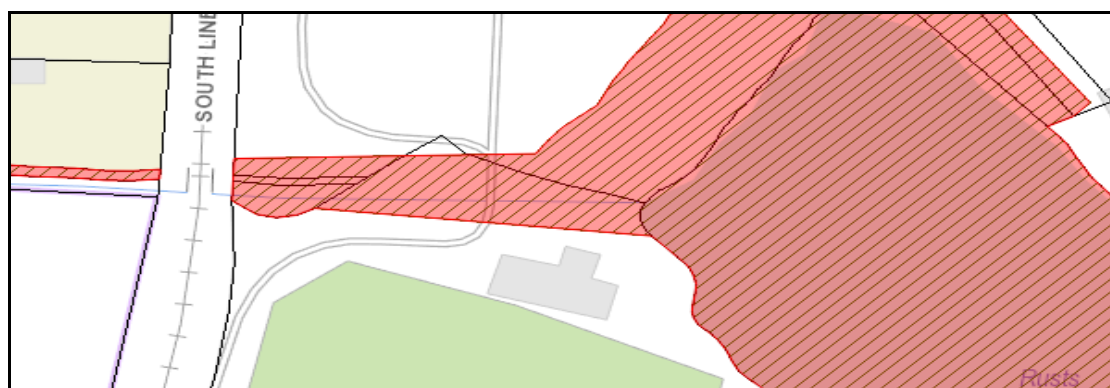


Figure 4: Map E10 Biodiversity Protection Area - LIST Map

The proposal includes vegetation clearance of riparian vegetation for the building site of the bridge in excess of 750m². The vegetation clearance cannot meet the criteria in the acceptable solution as there is no existing building area defined for the land in which vegetation clearance can occur. Therefore, the following performance criteria in E10.7.1 P1 is applicable:

Clearance and conversion or disturbance must satisfy the following:

- (a) *if low priority biodiversity values:*
 - (i) *development is designed and located to minimise impacts, having regard to constraints such as topography or land hazard and the particular requirements of the development;*
 - (ii) *impacts resulting from bushfire hazard management measures are minimised as far as reasonably practicable through siting and fire-resistant design of habitable buildings;*

Comment

The application was referred to Council's Environment section which assessed that the affected vegetation falls within the category of low priority biodiversity values. The bridge is a necessary development and conditions are recommended to minimise any adverse impacts. For further comments please refer to the assessments within the Referrals section later in this report.

E11.0 Waterway and Coastal Protection Code

The subject site includes a Class 1 stream and lies within a Waterway and Coastal Protection Area. The spatial extent of the area is set out in Table E11.1 and includes the waterway itself and a distance of 40m from the top of the bank on either side as shown in Figure 5 below.

