

**GLENORCHY PLANNING AUTHORITY
ATTACHMENTS
MONDAY, 7 SEPTEMBER 2020**



TABLE OF CONTENTS:

PLANNING

- 5. Proposed Use and Development - Two Multiple Dwellings (One Existing and One New) - 104 Chapel Street Glenorchy**
 - 1: Attachments - 104 Chapel Street 2

- 6. Proposed Use and Development - Addition to Milk Factory (Resource Processing) - 54-56 Gormanston Road Moonah**
 - 1: Attachments - 54-56 Gormanston Road, Moonah..... 25

104 Chapel St, Glenorchy



Document Set ID: 2886684
Version: 1 Version Date: 01/09/2020



IMAGE 01 (EXISTING DWELLING)



IMAGE 02 (EXISTING DWELLING)



IMAGE 03 (EXISTING REAR YARD)



IMAGE 04 (EXISTING REAR YARD)

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

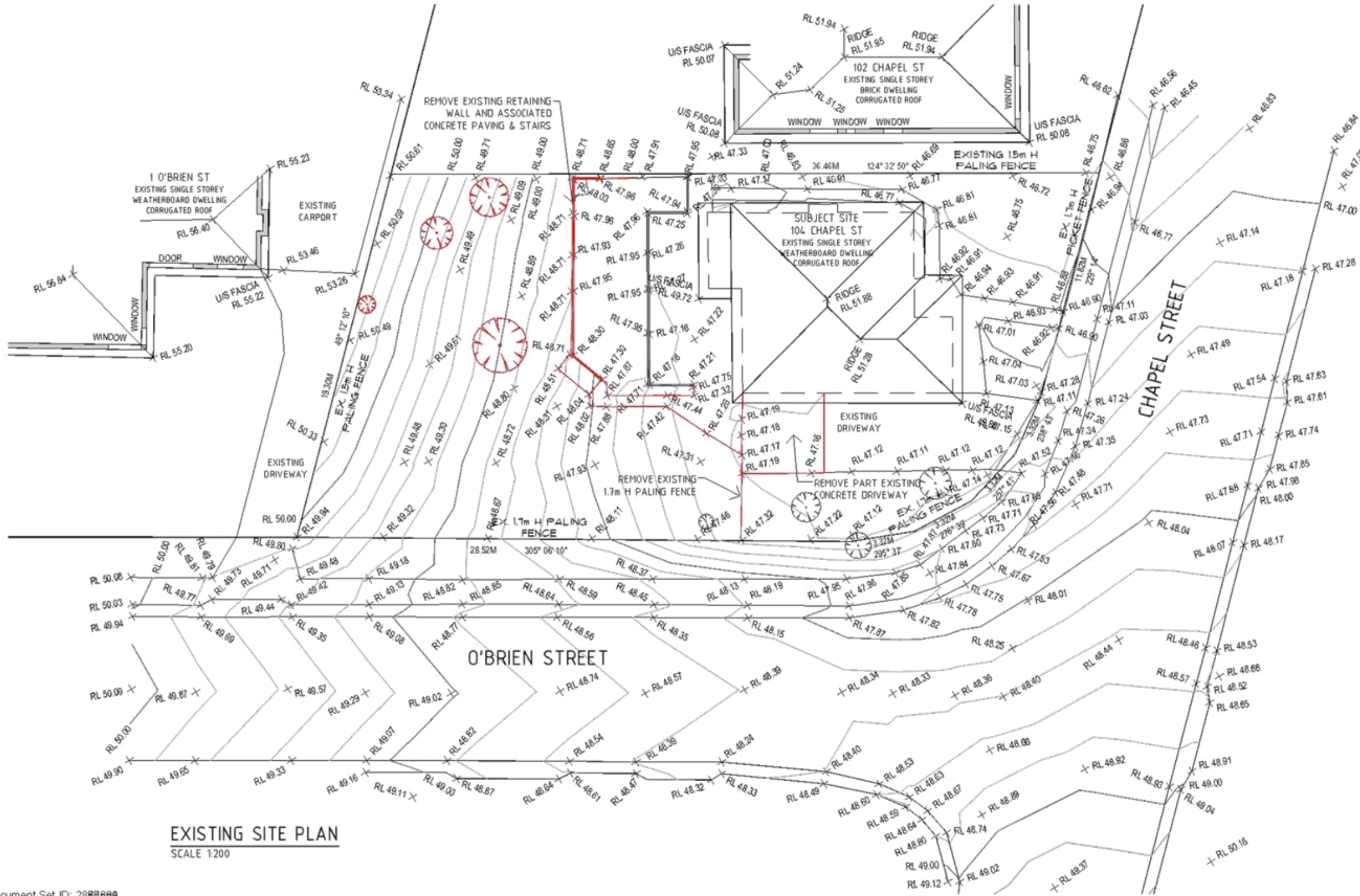
APPLICATION No. PLN-20-159

DATE RECEIVED 20/07/20

Superdraft

ARCHITECTURAL
ENGINEERING
SURVEYING
ENERGY
+ MORE

1300 936 740
info@superdraft.com.au
www.superdraft.com.au



SITE ANALYSIS

EXISTING SITE AREA:	673.9m ²
EXISTING DWELLING AREA:	97.4m ²
TOTAL BUILDING FOOTPRINT:	97.4m ²
TOTAL SITE COVERAGE:	14.5%
EXISTING DRIVEWAY AREA:	58.2m ²
EXISTING PATHWAY AREA:	36.9m ²
EXISTING CONC. P.O.S. AREA:	39.4m ²
TOTAL HARD SURFACE AREA:	134.5m ²
TOTAL BUILDING & HARD SURFACE AREA COVERAGE:	34.4%

NOTE: ALL AREAS ARE CALCULATED TO EXTERNAL WALL FOOTPRINT (EAVES HAVE NOT BEEN INCLUDED IN CALCULATIONS)

ALL FEATURE SURVEY WORKS SUPPLIED BY 'CROMER & PARTNERS'

LEGEND

[Solid Grey Box]	EXISTING DWELLING
[Dashed Line]	STRUCTURE TO BE DEMOLISHED
[Red Circle with X]	EXISTING TREE / SHRUB TO BE REMOVED

DATE	DESCRIPTION	BY
15/07/2020	EXISTING SITE PLAN	CG
15/07/2020	EXISTING SITE PLAN	CG
15/07/2020	EXISTING SITE PLAN	CG
15/07/2020	EXISTING SITE PLAN	CG

PROJECT STAGE
PLANNING APPROVAL

PROJECT DETAILS
NEW DUAL OCCUPANCY
104 CHAPEL STREET
GLENORCHY TAS 7010

CLIENT DETAILS
MATTHEW SIMPKINS

DRAWING TITLE
EXISTING SITE PLAN

DRAWN
CG

DESIGNED
CG

CHECK
CG

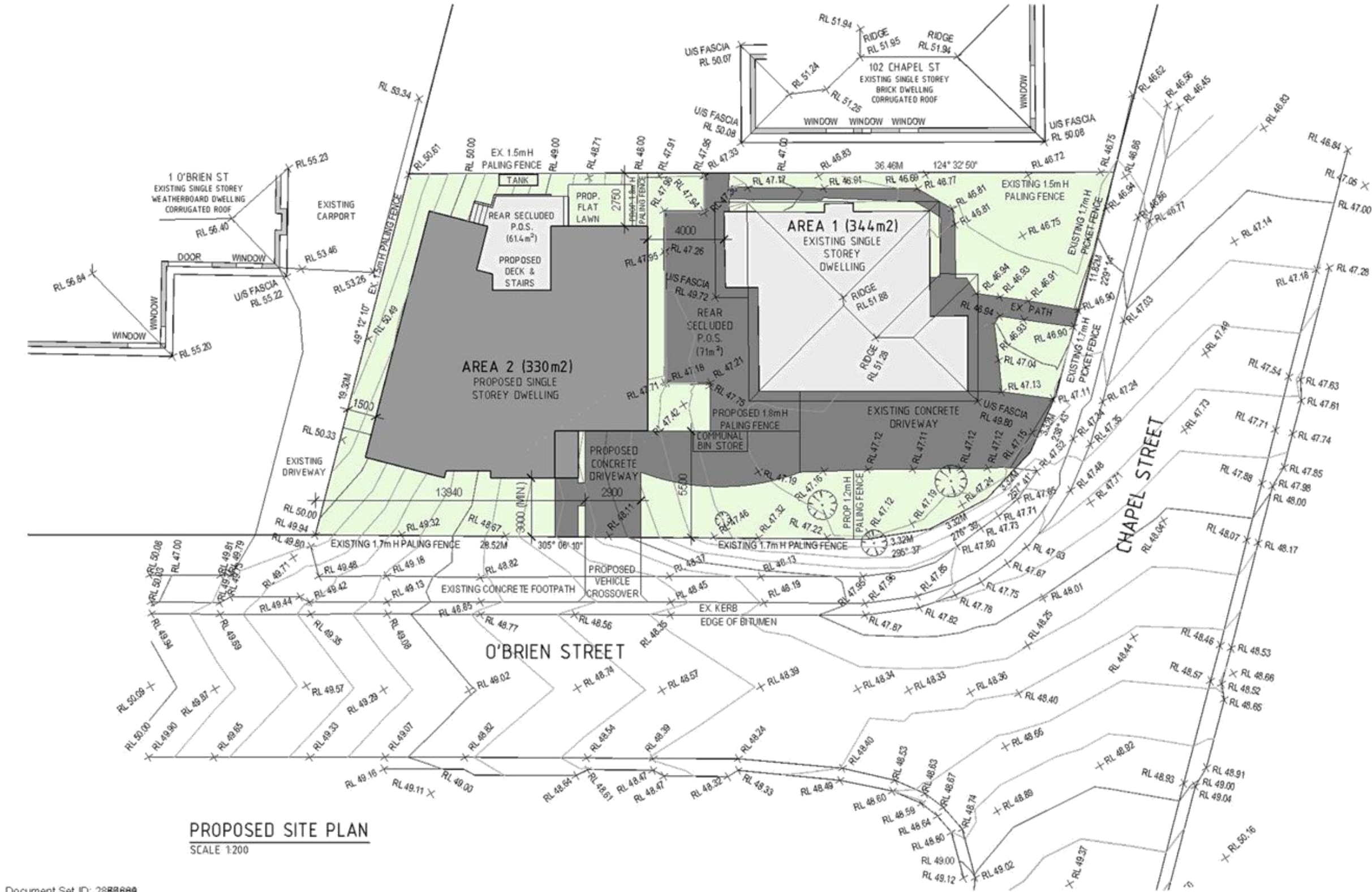
DATE DRAWN
15.07.2020

DRAWING SCALE
1:200

SHEET SIZE
A3

NORTH

PROJECT NUMBER	DRAWING NUMBER	REVISION
SD19-0294	TP.01	04



**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. PLN-20-159

DATE RECEIVED 20/07/20

Superdraft

ARCHITECTURAL
ENGINEERING
SURVEYING
ENERGY
+ MORE

1300 936 740
info@superdraft.com.au
www.superdraft.com.au

SITE ANALYSIS

EXISTING SITE AREA:	673.9m²
EXISTING DWELLING AREA:	97.4m²
PROPOSED DWELLING AREA:	124.4m²
PROPOSED GARAGE AREA:	22.3m²
PROPOSED ENTRY AREA:	2.9m²
TOTAL BUILDING FOOTPRINT:	247.0m²
TOTAL SITE COVERAGE:	36.7%
EXISTING DRIVEWAY AREA:	49.3m²
EXISTING PATHWAY AREA:	25.3m²
EXISTING CONC. P.O.S. AREA:	48.4m²
PROPOSED DRIVEWAY & PATH AREA:	41.4m²
TOTAL HARD SURFACE AREA:	164.4m²
PERVIOUS SURFACES:	262.5m² 39.0%

NOTE: ALL AREAS ARE CALCULATED TO EXTERNAL WALL FOOTPRINT (EAVES LESS THAN 600mm HAVE NOT BEEN INCLUDED IN CALCULATIONS)

SITE AREA ANALYSIS

EXISTING SITE AREA:	673.9m²
AREA 01 - CHAPEL ST FRONTAGE:	343.5m²
AREA 02 - O'BRIEN ST FRONTAGE:	330.4m²

ALL FEATURE SURVEY WORKS SUPPLIED BY 'CROMER & PARTNERS'

LEGEND

[Light Grey Box]	EXISTING DWELLING
[Dark Grey Box]	PROPOSED DWELLING
[Dark Grey Box]	EX/PROP NON-PERMEABLE SURFACES
[Light Green Box]	PROPOSED PERMEABLE AREA

DR	ISSUE DRAWINGS IN A3 AND A4 SIZES TO 100% A3	CD	15/07/2020
ED	1 SET OF A3 AND A4 SIZES IN A3 AND A4 SIZES TO 100% A3	CD	15/07/2020
ED	1 SET OF A3 AND A4 SIZES IN A3 AND A4 SIZES TO 100% A3	CD	15/07/2020
ED	1 SET OF A3 AND A4 SIZES IN A3 AND A4 SIZES TO 100% A3	CD	15/07/2020

