

**GLENORCHY PLANNING AUTHORITY
ATTACHMENTS
MONDAY, 7 DECEMBER 2020**



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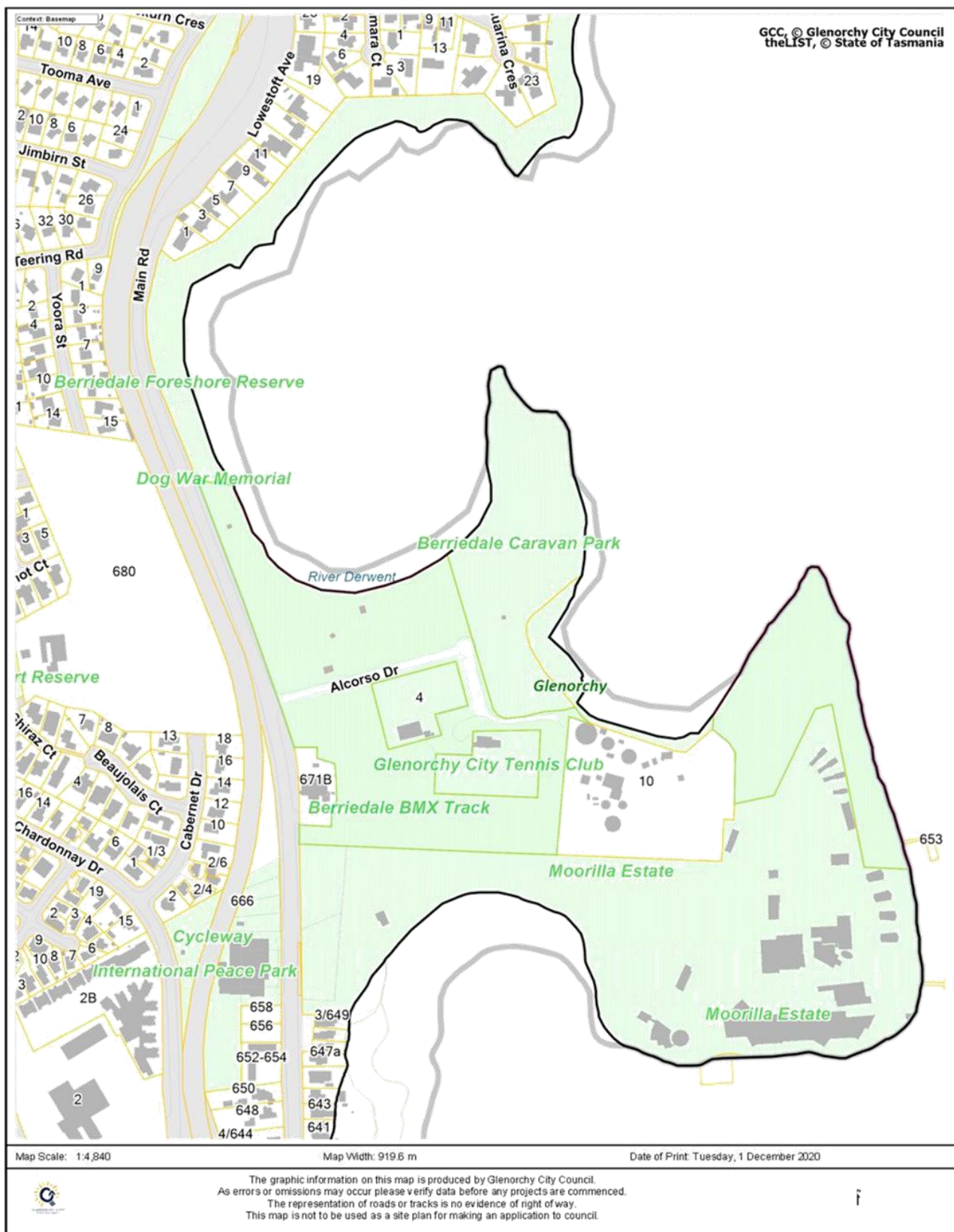
PLANNING

- 5. Proposed Use and Development - Caravan Park
Redevelopment - 1 Alcorso Drive, 671 Main Road, Main Road
and Berriedale Foreshore Reserve, Berriedale**
 - 1: GPA Attachments - 1 Alcorso Drive, 671 Main Road, Main
Road and Berriedale 2