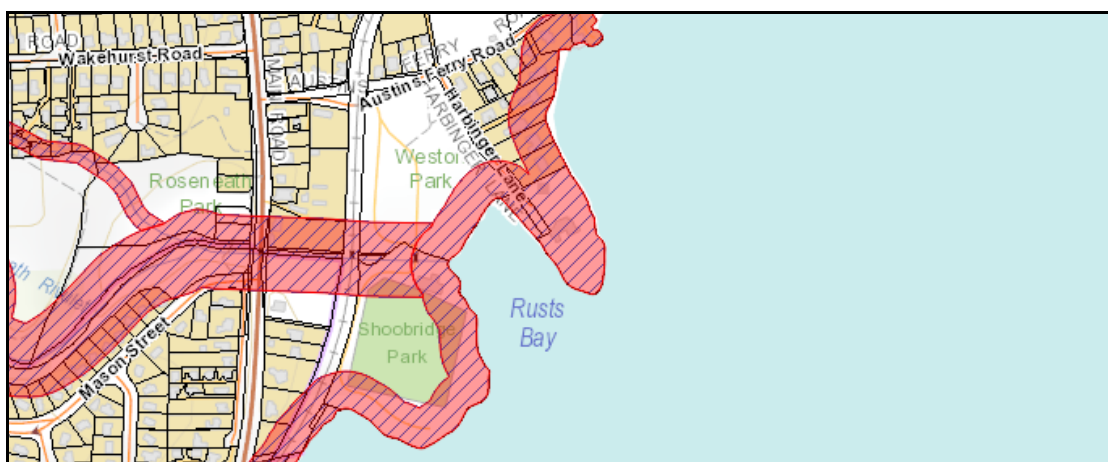


Figure 5: Map E11.1 Waterway and Coastal Protection Area - LIST Map

The proposal cannot meet the acceptable solution in E11.7.1 A1 Buildings and Works as there is no defined building area for the land. Therefore, the proposal relies on the following performance criteria in E11.7.1 P1 Building and Works:

Building and works within a Waterway and Coastal Protection Area must satisfy all of the following:

- (a) *avoid or mitigate impact on natural values;*
- (b) *mitigate and manage adverse erosion, sedimentation and runoff impacts on natural values;*
- (c) *avoid or mitigate impacts on riparian or littoral vegetation;*
- (d) *maintain natural streambank and streambed condition, (where it exists);*
- (e) *maintain in-stream natural habitat, such as fallen logs, bank overhangs, rocks and trailing vegetation;*
- (f) *avoid significantly impeding natural flow and drainage;*
- (g) *maintain fish passage (where applicable);*
- (h) *avoid landfilling of wetlands;*

- (i) *works are undertaken generally in accordance with 'Wetlands and Waterways Works Manual' (DPIWE, 2003) and "Tasmanian Coastal Works Manual" (DPIPWE, Page and Thorp, 2010), and the unnecessary use of machinery within watercourses or wetlands is avoided.*

The above performance criteria is addressed by the requirement for an Environmental Management Plan in accordance with the 'Wetlands and Waterways Works Manual' cited above, as well as a construction management plan. For further comments please refer to the relevant assessments within the Referrals section later in this report.

E13.0 Historic Heritage Code

The mapping system indicates that one of the subject properties is heritage listed. Weston Park contains a heritage listed area along Harbinger Lane that contains a dry stone wall. The building site for the proposed bridge lies outside the defined area as shown in Figure 6 below.

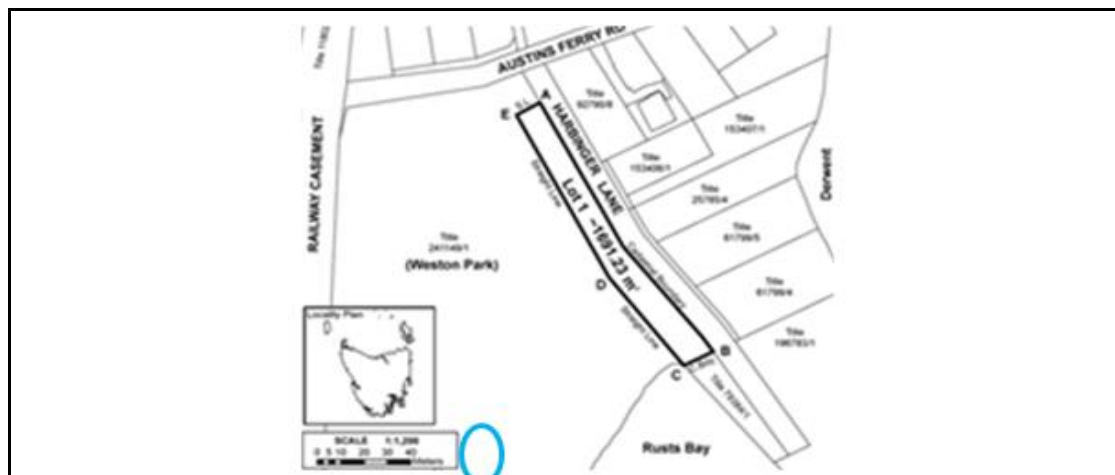


Figure 6: Heritage Places - Figure E13-0142

Given that the building site lies outside the listed area, the historic heritage code does not apply.

E15.0 Inundation Prone Areas Code

The subject site lies within a 'low' Inundation Prone Area. The extent of the area is shown in the overlay in Map E15.1 as shown in Figure 7 below.