PROJECT STAGE
PLANNING APPROVAL

PROJECT DETAILS
NEW DUAL OCCUPANCY
104 CHAPEL STREET
GLENORCHY TAS 7010

CLIENT DETAILS
MATTHEW SIMPKINS

DRAWING TITLE
PROPOSED SITE PLAN

DRAWN
CG

DESIGNED
CG

CHECK
CG

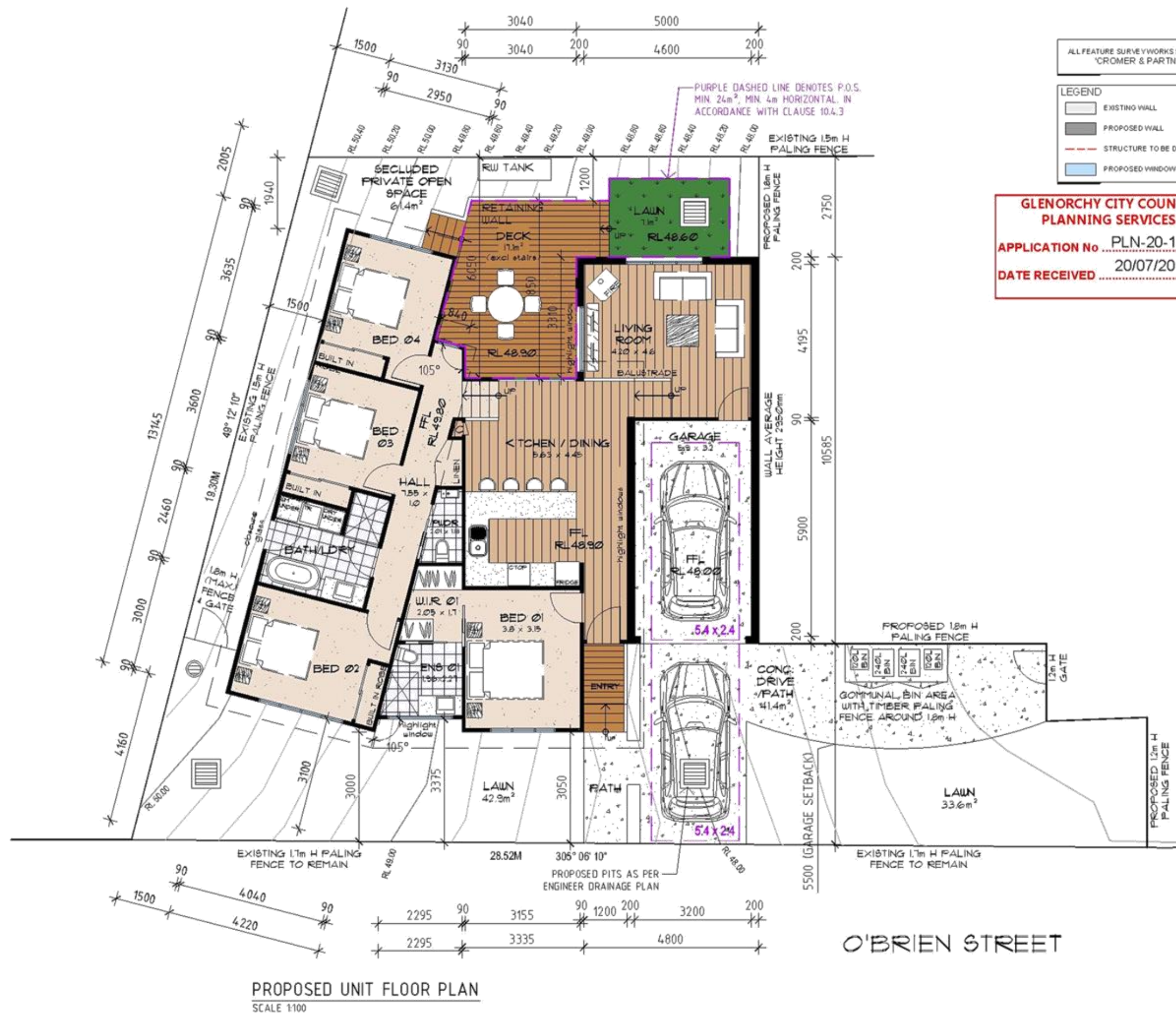
DATE DRAWN
15.07.2020

DRAWING SCALE
1:200

SHEET SIZE
A3

NORTH

PROJECT NUMBER	DRAWING NUMBER	REVISION
SD19-0294	TP.02	04



ALL FEATURE SURVEYWORKS SUPPLIED BY
'CROMER & PARTNERS'

LEGEND

	EXISTING WALL
	PROPOSED WALL
	STRUCTURE TO BE DEMOLISHED
	PROPOSED WINDOW

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No PLN-20-159

DATE RECEIVED 20/07/20

Superdraft 

ARCHITECTURAL
ENGINEERING
SURVEYING
ENERGY
+ MORE

1300 936 740
info@superdraft.com.au
www.superdraft.com.au

SITE INFORMATION	
EXISTING SITE AREA:	673.9m ²
AREA #01 - CHAPEL ST FRONTAGE	
PROPOSED SITE AREA:	343.5m ²
EXISTING DWELLING AREA:	97.4m ²
SITE COVERAGE:	28.4%
PERVIOUS SURFACES:	123.1m ²
- NORTH EAST LAWN	58.3m ²
- EAST LAWN	13.3m ²
- SOUTH EAST LAWN	21.5m ²
- WEST LAWN / GARDEN	22.6m ²
- NORTH GARDEN	7.4m ²
TOTAL % PERVIOUS SURFACES	35.8%
AREA #02 - O'BRIEN ST FRONTAGE	
PROPOSED SITE AREA:	330.4m ²
PROPOSED DWELLING AREA:	148.6m ²
- FLOOR AREA	124.4m ²
- ENTRY	2.9m ²
- GARAGE	22.3m ²
SITE COVERAGE:	45.3%
PERVIOUS SURFACES:	139.4m ²
- NORTH LAWN / GARDEN	17.9m ²
- WEST SIDEWAY	17.9m ²
- SOUTH LAWN	42.9m ²
- SOUTH EAST LAWN	33.6m ²
- DRIVEWAY / GARDEN	1.5m ²
- DECK (pic table)	16.5m ²
- FLAT LAWN	7.1m ²
TOTAL % PERVIOUS SURFACES	42.2%
NOTE ALL AREAS ARE CALCULATED TO EXTERNAL WALL FOOTPRINT (EAVES LESS THAN 600mm HAVE NOT BEEN INCLUDED IN CALCULATIONS)	

04	ISSUE DRAWINGS IN A RESPONSE TO 'OO' RF	CO	15-07-2020
05	FURNISH HANDOVER IN A RESPONSE TO 'OO' RF	CO	08-07-2020
07	RESPOND TO 'GENERAL INQUIRY' RF	CO	06-07-2020
08	PLANNING APPROVAL ISSUES RAINING	CO	21-03-2020
09	ASSIGNMENT STUDY	BY	1-07-20

PROJECT STAGE
PLANNING APPROVAL

PROJECT DETAILS
NEW DUAL OCCUPANCY
104 CHAPEL STREET
GLENORCHY TAS 7010

CLIENT DETAILS

MATTHEW SIMPKINS

DRAWING TITLE

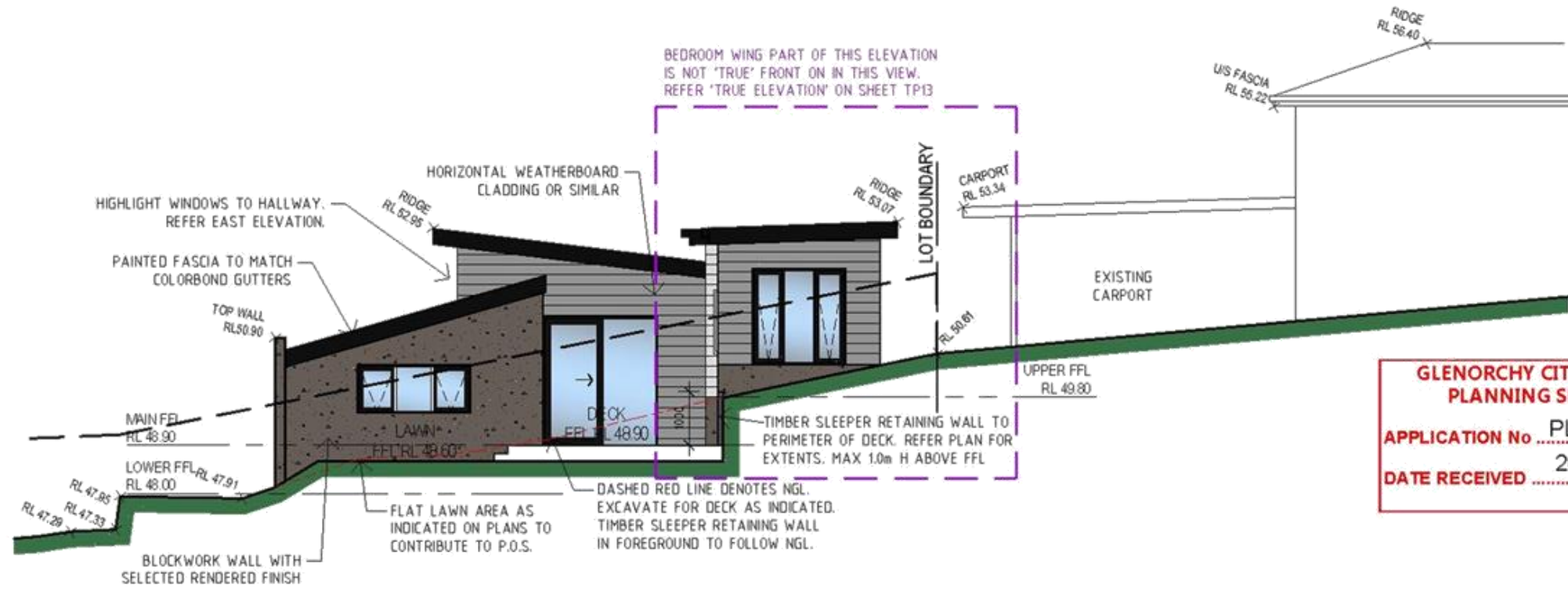
FLOOR PLAN
PROPOSED UNIT

DRAWN
 CG
 DESIGNED
 CG
 CHECK
 CG

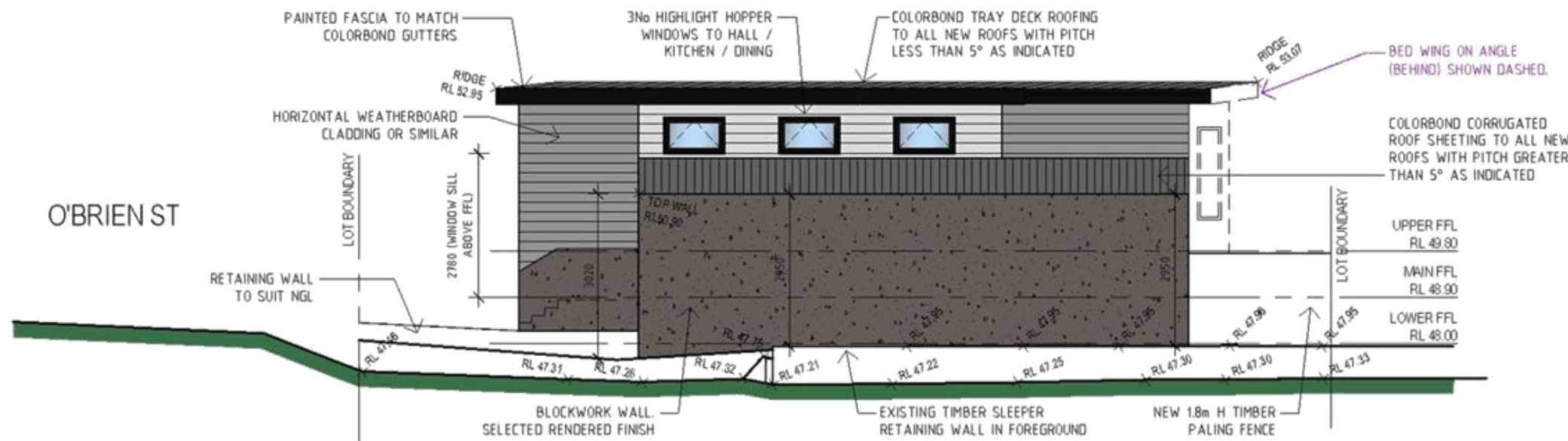

 NORTH

DATE DRAWN	DRAWING SCALE	SHEET SIZE
15.07.2020	1:100	A3

PROJECT NUMBER	DRAWING NUMBER	REVISION
SD19-0294	TP.04	04



PROPOSED UNIT - NORTH ELEVATION
SCALE 1:100



PROPOSED UNIT - EAST ELEVATION
SCALE 1:100

Superdraft
ARCHITECTURAL
ENGINEERING
SURVEYING
ENERGY
+ MORE
1300 936 740
info@superdraft.com.au
www.superdraft.com.au

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No PLN-20-159
DATE RECEIVED 20/07/20

ALL FEATURE SURVEY WORKS SUPPLIED BY
'CROMER & PARTNERS'

COLOURS & FINISHES

- ROOF: COLORBOND 'TBC'
- GUTTER, DOWNPIPE, FASCIA: COLORBOND 'TBC'
- WALL CLADDING: TIMBER WEATHERBOARDS (HORIZONTAL) OR SIMILAR. COLOUR: DULUX 'TBC'
- WALL CLADDING: TIMBER WEATHERBOARDS (HORIZONTAL) OR SIMILAR. COLOUR: DULUX 'TBC'
- WINDOW/DOOR FRAMES: COLORBOND 'TBC'
- TIMBER POSTS & DECKING: CLEAR STAIN
- RENDERED WALL COLOUR: DULUX 'TBC'

DR	DESIGN DRAWINGS IN A3 SIZE 100% A3	CD	15/07/2020
ED	1 SET OF A3 DRAWINGS IN A3 SIZE 100% A3	CD	15/07/2020
SD	1 SET OF A3 DRAWINGS IN A3 SIZE 100% A3	CD	15/07/2020
BY	ARCHITECT'S OFFICE	BY	DATE