- 6. Proposed Use and Development - Play Area Upgrade (Passive
Recreation) With Associated Demolition and Works - 825
Brooker Highway Montrose, Glenorchy Rowing Club 849B
Brooker Highway Rosetta**
 - 1: GPA Attachment - Montrose Foreshore Park 24

1 Alcorso Drive, 671 Main Road, Main road and Berriedale Foreshore Reserve, Berriedale

Item:



Document Set ID: 2919938

Version: 1 Version Date: 01/12/2020



GLENORCHY CITY COUNCIL PLANNING SERVICES	
APPLICATION No	PLN-16-071
DATE RECEIVED	3 July 2020

1.1.4 Landscape Conceptual Design

Moab's landscape is being conceived in a framework of environmental sustainability, a core principle of which is to "heal damaged sites".

More specifically the landscaping of Moab is grounded in the Mona Landscape Management Policy 2018. The objectives of the 2018 policy are to:

- lead in environmental excellence;
- provide and maintain a suitable environment for native flora and fauna;
- create a safe and inspiring experience for visitors and staff;
- encourage the use of the site by a diverse range of users;
- support and reinforce the function of the place as a cultural tourism facility; and
- facilitate a high standard of landscape maintenance commensurate with the expectations for Mona to be a world class cultural tourism destination.

The 2018 policy is grounded in 5 principles, three of which have particular relevance to Moab. These are:

1. The landscape of the site should support on-going natural processes.
2. The landscape should be considered an integral whole while addressing varied growing conditions and the requirement for variation in the scale, use and ambiance of the individual spaces across the site.
3. The landscape of the site should be viewed as a component of the larger regional landscape.

The landscape for Moab is in two precinct types: Visitor Precinct and Conservation Precinct (see plan).

The purpose of the Visitor Precinct is to provide an attractive and functional setting for the use and enjoyment of visitors to Moab. The Visitor Precinct of Moab will be managed as a spatially complex set of planted vignettes and open lawns. Indigenous species will be used exclusively.

The purpose of the Conservation Precinct is to maintain the existing character of the foreshore as a naturally vegetated landform. The precinct will feature the exclusive use of indigenous vegetation with an emphasis on the maintenance and reinforcement of the existing canopy of she oak interspersed with eucalypts. Plantings in the Conservation Precinct will mimic the species distributions and densities found in nature.

Indigenous species for both precincts will be selected from those typically found in the NAV plant community (see planting list).

The provenance of planting stock will be sourced from the regional area (i.e. from sites within a 5km radius of Mona). Locally sourced indigenous vegetation has the advantage of being

adapted to the environment of the site and responds to the condition of the site as it might have been prior to European occupation of the place.

Revegetation will use a combination of stock grown on into various sized containers and direct seeding. Imported topsoil will be avoided as far as possible. Staking and bagging will be used in some locations. Seed free vegetation removed from the site will be mulched and reused to the extent it is available. Elsewhere imported gum mulch will be applied as required to suppress weeds and retain moisture.

Rain gardens have been strategically located to manage site run-off. Rain gardens function to retard the speed of run-off and to improve water quality. Species will be selected suited to the wetter conditions.

Taller plantings will be used around the caravan parking area, with lower plantings at the camp sites to separate the public walkway from the site while allowing views to Cameron Bay.

Exotic grasses will only be used in camping area on Cameron Bay.

Small 'community garden' type planting beds will be created through the landscape, particularly near the communal buildings. The purpose of these beds is to provide supplementary fresh food for visitors. Food producing garden beds will be maintained by Moab grounds staff.

PROPOSED PLANTING LIST

Large Trees:

Eucalyptus globus subsp globulus	Blue Gum
Eucalyptus viminalis	White Gum

Small Trees:

Allocasuarina littoralis	Black sheoak
Allocasuarina verticillata	Drooping sheoak
Acacia longifolia subsp sophorae	Coast wattle
Banksia marginata	Silver banksia
Bursaria spinosa subsp. spinosa	Prickly box
Dodonea viscosa subsp. Spatulata	Broadleaf hopbush

Shrubs:

Correa alba	White correa
Leptospermum scoparium	Common teatree
Melaleuca ericifolia	Coast paperbark
Mycoporum insulare	Common boobialla
Geranium sp.	Cranesbill
Leucopogon parviflorus	Native current
Leucopogon ericoides	Native current
Pelargonium australe	Southern stalksbill
Pimeila glauca	Smooth riceflower
Rhagodia candooleana subsp. candolleana	Coastal saltbush
Solanum laciniatum	Kangaroo apple
Grass and Strap Leaf Plants:	
Austrodanthonia sp.	Wallaby Grass
Austrofestuca littoralis	Coast fescue
Dianella brevicaulis	Shortstem flaxlily
Dianella revoluta var. revoluta	Spreading flaxlily
Ficinia nodosa	Knobby clubrush
Juncus pallidus	Pale rush
Lepidosperma concavum	Sand swordedge
Lepidosperma gladiatum	Coast swordedge
Lomandra longifolia	Sagg
Poa labillardierei	Tussock grass
Poa poiformis	Coastal tussock grass
Ground Covers:	
Caprobrutus rossii	Pigface
Einadia nutans subsp nutans	Climbing saltbush
Kennedia prostrata	Running postman
Tetragonia implexicoma	Native spinach

GLENORCHY CITY COUNCIL
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Diagram 7: Site Plan



- KEY
- ① Guest arrival forecourt
 - ② Kiosk
 - ③ Communal building
 - ④ Social camping
 - ⑤ BYO Caravan park
 - ⑥ Mixed style pod accommodation
 - ⑦ Urban forest with reclusive camping in quiet zone
 - ⑧ Open communal space
 - ⑨ On site retro caravans
 - ⑩ Bin storage
 - ⑪ Bicycle parking
 - ⑫ Motorcycle parking
 - ⑬ Wetland (with swale)
 - ⑭ Future public foreshore walkway (By Council)
 - ⑮ Future public walkway (By Council)
 - ⑯ Rain garden
 - ⑰ Cleaners pod
 - ⑱ Maintenance Shed and Wash Bay
 - ⑲ Staff Room and Laundry
 - ⑳ Manager's Residence
 - ㉑ Exclusion zone

1.1.7 Hard Landscaping

Areas of hard paving will be created around each of the principal buildings of the site including the on-site manager/kiosk/workshop building, the amenity building and at gathering nodes. Compacted gravel paths will be used throughout the rest of the site. Roadways will be bitumen. Caravan parking sites will be grass reinforced with 'grass rings'. Decking through the site will use composite 'timbers' with Macrocarpa. Refer Diagram 10.

1.1.8 Lighting Zones

The design of external lighting for the park will be based on the appropriate classification under AS/NZS 1158.3.1.:2005 Lighting for roads and public spaces – Pedestrian area (Category P) Lighting. The primary aim of pedestrian area lighting is to assist the safe movement of pedestrians. The P category classification is based on an assessment of the degree of activity, the risk of crime and the required aesthetic appeal of the area. The assessment also considers light spill into adjacent areas.

There are three area types to consider, for which the following P sub-category classifications are recommended:

1. Car parking
- Sub-Category P11b
2. Access roads (vehicle and pedestrian)
- Sub-Category P7
3. Pedestrian pathways around the site and camp/caravan/cabin sites
- Sub-Category P4

This design solution is based on achieving the required lighting performance levels for security and access purposes, in accordance with the Standard, whilst minimizing potential adverse effects on the night time environment. This lighting will be supplemented by exterior lighting for the various buildings.