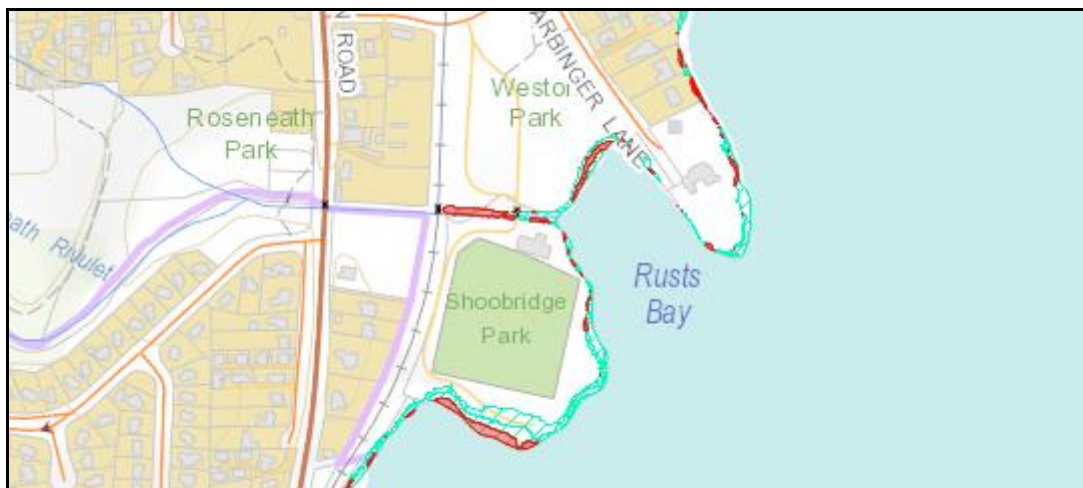


Figure 7: Map E15.1 Costal Inundation Hazard Area - LIST Map

The proposal does not meet the acceptable solution in E15.7.5 A1 Riverine Low Inundation Hazard Area as the structure would have solid precast base plates forming a wall higher than 0.5m. Therefore, the proposal must accord with the performance criteria in E15.7.4 P1 Riverine Inundation Hazard Areas which is as follows:

A non-habitable building, an outbuilding or a Class 10b building under the Building Code of Australia, must satisfy all of the following:

- (a) risk to users of the site, adjoining or nearby land is acceptable;*
- (b) risk to adjoining or nearby property or public infrastructure is acceptable;*
- (c) need for future remediation works is minimised;*
- (d) provision of any developer contribution required pursuant to policy adopted by Council for riverine flooding protection works;*

The application was assessed by Council's Development Engineer who commented that the works would not result in any adverse effects on flood flow. For further details please refer to the Referrals section later in this report.

E16.0 Coastal Erosion Hazard Code

The mapping system indicates that the Coastal Erosion Hazards Code is applicable to this property. However, the building site not covered by the overlay as shown in Figure 8 below.