PLANNING APPROVAL

PROJECT DETAILS
NEW DUAL OCCUPANCY
104 CHAPEL STREET
GLENORCHY TAS 7010

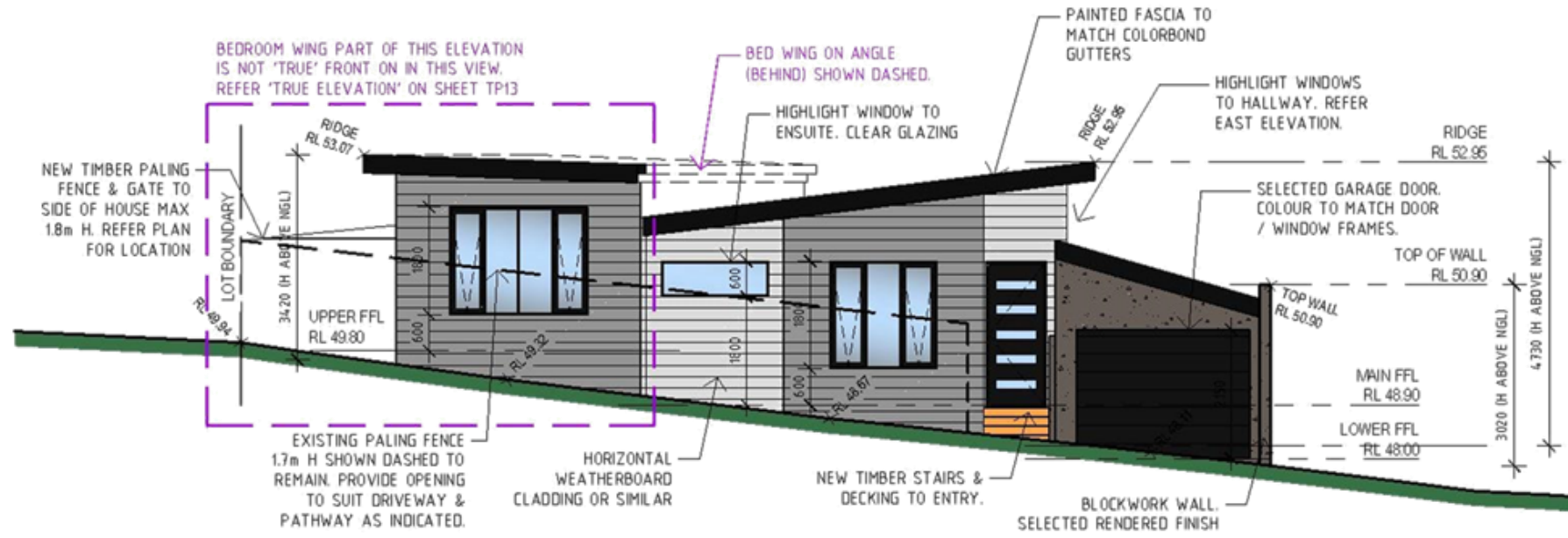
CLIENT DETAILS
MATTHEW SIMPKINS

DRAWING TITLE
**PROPOSED UNIT
ELEVATIONS**

DRAWN
CG
DESIGNED
CG
CHECK
CG

DATE DRAWN 15.07.2020
DRAWING SCALE 1:100
SHEET SIZE A3

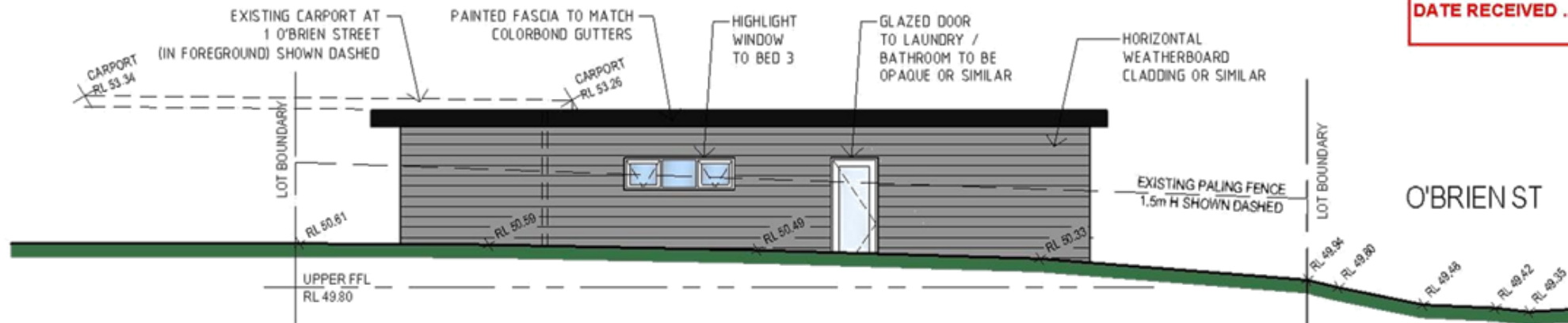
PROJECT NUMBER SD19-0294
DRAWING NUMBER TP.11
REVISION 04



PROPOSED UNIT - SOUTH ELEVATION
(O'BRIEN STREET ELEVATION)

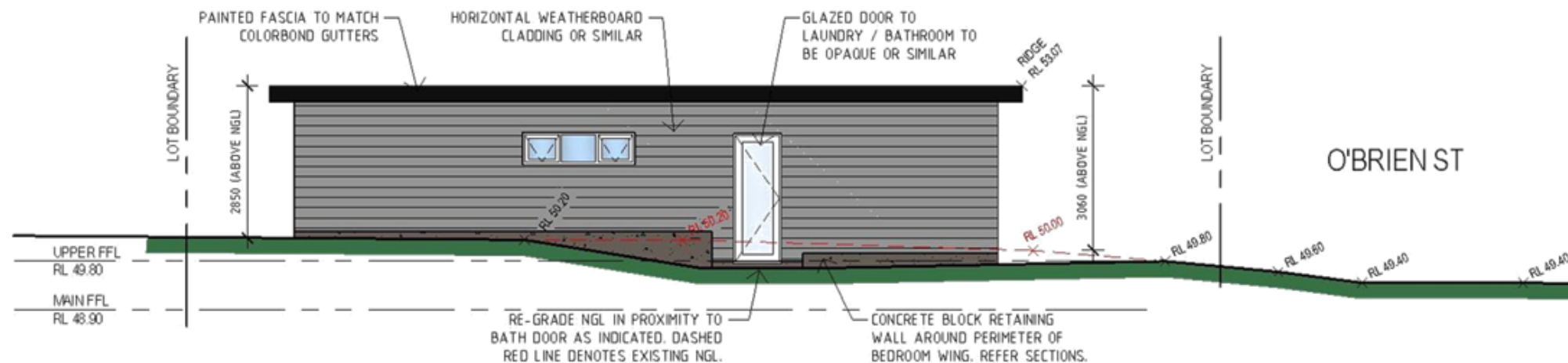
SCALE 1:100

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No. PLN-20-159
DATE RECEIVED 20/07/20



PROPOSED UNIT - WEST ELEVATION
(FROM FENCE LINE)

SCALE 1:100



PROPOSED UNIT - WEST ELEVATION

SCALE 1:100

Superdraft
ARCHITECTURAL
ENGINEERING
SURVEYING
ENERGY
+ MORE
1300 936 740
info@superdraft.com.au
www.superdraft.com.au

ALL FEATURE SURVEY WORKS SUPPLIED BY
'CROMER & PARTNERS'

COLOURS & FINISHES

- ROOF: COLORBOND 'TBC'
- GUTTER, DOWNPIPE, FASCIA: COLORBOND 'TBC'
- WALL CLADDING: TIMBER WEATHERBOARDS (HORIZONTAL) OR SIMILAR. COLOUR: DULUX 'TBC'
- WALL CLADDING: TIMBER WEATHERBOARDS (HORIZONTAL) OR SIMILAR. COLOUR: DULUX 'TBC'
- WINDOW/DOOR FRAMES: COLORBOND 'TBC'
- TIMBER POSTS & DECKING: CLEAR STAIN
- RENDERED WALL COLOUR: DULUX 'TBC'

DR	DESIGN DRAWING IN A BOLD LINE TO '000' R/L	CD	15-07-2020
ED	DESIGN DRAWING IN A BOLD LINE TO '000' R/L	CD	15-07-2020
ED	DESIGN DRAWING IN A BOLD LINE TO '000' R/L	CD	15-07-2020
ED	DESIGN DRAWING IN A BOLD LINE TO '000' R/L	CD	15-07-2020
ED	DESIGN DRAWING IN A BOLD LINE TO '000' R/L	CD	15-07-2020

PLANNING APPROVAL

NEW DUAL OCCUPANCY

104 CHAPEL STREET
GLENORCHY TAS 7010

CLIENT DETAILS
MATTHEW SIMPKINS

PROPOSED UNIT ELEVATIONS

DRAWN
CG
DESIGNED
CG
CHECK
CG

DATE DRAWN 15.07.2020 DRAWING SCALE 1:100 SHEET SIZE A3

PROJECT NUMBER SD19-0294 DRAWING NUMBER TP.12 REVISION 04

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No PLN-20-159

DATE RECEIVED 20/07/20

Superdraft

ARCHITECTURAL
ENGINEERING
SURVEYING
ENERGY
+ MORE

1300 936 740
info@superdraft.com.au
www.superdraft.com.au

THE INFORMATION AND CONTENTS OF THIS DOCUMENT ARE THE PROPERTY OF SUPERDRAFT AND ARE NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF SUPERDRAFT.

COPYRIGHT SUPERDRAFT

APPROVED FOR THE PURPOSES OF THE DOCUMENT AND THE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF SUPERDRAFT AND IS NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF SUPERDRAFT.

CONSTRUCTION OF THIS DOCUMENT IS THE PROPERTY OF SUPERDRAFT AND IS NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF SUPERDRAFT.

FOR THE PURPOSES OF THE DOCUMENT AND THE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF SUPERDRAFT AND IS NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF SUPERDRAFT.

ALL FEATURE SURVEYWORKS SUPPLIED BY
'CROMER & PARTNERS'

COLOURS & FINISHES

- ROOF: COLORBOND 'TBC'
- GUTTER, DOWNPIPE, FASCIA: COLORBOND 'TBC'
- WALL CLADDING: TIMBER WEATHERBOARDS (HORIZONTAL) OR SIMILAR. COLOUR: DULUX 'TBC'
- WALL CLADDING: TIMBER WEATHERBOARDS (HORIZONTAL) OR SIMILAR. COLOUR: DULUX 'TBC'
- WINDOW/DOOR FRAMES: COLORBOND 'TBC'
- TIMBER POSTS & DECKING: CLEAR STAIN
- RENDERED WALL COLOUR: DULUX 'TBC'

DR	DESIGNED AND DRAWN BY	CG	15/07/2020
CD	CHECKED BY	CG	15/07/2020
CD	APPROVED BY	CG	15/07/2020
REV	REVISION	BY	DATE

PROJECT STAGE
PLANNING APPROVAL

PROJECT DETAILS
NEW DUAL OCCUPANCY
104 CHAPEL STREET
GLENORCHY TAS 7010

CLIENT DETAILS
MATTHEW SIMPKINS

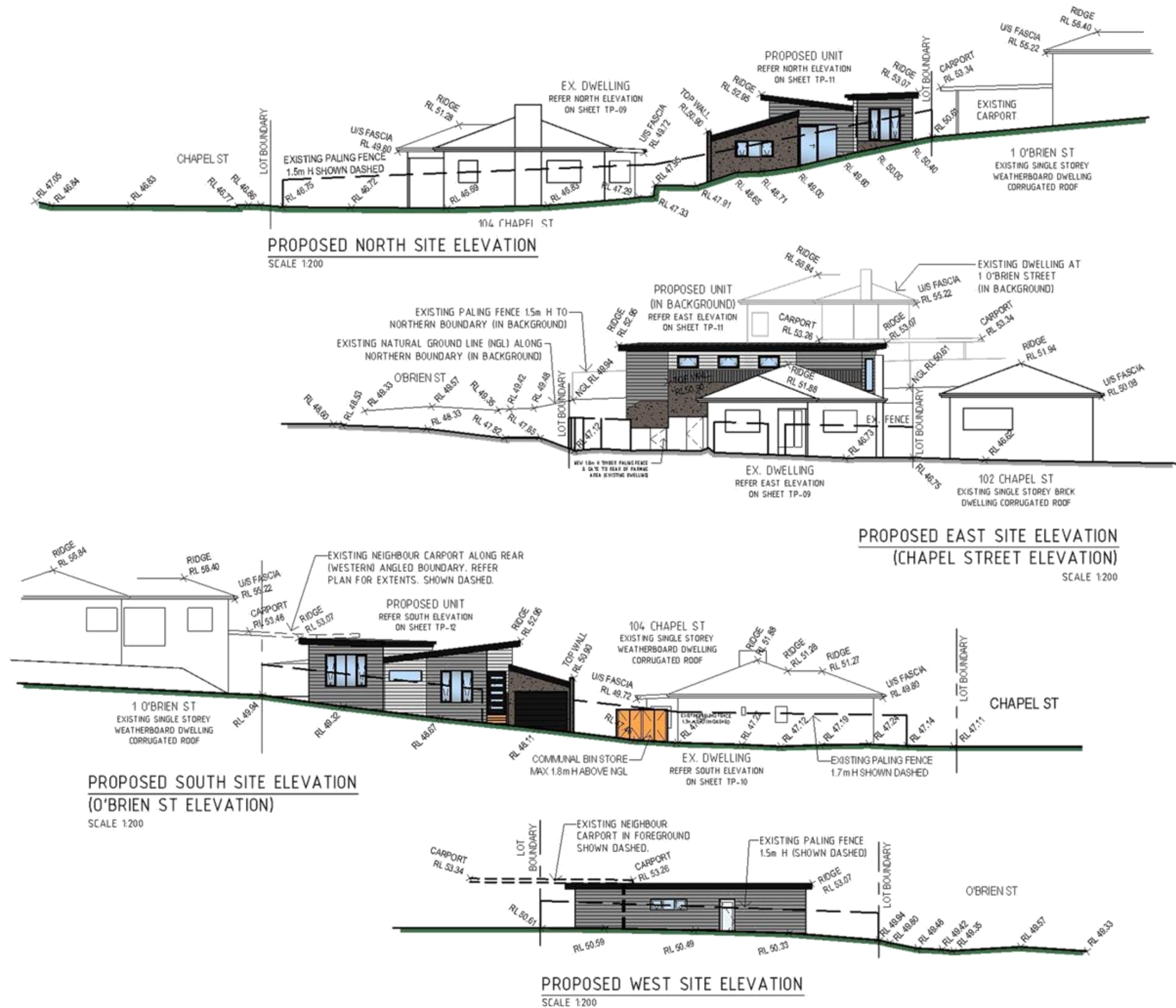
DRAWING TITLE
PROPOSED UNIT
ELEVATIONS

DRAWN CG	DESIGNED CG	CHECK CG	DATE DRAWN 15.07.2020	DRAWING SCALE 1:100	SHEET SIZE A3
-------------	----------------	-------------	--------------------------	------------------------	------------------

PROJECT NUMBER SD19-0294	DRAWING NUMBER TP.13	REVISION 04
-----------------------------	-------------------------	----------------

Attachments - Glenorchy Planning Authority - 7 September 2020





Superdraft
ARCHITECTURAL
ENGINEERING
SURVEYING
ENERGY
+ MORE
1300 936 740
info@superdraft.com.au
www.superdraft.com.au

ALL FEATURE SURVEY WORKS SUPPLIED BY
'CROMER & PARTNERS'

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No PLN-20-159
DATE RECEIVED 20/07/20

01	RIDGE DRAINAGE IN A REAR WIDE TO '00' R1	0.0	15.07.2020
02	1 BIRTH OR CHANGING ROOM WIDE TO '00' R1	0.0	08.07.2020
03	REAR WIDE TO '00' R1	0.0	08.07.2020
04	PLAN AND APPROVAL SUBMITTAL	0.0	24.03.2020
05	APPROVALS STAGE	0.0	0.00