Diagram 10: On Site Services

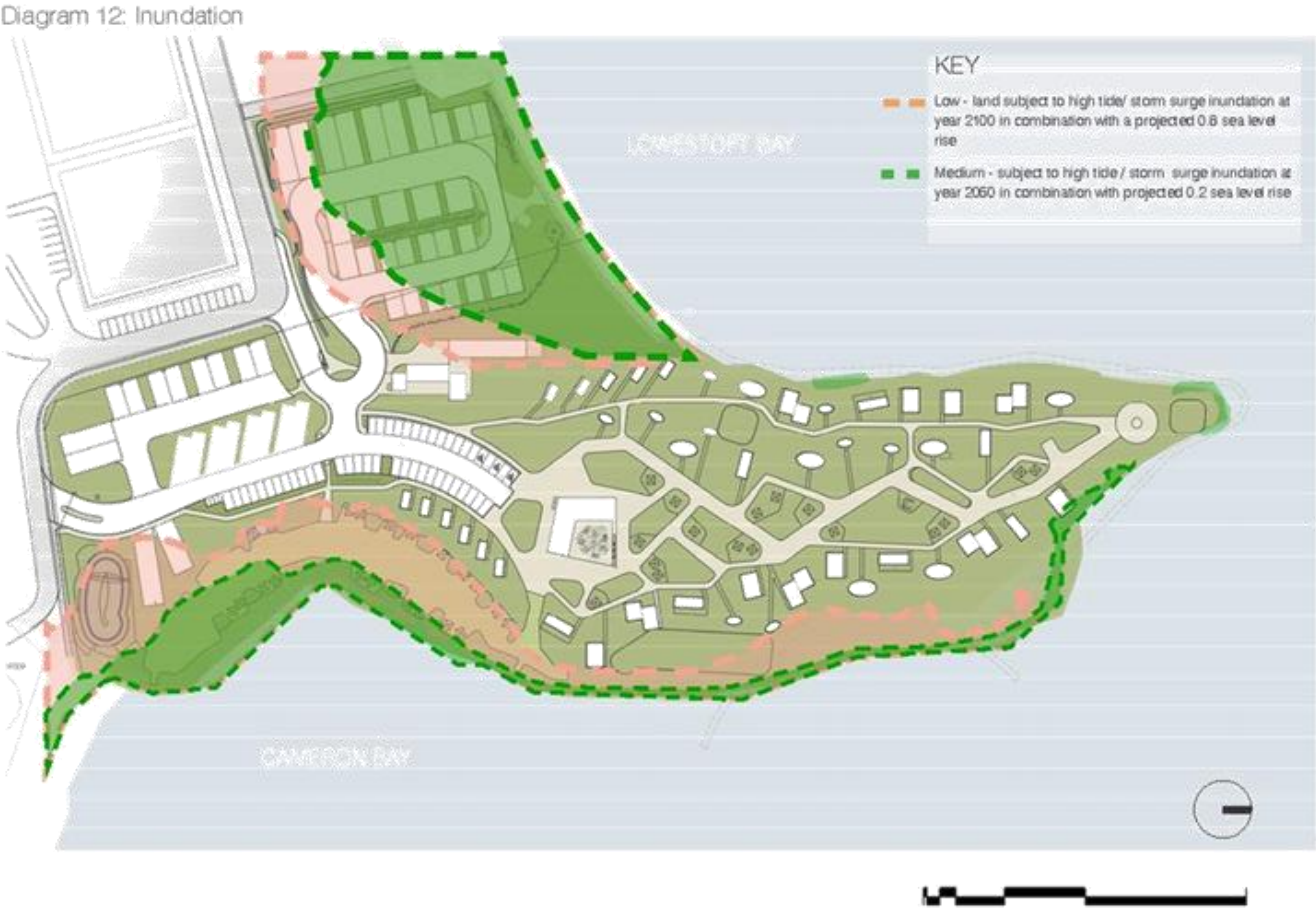


Diagram 11: Lighting Zones



1.1.9 Inundation

The inundation diagram demonstrates that the manager's residence is located within the inundation zone, however, the floor level of the building is located above the inundation level.



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Diagram 13: Construction Staging Diagram



- KEY
- Stage 1 Works: All buildings and civil works including camping, caravan, services and groundwork preparation for pods. Excludes pods.
 - Stage 2 Works: Pods
 - Future public walkway works by others. Not included in the scope of this project.



2.0 ARCHITECTURE RESPONSE TO VISITOR AND SITE PERSONALITY

The design approach has been influenced by the following key factors:

- the caravan/camping ground is in the middle of suburbia in the municipality of Glenorchy rather than in an unpopulated natural bush or coastal setting;
- the desire to have a range of affordable accommodation suiting a broad cross-section of people from different walks of life;
- people who will predominantly use the site will likely be there to experience Mona, urban events and the city;
- the Mona brand.

This site, due to its location and proximity to the city, isn't about getting away from it all, which people normally associate with this type of accommodation, however privacy and natural landscape is still a critical part of the experience.

Zones have been created within the development that allow for varied experiences in different parts of the site that will cater for a mix-bag of urban campers who may want to visit. These zones are articulated in the diagram opposite.

3.0 ACCOMMODATION 'POD' TYPES AND PERSONALITIES

The new accommodation offered on site will consist of prefabricated 'pods' of different sizes and amenity, and on-site caravans. In addition, as indicated in the zoning diagram, there are sites for tents and mobile homes as well as a communal building with amenities, cooking and washing facilities.