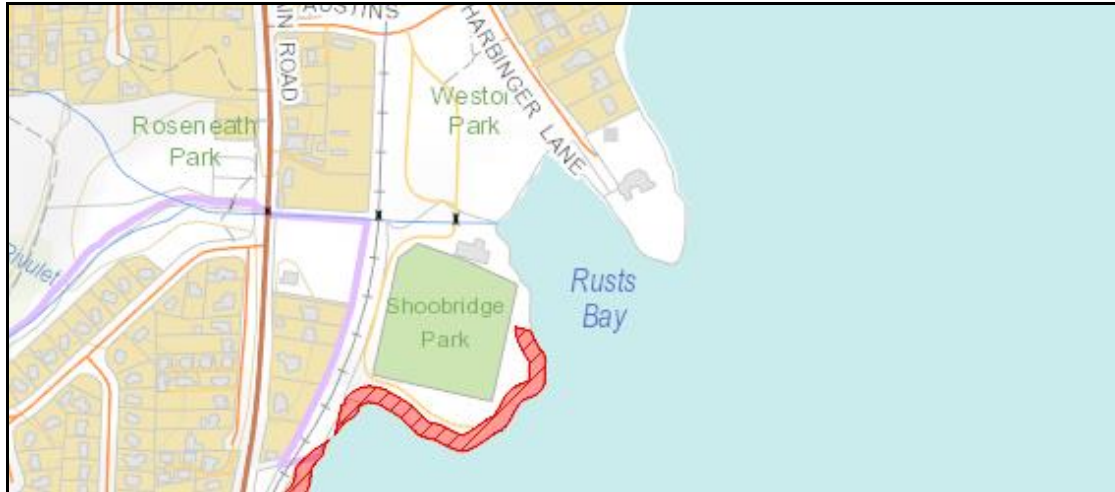


Figure 8: Map E16 Coastal Erosion Hazard Area - LIST Map

Given that the building site lies outside the hazard area, the Coastal Erosion Hazard Area Code does not apply.

E20.0 Acid Sulphate Soils Code

The mapping system indicates that the Acid Sulphate Soils Code applies to the subject property. However, the building site not covered by the overlay as shown in Figure 9 below.



Figure 9: Map E20 Potential Acid Sulphate Soils - LIST Map

Given that the building site lies outside the affected area which encroaches on a small portion of the title, the Acid Sulphate Soils Code is not applicable.

Declared Gas Pipeline Corridor

The proposed building site is in close proximity to a mapped area showing the declared Gas Pipeline Corridor. The map is not a planning scheme map but forms part of Council's database in the Assets Context of the GIS. Although the Declared Gas Pipeline Corridor is not contained within a planning scheme map, Council must refer any proposed development within the Declared Gas Pipeline Corridor to the pipeline licensee under section 79G of the *Gas Act 2000*.



Figure 10: Declared Gas Pipeline Planning Corridor - existing and new bridge location – Council Database

Given that the site lies just outside the corridor the application was not referred to the Gas Licensee.

PART F: Specific Area Plans

Nil.

INTERNAL REFERRALS

Development Engineer

Traffic, Access & Parking

Access to the site is available from an existing crossover in Austins Ferry Road. There are no Traffic or Parking issues with this application.

GCC Services (Stormwater)

The Water and Coastal Protection Code E11.0 of the Glenorchy Interim Planning Scheme 2015 (GIPS) is applicable to the application. The conditions of approval require the applicant to submit a detailed Environmental Management Plan and a Construction Management Plan for approval by Council's Environment Coordinator prior to commencement of construction. This is required to satisfy the performance criteria P1 (b) and (i) of clause E11.7.1 Buildings and Works to mitigate and manage erosion, sedimentation and runoff impacts on natural values in accordance with the Wetlands and Waterways Works Manual by DPIWE.

The construction of a new bridge will replace an existing bridge that is required to be removed. This satisfies the performance criteria P1 (a –c) of E15.7.5 Riverine Inundation Hazard Areas of GIPS. The works will not result in any adverse effect on flood flow over any other property through displacement of overland flows. This is included as a condition of approval requiring that the water sectional flow area must not be reduced.

Other

Geoscience issues

There are no geotechnical issues identified through Council records that affect this development.

Flooding/Inundation issues

The works are located on Roseneath Rivulet near the outlet to the Derwent River and may be subject to flooding during storm events. There is no flood data available for Roseneath Rivulet.

Environmental Health Officer

Standard waste and liquid management conditions are recommended to be applied as conditions of permit to ensure all waste generated from the demolition of the existing bridge and construction of the new bridge are managed properly.

Conditions for hours of construction and vehicle movements are also recommended to be applied to reduce impacts on surrounding residential premises.

As the construction of the new bridge is largely using precast concrete structures, minimal disruption of the rivulet is expected to occur.

Environment

The area of land where the new bridge is to be constructed has very low value from a biodiversity point of view. The vegetation growing within the creek is likely to have been planted by council around 15 years ago. There are several blackberry plants in the creek which can colonise in bare or disturbed ground. Whilst low value the native vegetation growing in the area does provide a natural buffer and a narrow linear habitat corridor for wildlife. These concerns can all be conditioned and the rehabilitation of the decommissioned bridge will offset any values lost through the new construction clearances.