PROJECT STAGE
PLANNING APPROVAL

PROJECT DETAILS
NEW DUAL OCCUPANCY
104 CHAPEL STREET
GLENORCHY TAS 7010

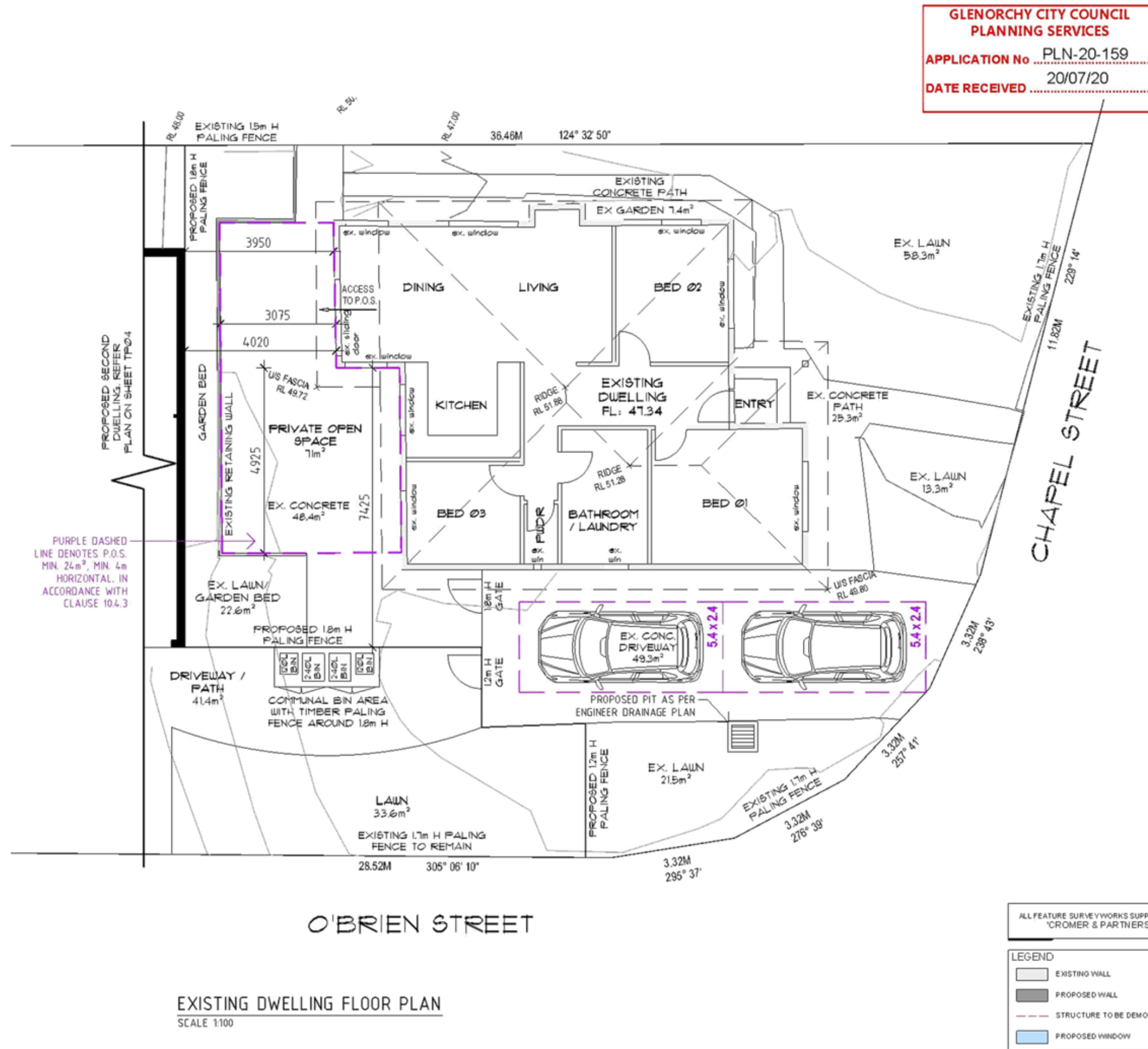
CLIENT DETAILS
MATTHEW SIMPKINS

DRAWING TITLE
**PROPOSED SITE
ELEVATIONS**

DRAWN
CG
DESIGNED
CG
CHECK
CG

DATE DRAWN 15.07.2020
DRAWING SCALE 1:200
SHEET SIZE A3

PROJECT NUMBER SD19-0294
DRAWING NUMBER TP.08
REVISION 04



**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No PLN-20-159

DATE RECEIVED 20/07/20

Superdraft 

ARCHITECTURAL
ENGINEERING
SURVEYING
ENERGY
+ MORE

1300 936 740
info@superdraft.com.au
www.superdraft.com.au

THE INFORMATION ARCHIVED ON SUPERDRAFT IS A SERVICE PROVIDED BY THE NATIONAL ARCHIVES OF AUSTRALIA. FOR MORE INFORMATION, CONTACT THE NATIONAL ARCHIVES OF AUSTRALIA ON 1300 363 694.

SITE INFORMATION	
EXISTING SITE AREA:	673.9m ²
AREA 01 - CHAPEL ST FRONTAGE	
PROPOSED SITE AREA:	343.5m ²
EXISTING DWELLING AREA:	97.4m ²
SITE COVERAGE:	28.4%
PERVIOUS SURFACES:	123.1m ²
- NORTH EAST LAWN	59.3m ²
- EAST LAWN	13.3m ²
- SOUTH EAST LAWN	21.5m ²
- WEST LAWN / GARDEN	22.6m ²
- NORTH GARDEN	7.4m ²
TOTAL % PERVIOUS SURFACES	35.8%
AREA 02 - O'BRIEN ST FRONTAGE	
PROPOSED SITE AREA:	330.4m ²
PROPOSED DWELLING AREA:	149.6m ²
- FLOOR AREA	124.4m ²
- ENTRY	2.9m ²
- GARAGE	22.3m ²
SITE COVERAGE:	45.3%
PERVIOUS SURFACES:	139.4m ²
- NORTH LAWN / GARDEN	17.9m ²
- WEST SIDEWAY	17.9m ²
- SOUTH LAWN	42.9m ²
- SOUTH EAST LAWN	33.6m ²
- DRIVEWAY / GARDEN	1.5m ²
- DECK (inc stairs)	18.5m ²
- FLAT LAWN	7.1m ²
TOTAL % PERVIOUS SURFACES	42.2%
NOTE ALL AREAS ARE CALCULATED TO EXTERNAL WALL FOOTPRINT (EAVES LESS THAN 600mm HAVE NOT BEEN INCLUDED IN CALCULATIONS)	

D1	ISSUE DRAWINGS IN A REPORT W/DETO '00C' AFF	CO	10-27-2020
D2	FURNISH CARD SET IN A REPORT W/DETO '00C' AFF	CO	09-07-2020
D2	REPORT W/DETO 'OLENORHYGHTYUO UNIC' AFF	CO	06-27-2020
D3	PLANNING APPROVAL STUDIES RAVINGS	CO	2-13-2020
REV	AMENDMENTS STAGE	BY	D.AYE

PROJECT STAGE
PLANNING APPROVAL

PROJECT DETAILS
NEW DUAL OCCUPANCY

104 CHAPEL STREET
GLENORCHY TAS 7010

CLIENT DETAILS

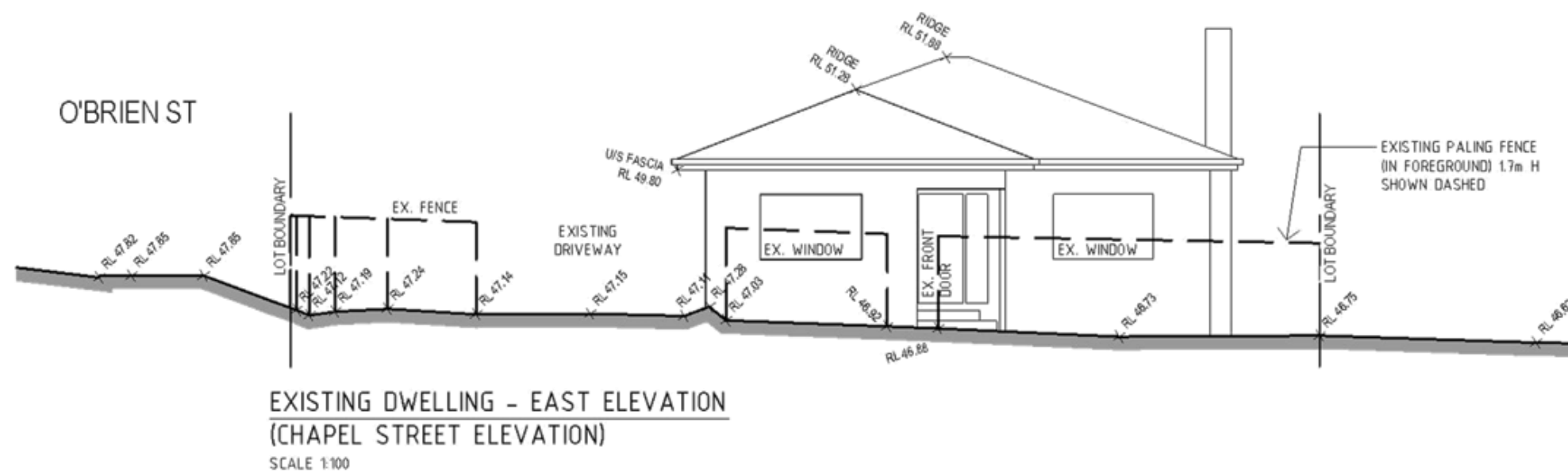
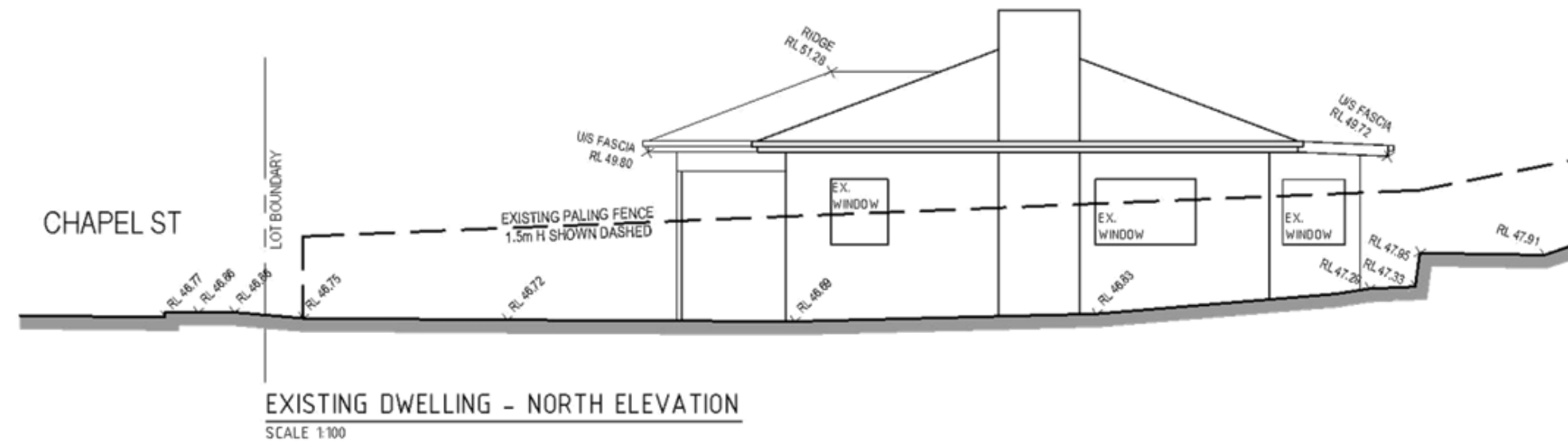
MATTHEW SIMPKINS

DRAWING TITLE

FLOOR PLAN
EXISTING DWELLING

DESIGNED		NORTH
CG		
CHECK		
CG		
DATE DRAWN		
15.07.2020	DRAWING SCALE 1:100	SHEET SIZE A3

PROJECT NUMBER	DRAWING NUMBER	REVISION
SD19-0294	TP.03	04



GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No PLN-20-159
DATE RECEIVED 20/07/20

Superdraft

ARCHITECTURAL
ENGINEERING
SURVEYING
ENERGY
+ MORE

1300 936 740
info@superdraft.com.au
www.superdraft.com.au

THE INFORMATION CONTAINED HEREIN IS FOR THE USE OF THE CLIENT ONLY. IT IS NOT TO BE USED FOR ANY OTHER PURPOSE. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSE.

CONTRACT SUPPLEMENT
BY REFERENCE TO THE MAIN CONTRACT DOCUMENTS AND THE INFORMATION CONTAINED HEREIN, THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSE. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSE.