All the accommodation pods are unique, offer choice appealing to different needs and desires, provide varying levels of shelter from the elements, while emphasising the notion of outdoor living with minimum footprints and maximum connection to the outdoors. If they do touch the earth, they do it lightly.

Diagram 14: Site Zoning



4.0 DESCRIPTION OF ACCOMMODATION PODS AND BUILDINGS

The accommodation pods and buildings on the site that form part of this Development Application include:

- 9 x Type 01 Pods (drawings show one typical)
- 7 x Type 02 Pods (drawings show one typical)
- 2 x Type 03 Pods (similar to type 3A but with equitable access)
- 2 x Type 3A pods (access compliant pods - drawings show one typical)
- 3 x Type 3B pods (drawings show one typical)
- 6 x Type 4 pods (drawings show one typical)
- 5 x Type 5 pods (drawings show one typical)
- 11 x Type 6 pods/retro vans (drawings show one typical)
- 1 x Communal Building (central) with amenities, outdoor and sheltered cooking and dining and laundry facilities
- 1 x Manager's residence and kiosk, wash down facility, staff amenities and commercial grade laundry
- 1 x Maintenance Shed and commercial grade laundry
- 1 x Cleaner's Pod

4.1 Materials and Finishes

The pods and communal buildings will be constructed out of highly durable and low maintenance materials to ensure their suitability to the coastal conditions and longevity.

Low carbon footprint building materials will be predominantly used including the following:

- sustainable, highly durable Macrocarpa timber for communal benches, decking and building cladding for a range of the pods and communal buildings;
- locally sourced plywood, clad with highly durable Colorbond sheet, fibre cement sheet or similar;
- sheet metal due to its durability, longevity and low maintenance requirements;
- a mixture of pods will be finished with natural timber, sheet metal and fibre cement sheet which will provide a canvas for artists in residence, providing an everchanging landscape of pods and community engagement.

5.0 ACCESSIBILITY

One of the challenges of this development is creating equitable environments that incorporate design for accessibility that is spatially integral.

The requirement for accessibility for the population of all ages 'Community Access' can be significantly different from the needs in the 'Access to Premises - Building' and the requirements of the Disability Discrimination Act (DDA). Attention needs to be taken away from people's disabilities and instead, focused on creating an enabling environment.

Two of the accommodation pods have been designed to be access compliant. On grade access is also provided to the communal building.

Our proposal focuses on the resolution of complex interrelationships between indoor and outdoor spaces and the resolution of user accessibility.

6.0 ARCHITECTURAL DRAWINGS

Following are the floor plans and elevations of the kiosk, workshop, staff room, manager's residence, amenities building and accommodation pod types.