EXTERNAL REFERRALS

TasWater

Pursuant to the Water and Sewerage Industry Act 2008 (TAS) Section 56P(2)(a) TasWater does not object to the proposed development and no conditions are imposed.

REPRESENTATIONS

The application was advertised for the statutory 14-day period with no representation being received.

CONCLUSION

The application is for a replacement bridge at Shoobridge park, approximately 10m upstream from the existing bridge. The use class for the bridge is Utility, which is a 'discretionary' use within the Recreation Zone. Nevertheless, it is considered that the bridge would be essential for the activities within Shoobridge Park and would not interfere with the layout of existing sports and recreational facilities on site. Therefore, it satisfies the performance criteria of the relevant use standard.

The proposal is also 'discretionary' under the Biodiversity Code, Waterway Protection Code and Inundation Prone Areas Code. The codes are relevant as these overlays apply because of the proposed vegetation removal and in-stream works. Council's Environment Section assessed the affected vegetation as having a low 'priority biodiversity value'. There are conditions recommended to minimise impacts. In terms of flood flow the Development Engineer has commented that the proposal is satisfactory and that there would be no increase of risk. There is a condition recommended in this regard.

The application was advertised for the statutory 14 days. No representations were received.

Overall, the proposal is considered acceptable. The proposal is assessed to substantially comply with the requirements of Schedule 1 of the Land Use Planning and Approvals Act 1993 and the Glenorchy Interim Planning Scheme 2015, subject to the recommended conditions.

Recommendation:

That a permit be granted for the proposed use and development of New bridge at 3A Austins Ferry Road Austins Ferry subject to the following conditions:

Planning

1. Use and development shall be substantially in accordance with planning permit application No. PLN-16-019 and Drawing No. P1 submitted on 28/01/16, except as otherwise required by this permit.
2. Any conditions and/or advice as determined by TasWater, and set out in the attached Appendix A, form part of this permit.

Engineering

3. The loading and unloading of goods, including building materials and equipment, from vehicles must only be carried out on the land.
4. The water sectional flow area under the proposed bridge must not be reduced compared to that of the flow area of the existing bridge.
5. Prior to the commencement of works the applicant must submit a detailed Environmental Management Plan and a detailed Construction Management Plan for approval by Council's Environment Coordinator and Council's Development Engineer.

These plans are required to detail the major potential environmental risks associated with the construction methods and the mitigation procedures to remove or reduce these risks to an acceptable level.

6. The construction works must be undertaken in accordance with the approved Environmental Management Plan and Construction Management Plan.
7. Works must be undertaken in with the 'Wetlands and Waterways Works Manual' by DPIPWE, 2003. The Environmental Management Plan and Construction Management Plan must incorporate the methods of environmental and construction management as detailed in this manual.

Environmental Health

8. The discharge of liquids, other than unpolluted rainwater, to Council's stormwater system, receiving water bodies or water courses is strictly prohibited.
9. Any area where liquid wastes (including spills) are generated must be suitably graded and bunded to direct the liquid waste to sewer.
10. All solid wastes must be managed in accordance with the hierarchy of waste management summarised below, unless otherwise approved in writing by the Senior Environmental Health officer:
 - (a) waste must be minimised, that is, the generation of waste must be reduced to the maximum extent that is reasonable and practicable, having regard to best practice environmental management;
 - (b) waste must be re-used or recycled to the maximum extent that is reasonable and practicable; and
 - (c) any residual waste must be disposed of only at a site and in a manner approved by the Senior Environmental Health Officer.
11. Commercial vehicle movements, (including loading and unloading and garbage removal) to or from a site must be within the hours of:
 - (a) 7.00 am to 9.00 pm Mondays to Fridays inclusive;
 - (b) 8.00 am to 7.00 pm Saturdays;
 - (c) 10.00 am to 6.00pm Sundays and Public Holidays.
12. Equipment and machinery associated with the development of the site must only be operated during the following times:
 - (a) Monday to Friday 7.00am to 6.00pm
 - (b) Saturday 8.00am to 6.00pm
 - (c) Sunday and Public Holidays 10.00am to 6.00pm

Environment

13. Machinery involved in the construction of the bridge must be thoroughly cleaned in order to reduce the spread of weeds prior to entry to and exit from the site.
14. A revegetation plan must be prepared using local native species to guide the rehabilitation of the decommissioned bridge site.
15. All weed species removed must be contained and removed from the site.