ALL FEATURE SURVEY WORKS SUPPLIED BY
"CROMER & PARTNERS"

COLOURS & FINISHES

- ROOF: COLORBOND "TBC"
- GUTTER, DOWNPIPE, FASCIA: COLORBOND "TBC"
- WALL CLADDING: TIMBER WEATHERBOARDS (HORIZONTAL) OR SIMILAR. COLOUR: DULUX "TBC"
- WALL CLADDING: TIMBER WEATHERBOARDS (HORIZONTAL) OR SIMILAR. COLOUR: DULUX "TBC"
- WINDOW/DOOR FRAMES: COLORBOND "TBC"
- TIMBER POSTS & DECKING: CLEAR STAIN
- RENDERED WALL COLOUR: DULUX "TBC"

DR	DESIGN DRAWINGS IN A BOUNDARY TO "OC" R1	CO	15-07-2020
CD	FOR THE DESIGN IN A BOUNDARY TO "OC" R1	CO	15-07-2020
CD	FOR THE DESIGN IN A BOUNDARY TO "OC" R1	CO	15-07-2020
REV	AMENDMENTS	BY	DATE

PLANNING APPROVAL

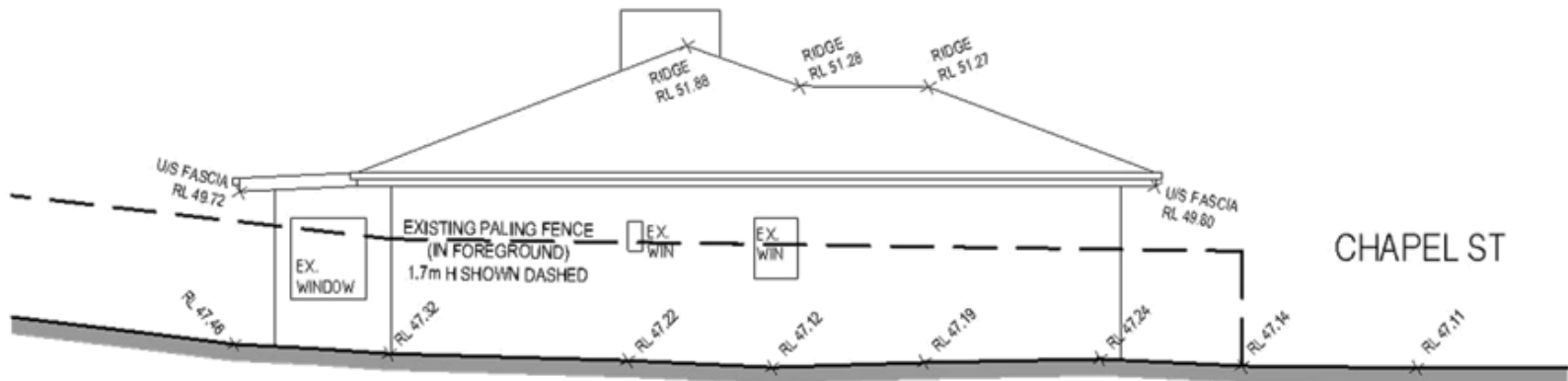
NEW DUAL OCCUPANCY
104 CHAPEL STREET
GLENORCHY TAS 7010

CLIENT DETAILS
MATTHEW SIMPKINS

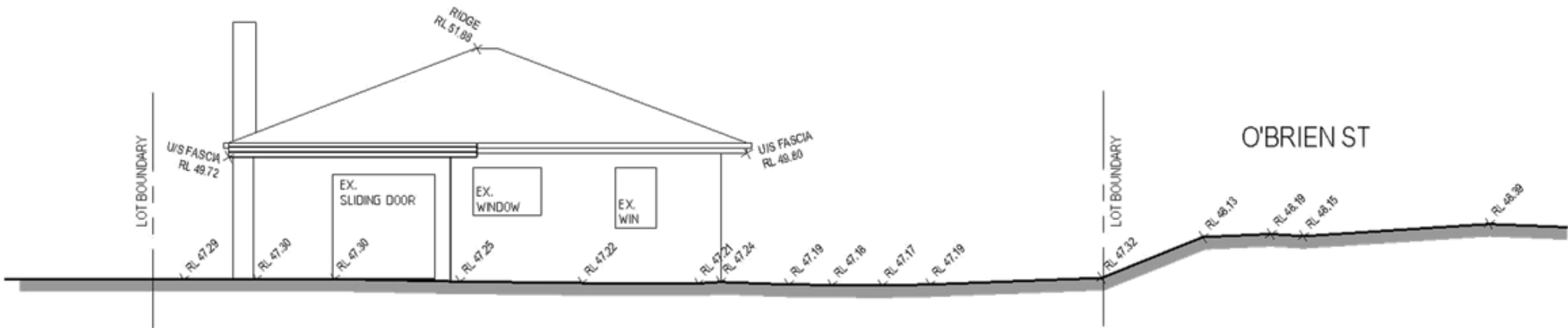
DRAWING TITLE
EXISTING DWELLING
ELEVATIONS

DRAWN CG	DESIGNED CG	CHECK CG
DATE DRAWN 15.07.2020	DRAWING SCALE 1:100	SHEET SIZE A3

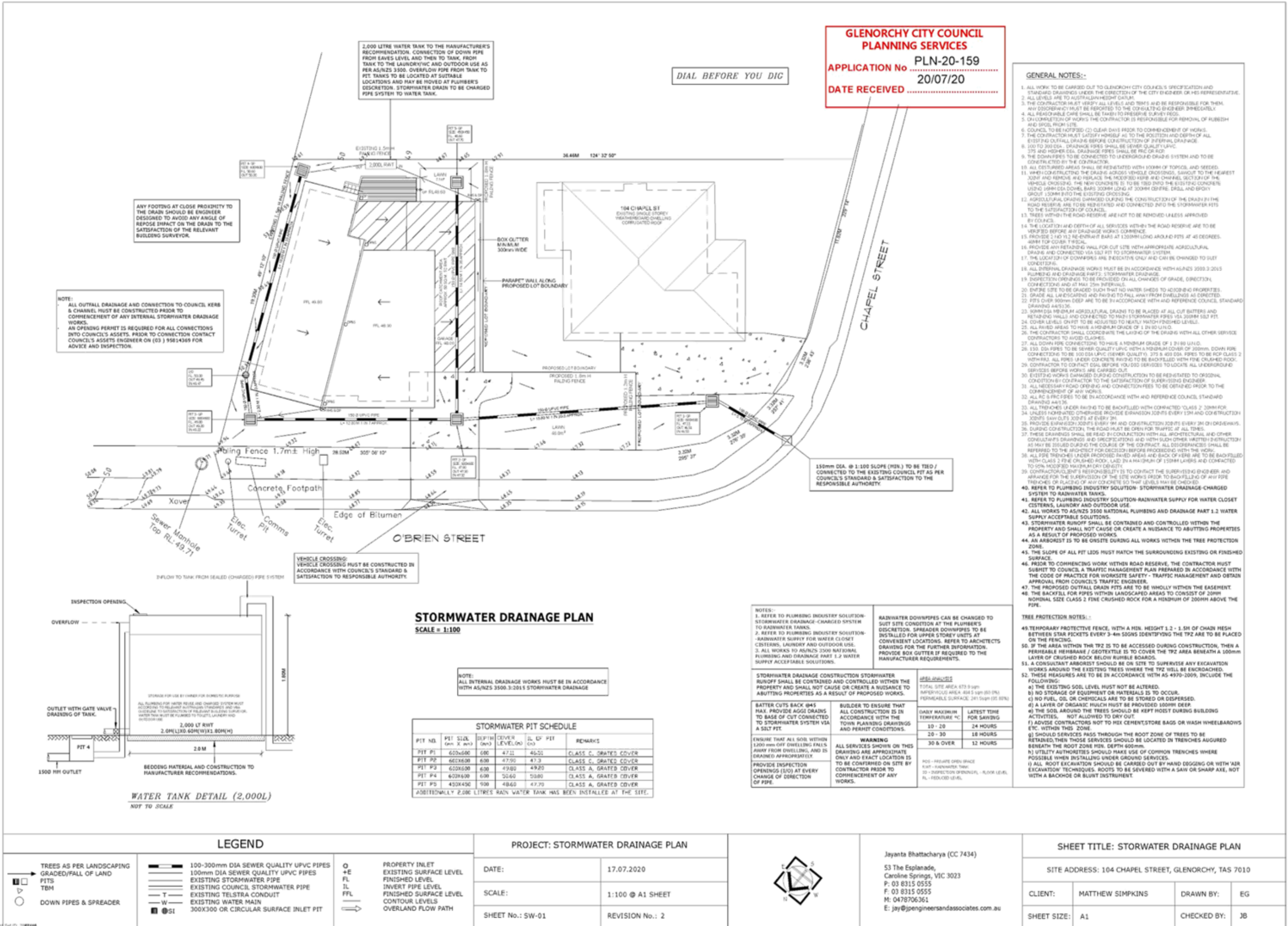
PROJECT NUMBER SD19-0294	DRAWING NUMBER TP.10	REVISION 04
-----------------------------	-------------------------	----------------

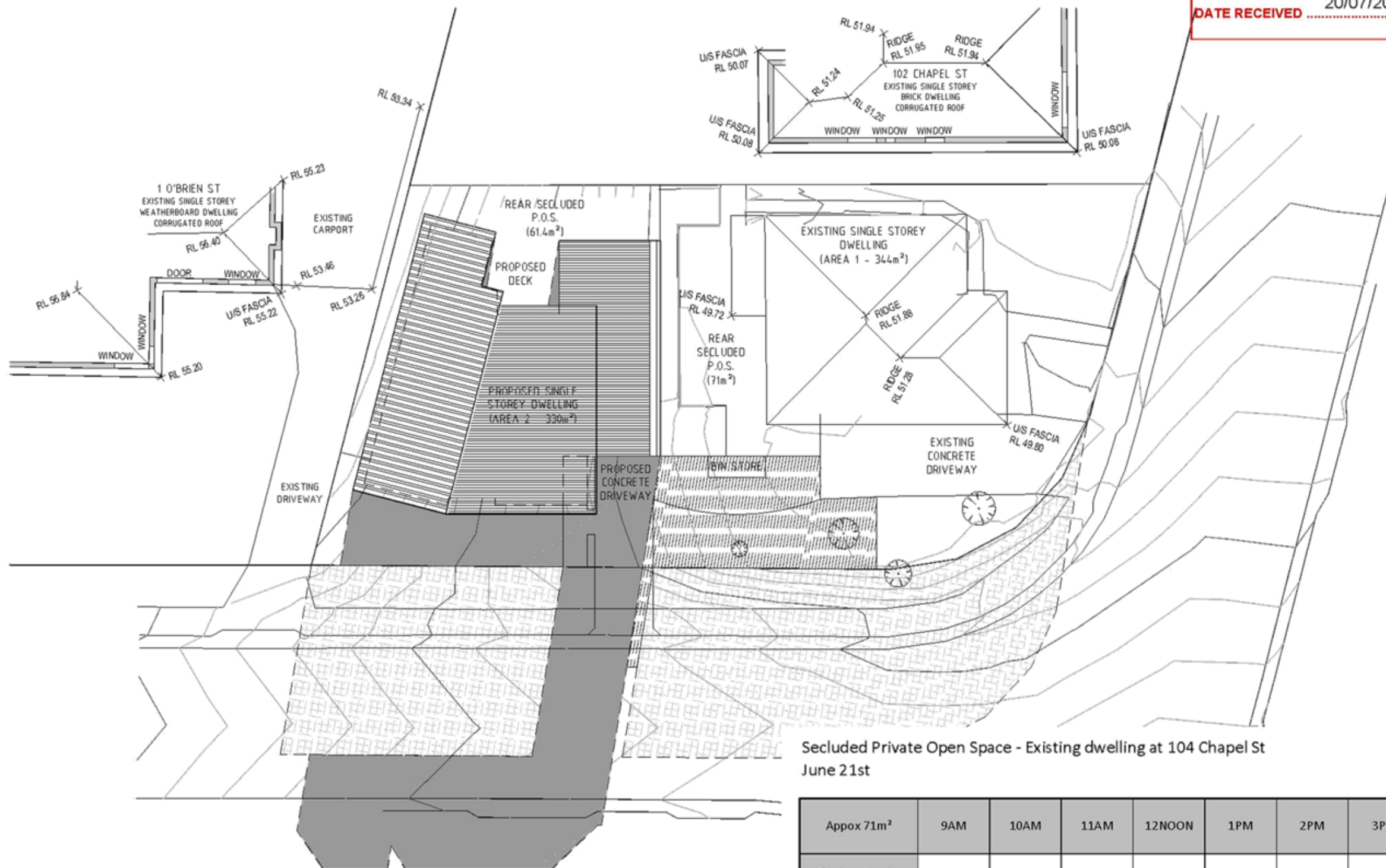


EXISTING DWELLING - SOUTH ELEVATION
(O'BRIEN STREET ELEVATION)
SCALE 1:100



EXISTING DWELLING - WEST ELEVATION
SCALE 1:100





Secluded Private Open Space - Existing dwelling at 104 Chapel St
June 21st

Appox 71m ²	9AM	10AM	11AM	12NOON	1PM	2PM	3PM
Shadow Cast by Proposed dwelling	-	2.9m ²	15.1m ²	27.4m ²	42.2m ²	49.5m ²	51.2m ²
Shadow cast by proposed fence	-	-	3.6m ²	5.9m ²	8.5m ²	9.6m ²	9.9m ²
Total shadow	-	2.9m ²	18.7m ²	30.3m ²	50.7m ²	59.1m ²	61.1m ²
Secluded P.O.S. unaffected	71m ² (100%)	68.1m ² (95.9%)	52.3m ² (73.7%)	40.7m ² (57.3%)	20.3m ² (28.6%)	11.9m ² (16.8%)	9.9m ² (13.9%)

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. PLN-20-159
DATE RECEIVED 20/07/20

Superdraft
ARCHITECTURAL
ENGINEERING
SURVEYING
ENERGY
+ MORE

1300 936 740
info@superdraft.com.au
www.superdraft.com.au

ALL FEATURE SURVEY WORKS SUPPLIED BY
'CROMER & PARTNERS'

SHADOW LEGEND

- SHADOW CAST BY PROPOSED NEW DWELLING
- SHADOW CAST BY EXISTING STRUCTURES
- SHADOW CAST BY PROPOSED FENCES
- SHADOW CAST BY EXISTING FENCES

SHADOW NOTES
SHADOW EXTENT BASED ON UN-INTERRUPTED
CASTING ON ADJACENT PROPERTY.