APPENDIX**18.0 Recreation Zone**

Standard	Acceptable Solution	Proposed	Complies?
18.3 Use Standards			
18.3.1 Hours of Operation	A1 Hours of operation of a use within 50 m of a residential zone must be within: (a) 7.00 am to 8.00 pm Mondays to Fridays inclusive; (b) 8.00 am to 6.00 pm Saturdays; (c) 10.00 am to 5.00 pm Sundays and Public Holidays; except for office and administrative tasks.	N/A	N/A

18.3.2 Noise	A1 Noise emissions measured at the boundary of a residential zone must not exceed the following: (a) 55dB(A) (LAeq) between the hours of 7.00 am to 7.00 pm; (b) 5dB(A) above the background (LA90) level or 40dB(A) (LAeq), whichever is the lower, between the hours of 7.00 pm and 7.00 am; (c) 65dB(A) (LAmix) at any time. Measurement of noise levels must be in accordance with the methods in the Tasmanian Noise Measurement Procedures Manual, issued by the Director of Environmental Management, including adjustment of noise levels for tonality and impulsiveness. Noise levels are to be averaged over a 15 minute time interval.	N/A	N/A
	A2 External amplified loud speakers or music must not be used within 50 m of a residential zone, except if a school system used for school announcements.	N/A	N/A
18.3.3 External Lighting	A1 External lighting, other than flood lighting of sport and recreation facilities, within 50 m of a residential zone must comply with all of the following: (a) be turned off between 9:00 pm and 6:00 am, except for security lighting;	N/A	N/A

	(b) security lighting must be baffled to ensure they do not cause emission of light outside the zone.		
	A2 Flood lighting of sport and recreation facilities within 200 m of a residential zone must not subject nearby residential lots to obtrusive light, as defined in AS 4282-1997-1.4.7.	N/A	N/A
18.3.4 Commercial and Patron Vehicle Movements	A1 Commercial vehicle movements, (including loading and unloading and garbage removal) to or from a site within 50 m of a residential zone must be within the hours of: (a) 7.00 am to 9.00 pm Mondays to Fridays inclusive; (b) 8.00 am to 7.00 pm Saturdays; (c) 10.00 am to 6.00pm Sundays and Public Holidays.	Condition	Yes
18.3.5 Discretionary Use	A1 No Acceptable Solution	See report – complements and enhances the existing use of the land	Yes
18.4 Development Standards for Buildings and Works			
18.4.1 Building Height	A1 Building height must not be more than: (a) 10m. (b) 15m if in the KGV Sports and Community Precinct and 10m or more from that Precinct boundary other than a boundary with a residential zone.	5m - creek bed to balustrade	Yes

	A2 Building height within 10 m of a residential zone must be no more than 8.5 m.	N/A	N/A
18.4.2 Setback	A1 Building setback from frontage must be no less than: (a) 5m; (b) the alignment of adjoining buildings; whichever is the lesser.	Well in excess	Yes
	A2 Building setback from a residential zone must be no less than: (a) 3 m; (b) half the height of the wall, whichever is the greater.	N/A	N/A
18.4.3 Design	A1 Building design must comply with all of the following: (a) provide the main pedestrian entrance to the building so that it is clearly visible from the road or publicly accessible areas on the site; (b) for new building or alterations to an existing facade provide windows and door openings at ground floor level in the front façade no less than 40% of the surface area of the ground floor level facade;	N/A	N/A