DR	DESIGN DRAWING IN ADOBE ILLUSTRATOR	CO	15/07/2020
CD	FURTHER HANDS IN ADOBE ILLUSTRATOR	CO	08/07/2020
CD	REPRODUCTION OF DRAWING IN ADOBE ILLUSTRATOR	CO	08/07/2020
CD	PLANNING APPROVAL REVIEW	CO	21/03/2020
REV	ADDITIONAL CHANGES	BY	DATE

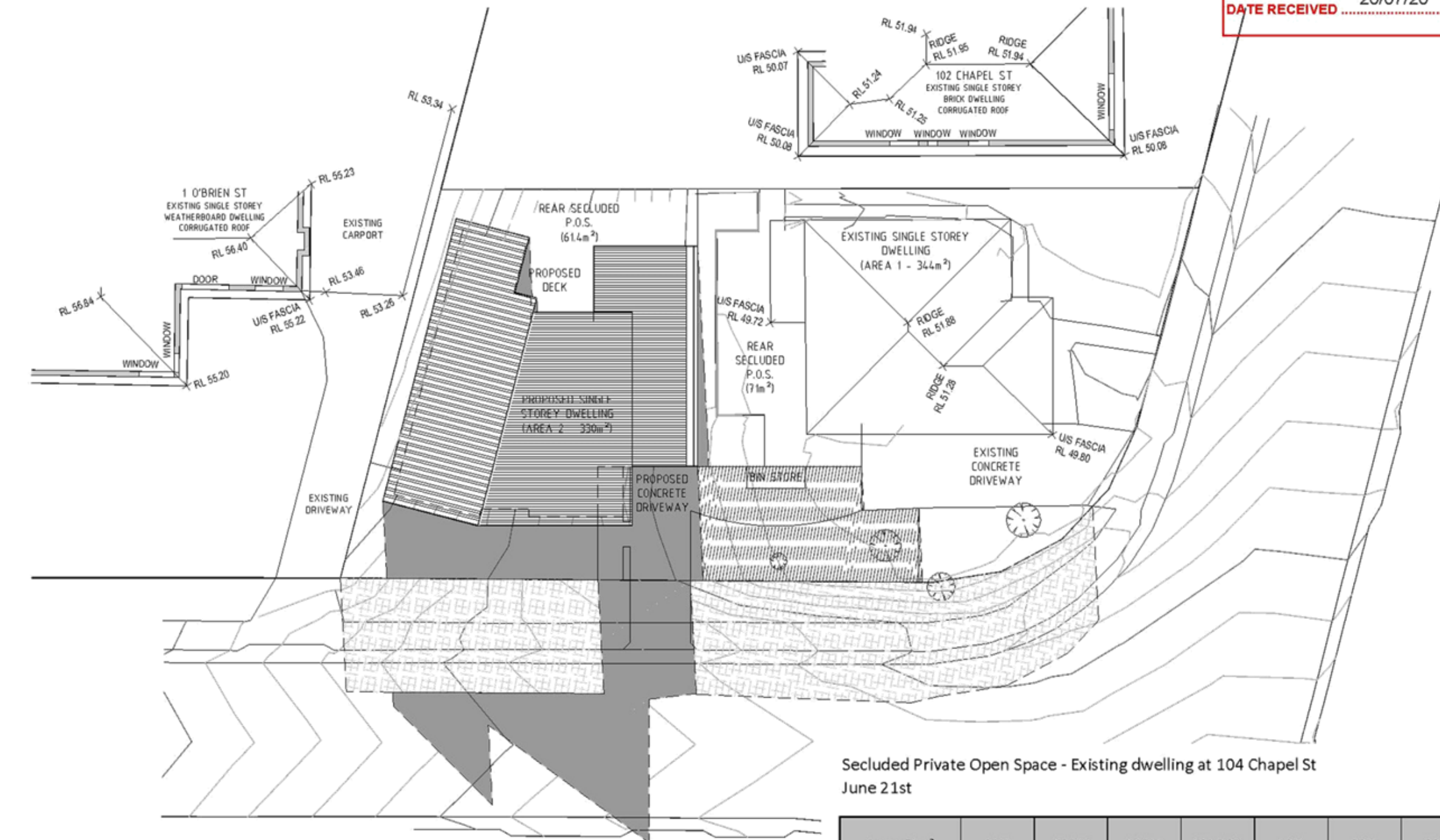
PLANNING APPROVAL
PROJECT DETAILS
NEW DUAL OCCUPANCY
104 CHAPEL STREET
GLENORCHY TAS 7010

CLIENT DETAILS
MATTHEW SIMPKINS

DRAWING TITLE
SHADOW DIAGRAMS
JUNE 21 - 9AM

DRAWN
CG
DESIGNED
CG
CHECK
CG
DATE DRAWN
15.07.2020
DRAWING SCALE
1:200
SHEET SIZE
A3

PROJECT NUMBER
SD19-0294
DRAWING NUMBER
TP.14
REVISION
04



SHADOW DIAGRAM - JUNE 21 - 10am
SCALE 1:200

Secluded Private Open Space - Existing dwelling at 104 Chapel St
June 21st

Approx 71m ²	9AM	10AM	11AM	12NOON	1PM	2PM	3PM
Shadow Cast by Proposed dwelling	-	2.9m ²	15.1m ²	27.4m ²	42.2m ²	49.5m ²	51.2m ²
Shadow cast by proposed fence	-	-	3.6m ²	5.9m ²	8.5m ²	9.6m ²	9.9m ²
Total shadow	-	2.9m ²	18.7m ²	30.3m ²	50.7m ²	59.1m ²	61.1m ²
Secluded P.O.S. unaffected	71m ² (100%)	68.1m ² (95.9%)	52.3m ² (73.7%)	40.7m ² (57.3%)	20.3m ² (28.6%)	11.9m ² (16.8%)	9.9m ² (13.9%)

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No PLN-20-159
DATE RECEIVED 20/07/20

Superdraft
ARCHITECTURAL
ENGINEERING
SURVEYING
ENERGY
+ MORE
1300 936 740
info@superdraft.com.au
www.superdraft.com.au

ALL FEATURE SURVEYWORKS SUPPLIED BY
'CROMER & PARTNERS'

SHADOW LEGEND

 SHADOW CAST BY PROPOSED NEW DWELLING
 SHADOW CAST BY EXISTING STRUCTURES
 SHADOW CAST BY PROPOSED FENCES
 SHADOW CAST BY EXISTING FENCES
SHADOW NOTES
 SHADOW EXTENT BASED ON UN-INTERRUPTED CASTING ON ADJACENT PROPERTY.

01	REVISIONS TO RESPONSE TO 100% RFI	CO	15/07/2020
02	FURTHER CHANGES IN RESPONSE TO 100% RFI	CO	08/07/2020
03	RESPONSE TO 100% RFI	CO	06/07/2020
04	PLANNING APPROVAL	CO	24/03/2020
REV	REVISION/DETAIL	BY	DATE

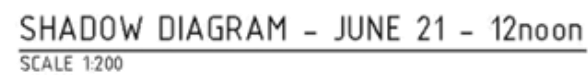
PROJECT STAGE
PLANNING APPROVAL
PROJECT DETAIL
NEW DUAL OCCUPANCY
104 CHAPEL STREET
GLENORCHY TAS 7010

CLIENT DETAILS
MATTHEW SIMPKINS

DRAWING TITLE
SHADOW DIAGRAMS
JUNE 21 - 10AM

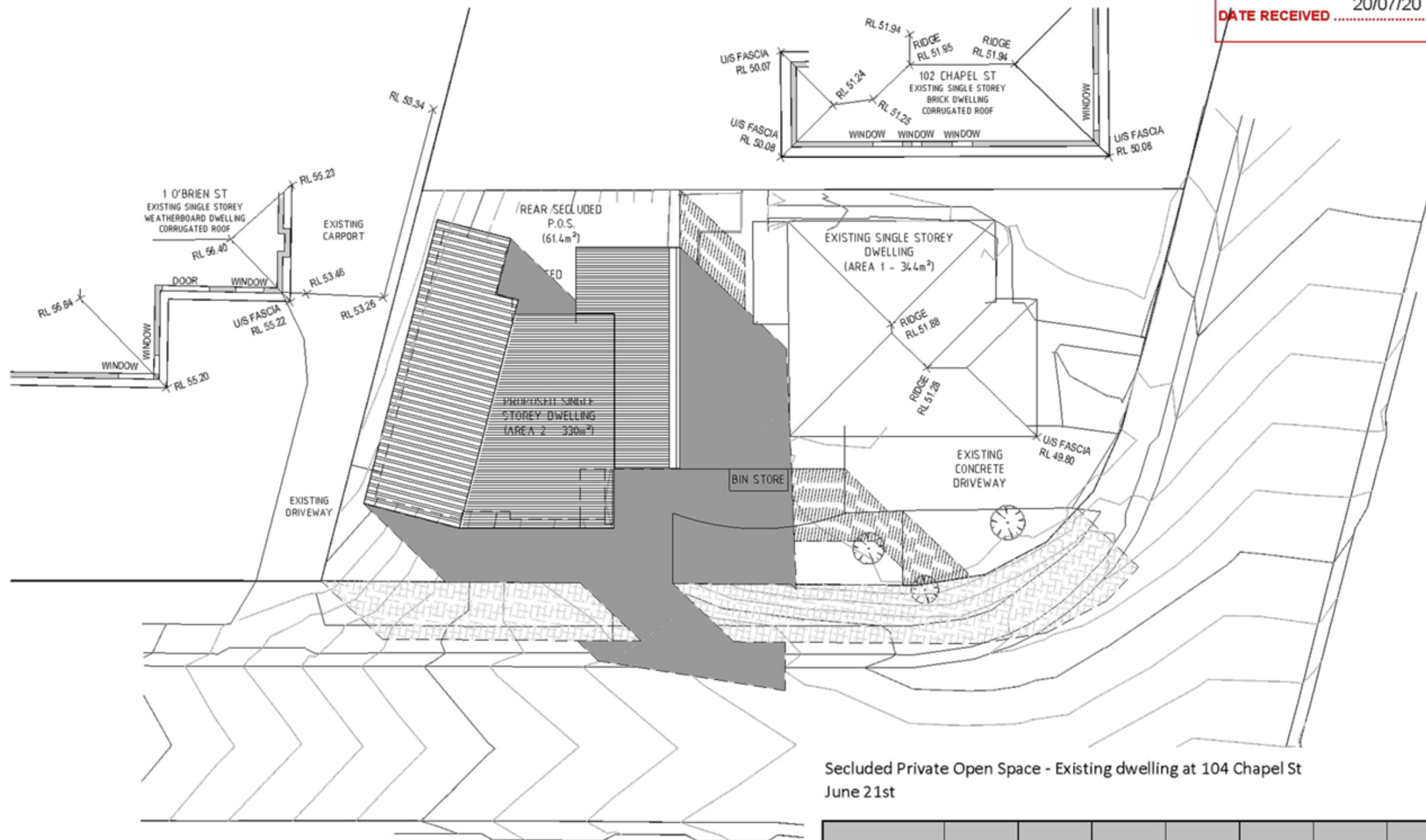
DRAWN
CG
DESIGNED
CG
CHECK
CG
DATE DRAWN
15.07.2020
DRAWING SCALE
1:200
SHEET SIZE
A3
NORTH

PROJECT NUMBER
SD19-0294
DRAWING NUMBER
TP.15
REVISION
04



Approx 71m ²	9AM	10AM	11AM	12NOON	1PM	2PM	3PM
Shadow Cast by Proposed dwelling	-	2.9m ²	15.1m ²	27.4m ²	42.2m ²	49.5m ²	51.2m ²
Shadow cast by proposed fence	-	-	3.6m ²	5.9m ²	8.5m ²	9.6m ²	9.9m ²
Total shadow	-	2.9m ²	18.7m ²	30.3m ²	50.7m ²	59.1m ²	61.1m ²
Secluded P.O.S. unaffected	71m ² (100%)	68.1m ² (95.9%)	52.3m ² (73.7%)	40.7m ² (57.3%)	20.3m ² (28.6%)	11.9m ² (16.8%)	9.9m ² (13.9%)

PROJECT NUMBER	DRAWING NUMBER	REVISION
SD19-0294	TP.17	04



SHADOW DIAGRAM - JUNE 21 - 1pm
SCALE 1:200

Secluded Private Open Space - Existing dwelling at 104 Chapel St
June 21st

Appox 71m ²	9AM	10AM	11AM	12NOON	1PM	2PM	3PM
Shadow Cast by Proposed dwelling	-	2.9m ²	15.1m ²	27.4m ²	42.2m ²	49.5m ²	51.2m ²
Shadow cast by proposed fence	-	-	3.6m ²	5.9m ²	8.5m ²	9.6m ²	9.9m ²
Total shadow	-	2.9m ²	18.7m ²	30.3m ²	50.7m ²	59.1m ²	61.1m ²
Secluded P.O.S. unaffected	71m ² (100%)	68.1m ² (95.9%)	52.3m ² (73.7%)	40.7m ² (57.3%)	20.3m ² (28.6%)	11.9m ² (16.8%)	9.9m ² (13.9%)

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No PLN-20-159

DATE RECEIVED 20/07/20

Superdraft

ARCHITECTURAL
ENGINEERING
SURVEYING
ENERGY
+ MORE

1300 936 740
info@superdraft.com.au
www.superdraft.com.au

THE INFORMATION PROVIDED FOR SUPERDRAFT IS THE PROPERTY OF THE CLIENT AND IS NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE CLIENT.

ALL FEATURE SURVEY WORKS SUPPLIED BY
'CROMER & PARTNERS'

SHADOW LEGEND

- SHADOW CAST BY PROPOSED NEW DWELLING
- SHADOW CAST BY EXISTING STRUCTURES
- SHADOW CAST BY PROPOSED FENCES
- SHADOW CAST BY EXISTING FENCES

SHADOW NOTES

SHADOW EXTENT BASED ON UN-INTERRUPTED CASTING ON ADJACENT PROPERTY.

DATE	15/07/2020	BY	DATE
15/07/2020	15/07/2020	15/07/2020	15/07/2020
15/07/2020	15/07/2020	15/07/2020	15/07/2020
15/07/2020	15/07/2020	15/07/2020	15/07/2020
15/07/2020	15/07/2020	15/07/2020	15/07/2020

PLANNING APPROVAL

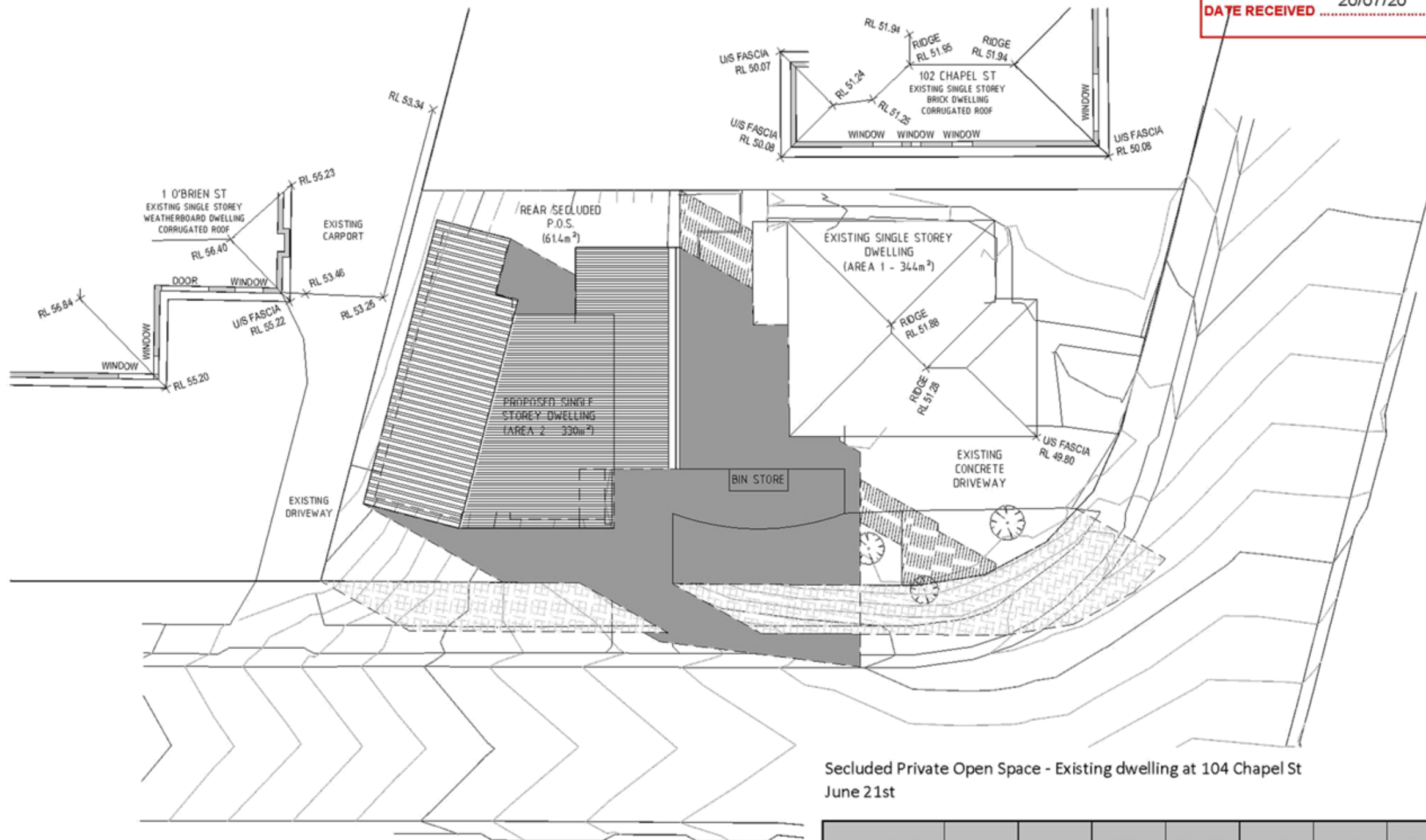
NEW DUAL OCCUPANCY
104 CHAPEL STREET
GLENORCHY TAS 7010

CLIENT DETAILS
MATTHEW SIMPKINS

DRAWING TITLE
SHADOW DIAGRAMS
JUNE 21 - 1PM

DRAWN
CG
DESIGNED
CG
CHECK
CG
DATE DRAWN
15.07.2020
DRAWING SCALE
1:200
SHEET SIZE
A3

PROJECT NUMBER
SD19-0294
DRAWING NUMBER
TP.18
REVISION
04



SHADOW DIAGRAM - JUNE 21 - 2pm
SCALE 1:200

Secluded Private Open Space - Existing dwelling at 104 Chapel St
June 21st

Appox 71m ²	9AM	10AM	11AM	12NOON	1PM	2PM	3PM
Shadow Cast by Proposed dwelling	-	2.9m ²	15.1m ²	27.4m ²	42.2m ²	49.5m ²	51.2m ²
Shadow cast by proposed fence	-	-	3.6m ²	5.9m ²	8.5m ²	9.6m ²	9.9m ²
Total shadow	-	2.9m ²	18.7m ²	30.3m ²	50.7m ²	59.1m ²	61.1m ²
Secluded P.O.S. unaffected	71m ² (100%)	68.1m ² (95.9%)	52.3m ² (73.7%)	40.7m ² (57.3%)	20.3m ² (28.6%)	11.9m ² (16.8%)	9.9m ² (13.9%)

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No PLN-20-159
DATE RECEIVED 20/07/20

Superdraft
ARCHITECTURAL
ENGINEERING
SURVEYING
ENERGY
+ MORE
1300 936 740
info@superdraft.com.au
www.superdraft.com.au

ALL FEATURE SURVEYWORKS SUPPLIED BY
'CROMER & PARTNERS'

SHADOW LEGEND

SHADOW NOTES
 SHADOW EXTENT BASED ON UN-INTERUPTED
 CASTING ON ADJACENT PROPERTY.

01	REVISED DRAWING IN RESPONSE TO '00' RFI	CO	16/07/2020
02	FURTHER CHANGES IN RESPONSE TO '00' RFI	CO	08/07/2020
03	RESPONSE TO '00' RFI BY '00' RFI	CO	06/07/2020
04	PLANNING APPROVAL RESPONSE	CO	24/07/2020
REV	REVISION/DETAIL	BY	DATE

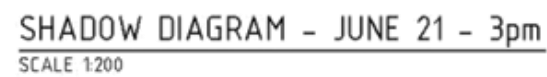
PROJECT STAGE
PLANNING APPROVAL
PROJECT DETAILS
NEW DUAL OCCUPANCY
104 CHAPEL STREET
GLENORCHY TAS 7010

CLIENT DETAILS
MATTHEW SIMPKINS

DRAWING TITLE
SHADOW DIAGRAMS
JUNE 21 - 2PM

DRAWN
CG
DESIGNED
CG
CHECK
CG
DATE DRAWN
15.07.2020
DRAWING SCALE
1:200
SHEET NO
A3

PROJECT NUMBER
SD19-0294
DRAWING NUMBER
TP.19
REVISION
04



Approx 71m ²	9AM	10AM	11AM	12NOON	1PM	2PM	3PM
Shadow Cast by Proposed dwelling	-	2.9m ²	15.1m ²	27.4m ²	42.2m ²	49.5m ²	51.2m ²
Shadow cast by proposed fence	-	-	3.6m ²	5.9m ²	8.5m ²	9.6m ²	9.9m ²
Total shadow	-	2.9m ²	18.7m ²	30.3m ²	50.7m ²	59.1m ²	61.1m ²
Secluded P.O.S. unaffected	71m ² (100%)	68.1m ² (95.9%)	52.3m ² (73.7%)	40.7m ² (57.3%)	20.3m ² (28.6%)	11.9m ² (16.8%)	9.9m ² (13.9%)

PROJECT NUMBER	DRAWING NUMBER	REVISION
SD19-0294	TP.20	04



Submission to Planning Authority Notice

Council Planning Permit No.	PLN-20-159	Council notice date	22/05/2020
TasWater details			
TasWater Reference No.	TWDA 2020/00699-GCC	Date of response	17/08/2020
TasWater Contact	Anthony Cengia	Phone No.	0474 933 293
Response issued to			
Council name	GLENORCHY CITY COUNCIL		
Contact details	gccmail@gcc.tas.gov.au		
Development details			
Address	104 CHAPEL ST, GLENORCHY	Property ID (PID)	5360056
Description of development	Multiple Dwellings x 2		
Schedule of drawings/documents			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
Superdraft	SD19-0294 Sheets TP.01 to TP.20	04	15/07/2020
Conditions			
SUBMISSION TO PLANNING AUTHORITY NOTICE OF PLANNING APPLICATION REFERRAL Pursuant to the <i>Water and Sewerage Industry Act 2008</i> (TAS) Section 56P(1) TasWater imposes the following conditions on the permit for this application: CONNECTIONS, METERING & BACKFLOW 1. A suitably sized water supply with metered connections and sewerage system and connections to the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit. 2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost. 3. Prior to commencing construction/use of the development, any water connection utilised for construction/the development must have a backflow prevention device and water meter installed, to the satisfaction of TasWater. DEVELOPMENT ASSESSMENT FEES 4. The applicant or landowner as the case may be, must pay a development assessment fee of \$211.63 to TasWater, as approved by the Economic Regulator and the fee will be indexed, until the date paid to TasWater. The payment is required within 30 days of the issue of an invoice by TasWater.			

**Advice****General**

For information on TasWater development standards, please visit
<http://www.taswater.com.au/Development/Development-Standards>

For application forms please visit <http://www.taswater.com.au/Development/Forms>

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

Authorised by

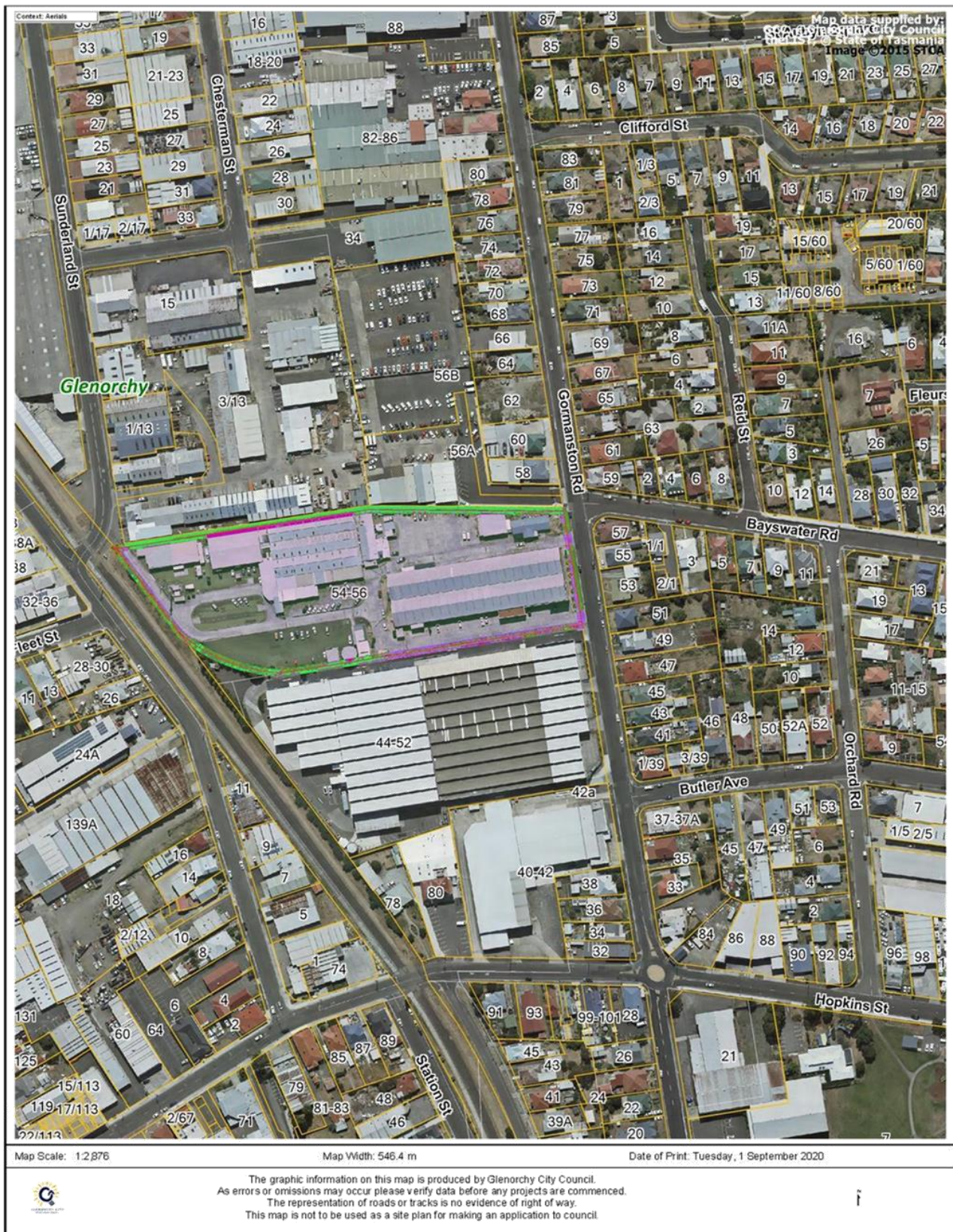
A handwritten signature in black ink, appearing to read "J. Taylor".