	(c) for new building or alterations to an existing facade ensure any single expanse of blank wall in the ground level front façade and facades facing other public spaces is not greater than 50% of the length of the facade; (d) screen mechanical plant and miscellaneous equipment such as heat pumps, air conditioning units, switchboards, hot water units or similar from view from the street and other public spaces; (e) incorporate roof-top service infrastructure, including service plants and lift structures, within the design of the roof; (f) provide awnings over the public footpath if existing on the site or on adjoining lots; (g) not include security shutters over windows or doors with a frontage to a street or public place		
	A2 Walls of a building facing a residential zone must be coloured using colours with a light reflectance value not greater than 40 percent.	N/A	N/A
18.4.4 Passive Surveillance	A1 Buildings design must complying with all of the following: (a) provide the main pedestrian entrance to the building so that it is clearly visible from the road or publicly accessible areas on the site;	N/A	N/A

	(b) for new buildings or alterations to an existing facade provide windows and door openings at ground floor level in the front façade which amount to no less than 40 % of the surface area of the ground floor level facade; (c) for new buildings or alterations to an existing facade provide windows and door openings at ground floor level in the façade of any wall which faces a public space or a car park which amount to no less than 30% of the surface area of the ground floor level facade; (d) avoid creating entrapment spaces around the building site, such as concealed alcoves near public spaces; (e) provide external lighting to illuminate car parking areas and pathways; (f) provide well-lit public access at the ground floor level from any external car park.		
18.4.5 Landscaping	A1 Landscaping must be provided along the frontage of a site (except where access is provided) unless the building has nil setback to frontage.	N/A	N/A
	A2 Along a boundary with a residential zone landscaping must be provided for a depth no less than: 2 m.	N/A	N/A
18.4.6 Outdoor Storage Areas	A1 Outdoor storage areas for non-residential uses must comply with all of the following:	N/A	N/A

	(a) be located behind the building line; (b) all goods and materials stored must be screened from public view; (c) not encroach upon car parking areas, driveways or landscaped areas.		
18.4.7 Fencing	A1 Fencing must comply with all of the following: (a) fences, walls and gates of greater height than 1.5 m must not be erected within 4.5 m of the frontage; (b) fences along a frontage must be at least 50% transparent above a height of 1.2 m; (c) height of fences along a common boundary with land in a residential zone must be no more than 2.1 m and must not contain barbed wire.	N/A	N/A

APPENDIX

E10 Biodiversity Code

Standard	Acceptable Solution	Proposed	Complies?
E10.7 Development Standards			
E10.7.1 Buildings and Works	A1 Clearance and conversion or disturbance must be within a Building Area on a plan of subdivision approved under this planning scheme.	There is no defined building area	Discretion see report

E15.0 Inundation Prone Areas Code

Standard	Acceptable Solution	Proposed	Complies?
E15.6 Use Standards			
E15.6 Use Standards	A1 Change of use of a non-habitable building to a habitable building or a use involving habitable rooms must comply with all of the following: (a) floor level of habitable rooms is no less than the AHD level for the Coastal Inundation Low Hazard Area in Table E15.1; (b) floor level of habitable rooms is no less than the AHD level for the 1% AEP plus 300mm if in an area subject to riverine flooding.	N/A	N/A
E15.7 Development standards for Buildings and Works			
E15.7.1 Coastal Inundation High Hazard Areas	A1 For a habitable building, including extensions to existing habitable buildings, there is no Acceptable Solution.	N/A	N/A
	A2 For a non-habitable building, an outbuilding or a Class 10b building under the Building Code of Australia, there is no Acceptable Solution.	No Acceptable Solution	Discretion see report

E15.7.2 Coastal Inundation Medium Hazard Areas	A1 For a new habitable building there is no acceptable solution		
	A2 An extension to an existing habitable building must comply with one of the following: (a) new habitable rooms must comply with both of the following: (i) floor level no lower than the Minimum Level for the Coastal Inundation Low Hazard Area in Table E15.1, (ii) floor area of the extension no more than 40 m ² from the date of commencement of this planning scheme; (b) new habitable rooms must be above ground floor	N/A	N/A
	A3 A non-habitable building, an outbuilding or a Class 10b building under the Building Code of Australia, must have a floor area no more than 40 m ² .	N/A	N/A
E15.7.3 Coastal Inundation Low Hazard Areas	A1 A new habitable building must comply with the following: (a) floor level no lower than the Minimum Level for the Coastal Inundation Low Hazard Area in Table E15.1;	N/A	N/A