Jason Taylor
Development Assessment Manager

TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au

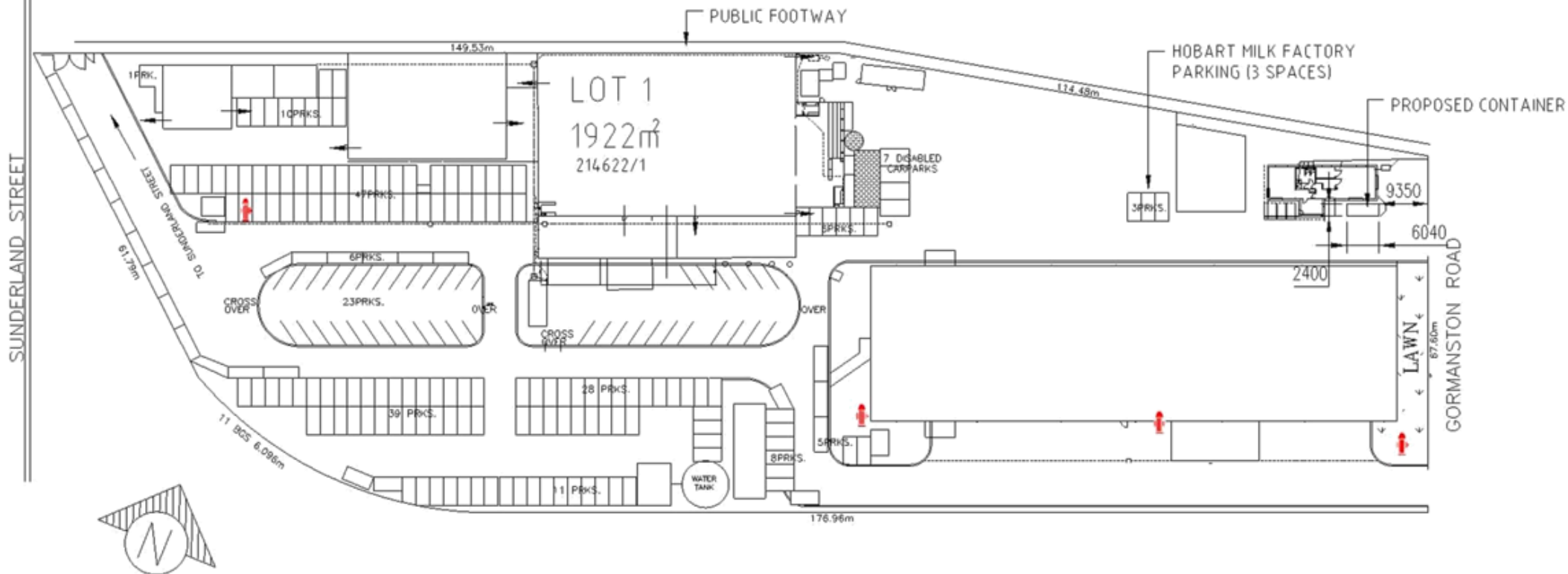
54-56 Gormanston Rd, Moonah



GLENORCHY CITY COUNCIL
PLANNING SERVICES

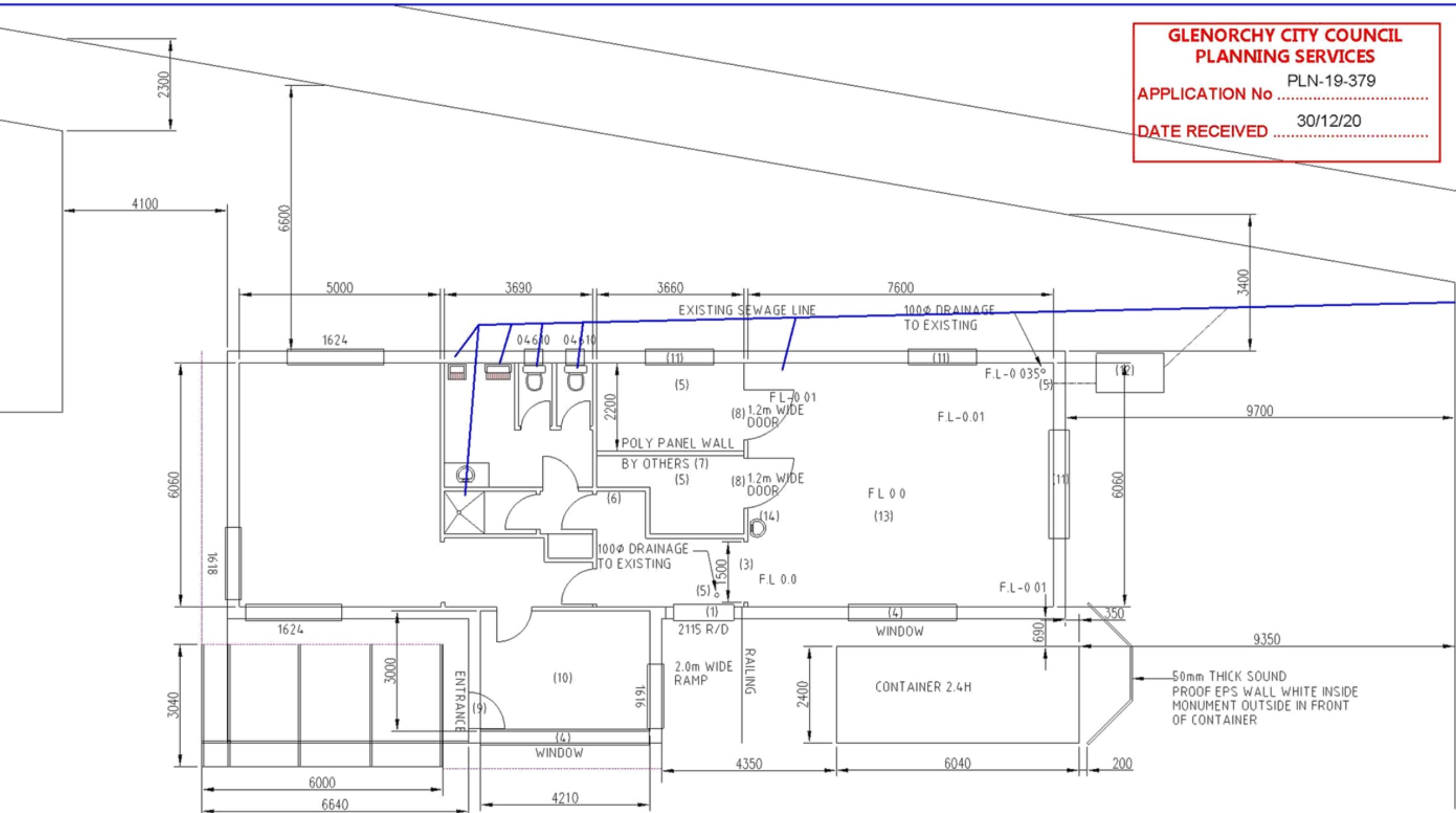
APPLICATION No PLN-19-379

DATE RECEIVED 30/01/20



	ISSUE No.	DATE	DESCRIPTION	DRAWN	CHECKED	ENGINEERED	SCALE	PROJECT	DRAWING	DRAWING NO.
	A	15-11-2019	ISSUED FOR APPROVAL	A.T.B		SIGNED: ----- CERTIFICATE No. ----- DATE:	1:1000	PROPOSED NEW CONTAINER FOR: HOBART MILK FACTORY AT: 54-56 GORMANSTON ROAD MOONAH	HOBART MILK FACTORY	-----
	B									
	C								NOT FOR CONSTRUCTION	CURRENT ISSUE: A

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No PLN-19-379
DATE RECEIVED 30/12/20



ADDITIONAL SERVICES TO BE DISCUSSED
 - 3 PHASE POWER, ONE OTHER POWER POINT
 - 500L HOT WATER SYSTEM
 - 2- REFRIGERATION UNITS
 - EXTRA WATER LINE
 - 1 AIR SYSTEM

ISSUE No.	DATE	DESCRIPTION	DRAWN	CHECKED	ENGINEERED	SCALE	PROJECT	DRAWING	DRAWING NO.
A	15-11-2019	ISSUED FOR APPROVAL	A.T.B		SIGNED: ----- CERTIFICATE No. ----- DATE: -----	1:100	PROPOSED NEW CONTAINER FOR: HOBART MILK FACTORY AT: 54-56 GORMANSTON ROAD MOONAH	HOBART MILK FACTORY	---
B									
C									

NOT FOR CONSTRUCTION

WESTERN ELEVATION

SOUTHERN ELEVATION

NORTHERN ELEVATION

EASTERN ELEVATION

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No PLN-19-379

DATE RECEIVED 30/07/20

ISSUE No.	DATE	DESCRIPTION	DRAWN	CHECKED	ENGINEERED	SCALE	PROJECT	DRAWING	DRAWING NO.
A	15-11-2019	ISSUED FOR APPROVAL	A.T.B		SIGNED: ----- CERTIFICATE No. ----- DATE: -----	1:100	PROPOSED NEW CONTAINER FOR: HOBART MILK FACTORY AT: 54-56 GORMANSTON ROAD MOONAH	HOBART MILK FACTORY	-----
B									
C									

Document Set ID: 2780807

Version: 1 Version Date: 04/09/2020

NOT FOR CONSTRUCTION

Document Set ID: 2780807

Version: 1 Version Date: 04/09/2020



Hobart Milk Factory
54-56 Gormanston Road
Moonah, TAS 7009
Attention: Ben Green

10 July 2020

Doc 6135_01

54-56 GORMANSTON ROAD — NOISE ASSESSMENT

The Glenorchy City Council has requested a noise assessment of the Hobart Milk factory located at 54 to 56 Gormanston Road, Moonah. This letter presents that assessment, conducted by NVC in the period April to July 2020.

The refrigeration unit is at the front of 54-56 Gormanston Road in a light industrial zone. On the far side of the road are residential dwellings within an Inner Residential zone, the nearest residence being some 16m from the unit.

Noise measurements were made at night at the front fence of 57 and 72 Gormanston Road to define the refrigeration and background noise levels respectively. The measurements are summarised in Figure 1 and Table 1 below.

TABLE 1: MEASURED NOISE LEVELS

	Night	Day
Measured Refrigeration noise dBA	50	53
adjusted for tonality dBAadj	57	55
Measured ambient noise Leq dBA	53	66
L90 dBA	31	55

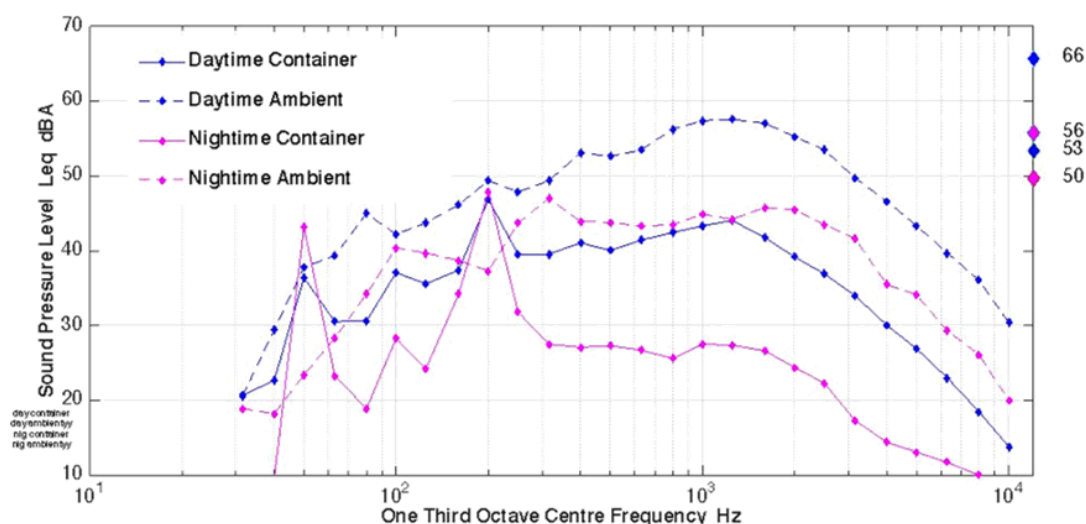


FIGURE 1: MEASURED NOISE SPECTRA

NVC PTY. LTD.

ABN 53 626 639 521

PO Box 476, ROSNY PARK, TAS 7018

T. 6244 5556

bill@nvc.com.au

Document Set ID: 288888

Version: 1. Version Date: 04/03/2020

As the spectra shows the refrigeration noise to be tonal (strong relative noise in a single one-third octave band), the measured level is penalised for this annoying character as per the Tasmanian Noise Measurements Procedures Manual, resulting in an adjusted noise level dBA_{adj} .

The Glenorchy Interim Planning Scheme at clause 24.3.2 defines acceptable noise levels as:

- 55 $dB(A)$ (LA_{eq}) between the hours of 7:00 am to 7:00 pm;
- 5 $dB(A)$ above the background (LA_{90}) or 40 $dB(A)$ (LA_{eq}), whichever is the lower, between the hours of 7:00 pm to 7:00 am;
- 65 $dB(A)$ (L_{Amax}) at any time..."

The night time criteria is initially identified as 36 dBA ($L_{90} + 5dB$). However the background measurements were made during the Covid-19 shutdown and traffic noise was minimal when Brooker Highway traffic noise would have been expected to control the background. It is expected that during normal times the background criteria would be approximately 40 dBA . The 40 dBA level is then used as the night time criterion. To meet the Acceptable solution, the assessment criteria are then:

daytime	55 dBA
nighttime	40 dBA

The refrigeration noise is 55 and 57 dBA_{adj} respectively for day and night so meets the daytime criteria but exceeds the night time criteria.

The container noise is low frequency (50 and 200 Hz), and sourced from the compressor at the eastern end of the container. Presently noise control has entailed cladding the area with insulation, and installing a 50mm lightweight barrier. To achieve appropriate attenuation the following should be implemented in the stated order:

- Fully enclosing a large portion of the container as per the sketch below.
 - Remove the existing barrier.
 - The enclosure external material should be a single layer of 18mm plywood plus a single layer of 9mm cement sheet, or other material of equivalent surface mass.
 - Line the internal side of the enclosure with Bradford Anticon 130 Thermofoil LD.
 - There should be nominally 500mm clearance between the enclosure and the container.
 - There should be no gaps in the enclosure construction or between it and the ground.

Provided the enclosure is constructed as detailed above, the noise level at the residential boundary is predicted to be 32 dBA with both the compressor and fan operating.

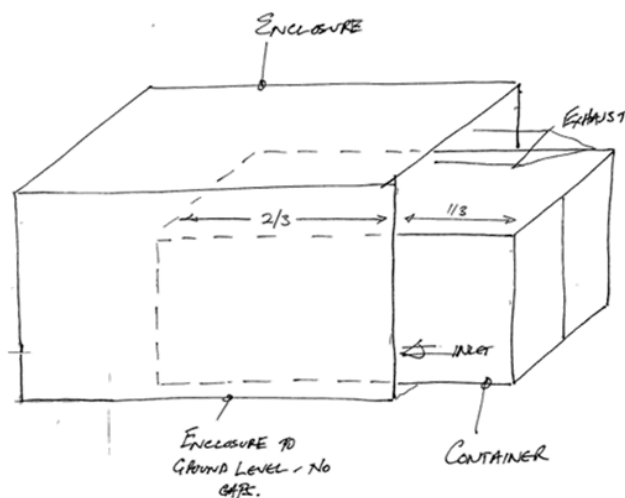
The container meets the daytime Acceptable solution at 24.3.2 in its current configuration, but fails the night time Acceptable solution. If the enclosure described above is installed, the container will meet the Acceptable solution for both day and night time.

Should you have any queries, please do not hesitate to contact me directly.

Kind regards,



Bill Butler





Submission to Planning Authority Notice

Council Planning Permit No.	PLN-19-379	Council notice date	4/02/2020
TasWater details			
TasWater Reference No.	TWDA 2020/00137-GCC	Date of response	06/02/2020
TasWater Contact	Greg Cooper	Phone No.	(03) 6237 8280
Response issued to			
Council name	GLENORCHY CITY COUNCIL		
Contact details	gccmail@gcc.tas.gov.au		
Development details			
Address	54-56 GORMANSTON RD, MOONAH	Property ID (PID)	5428567
Description of development	Addition to Milk Factory		
Schedule of drawings/documents			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
Applicant	Hobart Milk Factory – Site Plan, Floor Plan & Elevations		15/11/2019
Conditions			
SUBMISSION TO PLANNING AUTHORITY NOTICE OF PLANNING APPLICATION REFERRAL Pursuant to the <i>Water and Sewerage Industry Act 2008 (TAS)</i> Section 56P(1) TasWater does not object to the proposed development and no conditions are imposed.			
Advice			
Trade Waste Prior to any Building and/or Plumbing work being undertaken, the applicant will need to make an application to TasWater for a Certificate for Certifiable Work (Building and/or Plumbing). The Certificate for Certifiable Work (Building and/or Plumbing) must accompany all documentation submitted to Council. Documentation must include a floor and site plan with: - Location of all pre-treatment devices - Schematic drawings and specification (including the size and type) of any proposed pre-treatment device and drainage design; and - Location of an accessible sampling point in accordance with the TasWater Trade Waste Flow Meter and Sampling Specifications for sampling discharge. At the time of submitting the Certificate for Certifiable Work (Building and/or Plumbing) a Trade Waste Application together with the General Supplement form is also required. If the nature of the business changes or the business is sold, TasWater is required to be informed in order to review the pre-treatment assessment. The application forms are available at http://www.taswater.com.au/Customers/Liquid-Trade-Waste/Commercial.			
Declaration			
The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.			



Authorised by

A handwritten signature in black ink, appearing to read "J. Taylor".

Jason Taylor

Development Assessment Manager

TasWater Contact Details

Email	development@taswater.com.au	Web	www.taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001		