	A2 An extension to a habitable building must comply with either of the following: (a) floor level of habitable rooms is no lower than the Minimum Level for the Coastal Inundation Low Hazard Area in Table E15.1; (b) floor area is no more than 60 m².	N/A	N/A
	A3 A non-habitable building, an outbuilding or a Class 10b building under the Building Code of Australia, must have a floor area no more than 60 m ² .	N/A	N/A
E15.7.4 Riverine Inundation Hazard Areas	A1 A new habitable building must have a floor level no lower than the 1% AEP (100 yr ARI) storm event plus 300 mm.	N/A	N/A
	A2 An extension to an existing habitable building must comply with one of the following: (a) floor level of habitable rooms is no lower than the 1% AEP (100 yr ARI) storm event plus 300 mm; (b) floor area of the extension no more than 60 m² as at the date of commencement of this planning scheme.		

	A3 The total floor area of all non-habitable buildings, outbuildings and Class 10b buildings under the Building Code of Australia, on a site must be no more than 60 m ² .	N/A	N/A
15.7.5 Riverine, Coastal Investigation Area, Low, Medium, High Inundation Hazard Areas	A1 For landfill, <u>or solid walls greater than 5 m</u> in length and 0.5 m in height, there is no acceptable solution.	No Acceptable Solution Flood Flow	Discretion see report
	A2 No acceptable solution.	N/A	N/A
	A3 A land application area for onsite wastewater management must comply with all of the following: (a) horizontal separation distance from high water mark or from the top of bank of a watercourse or lake must be no less than 100 m; (b) vertical separation distance from the water table must be no less than 1.5 m	N/A	N/A
E15.7.6 Development Dependent on a Coastal Location	A1 An extension to an existing boat ramp, car park, jetty, marina, marine farming shore facility or slipway must be no more than 20% of the size of the facility existing at the effective date.	N/A	N/A
	A2 No acceptable solution	N/A	N/A
	A3 No Acceptable Solution for coastal protection works initiated by the private sector.	N/A	N/A

E11 Waterway and Coastal Protection Code

Standard	Acceptable Solution	Proposed	Complies?
E11.7 Development Standards			
E11.7.1 Buildings and Works	A1 Building and works within a Waterway and Coastal Protection Area must be within a building area on a plan of subdivision approved under this planning scheme.	No Acceptable Solution	Discretion see report
	A2 Building and works within a Future Coastal Refugia Area must be within a building area on a plan of subdivision approved under this planning scheme.	N/A	N/A
	A3 Buildings and works within a Potable Water Supply Area must be within a building area on a plan of subdivision approved under this planning scheme.	N/A	N/A
	A4 Development must involve no new stormwater point discharge into a watercourse, wetland or lake.	N/A	N/A
E11.7.2 Building and Works Dependent on a Coastal Location	A1 An extension to an existing boat ramp, car park, jetty, marina, marine farming shore facility or slipway must be no more than 20% of the size of the facility existing at the effective date.	N/A	N/A
	A2 No Acceptable Solution for dredging and reclamation.	N/A	N/A
	A3 No Acceptable Solution for coastal protection works initiated by the private sector.	N/A	N/A

Attachments/Annexures

- 1 Location Plan - 3A Austins Ferry Road
- 2 Plans - 3A Austins Ferry Road
- 3 TasWater Response - 3A Austins Ferry Road

CLOSED TO MEMBERS OF THE PUBLIC

6. APPEALS REPORT

This item is to be considered at a closed meeting of the Glenorchy Planning Authority by authority of the Local Government (Meeting Procedures) Regulations 2015 Section 15(4).

7. COMPLIANCE REPORT

This item is to be considered at a closed meeting of the Glenorchy Planning Authority by authority of the Local Government (Meeting Procedures) Regulations 2015 Section 15(4).