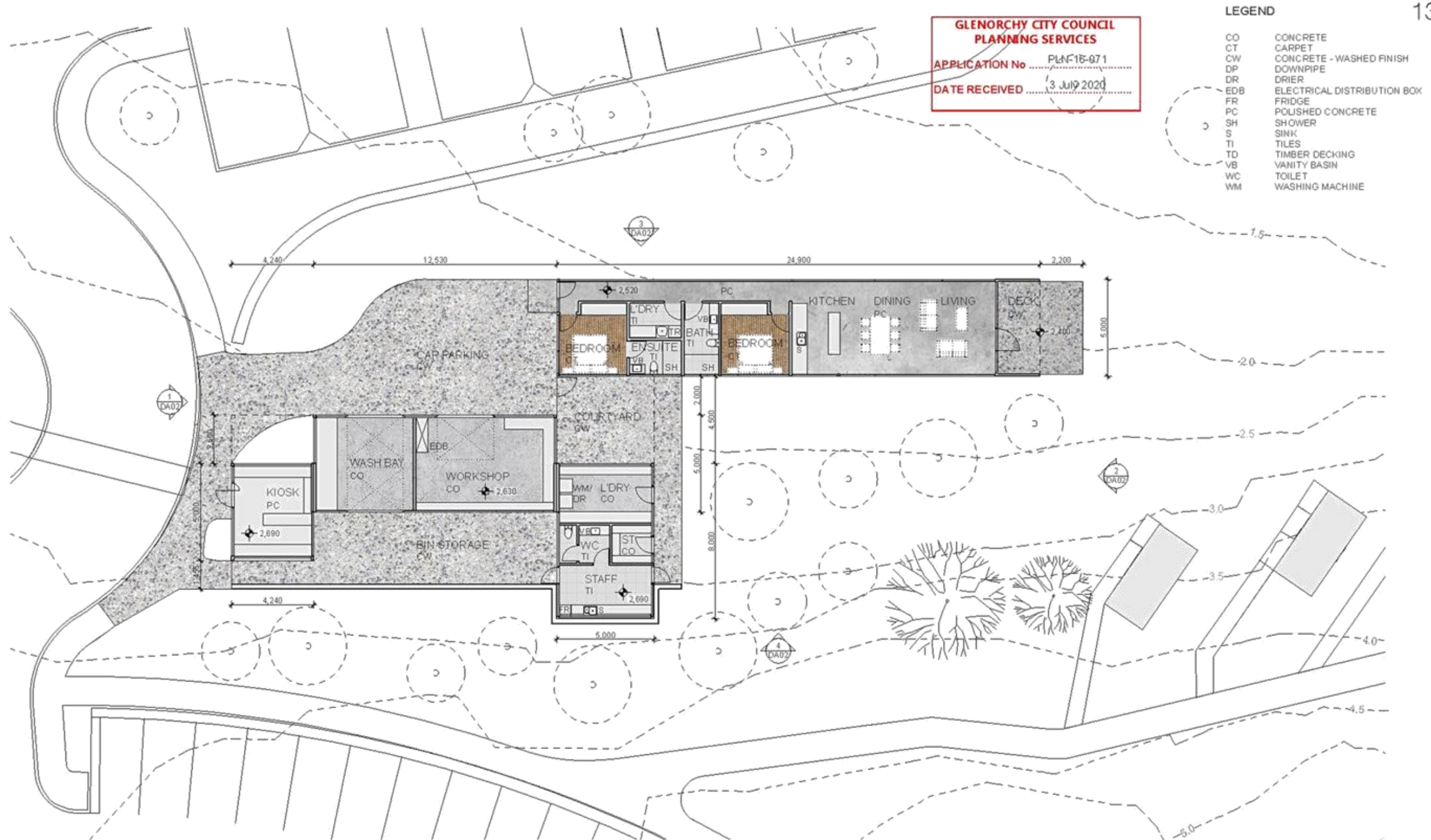
Refer to A1 Drawing "Mona Accommodation Berriedale [Moab] Site Plan" for location of buildings on site.



Indicative view of the communal amenities building and indoor cooking facilities.



Indicative view of the communal amenities building and outdoor cooking facilities.



REV. No.	DESCRIPTION	DATE	PROJECT	TITLE	DRAWING No.	REVISION No.
			MONA ACCOMMODATION BERRIEDALE [Moab]	KIOSK & MANAGER'S RESIDENCE FLOOR PLAN	DA01	B
			CLIENT Mona		DATE PRINTED	24/08/2020
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					PROJECT CODE	MHA
					PROJECT STATUS	SCHEMATIC DESIGN
					Figured dimensions take precedence to scale readings. Verify all dimensions on site. Report any discrepancies to the Architect for decision before proceeding with the work. Copyright ©	
					0 10 20	LENGTH IN MILLIMETRES AT FULL SCALE 700mm

MOAB - GOC DEVELOPMENT APPLICATION - REV B

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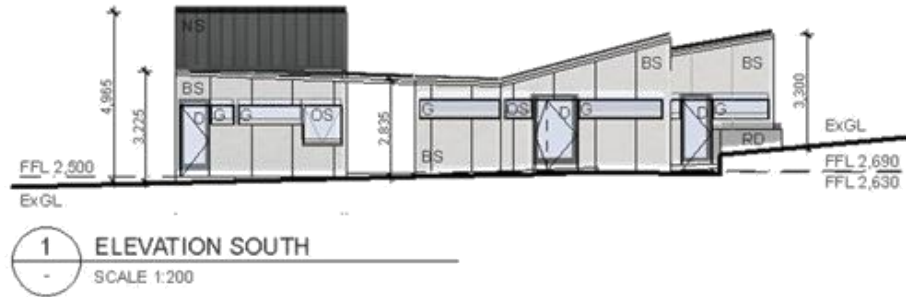
100 New Town Road New Town, Tasmania 7008 T +613 6231 0188
contact@liminalstudio.com.au liminalstudio.com.au
ACN 079131712 PTY LTD TRADING AS LIMINAL ARCHITECTURE

LIMINAL
ARCHITECTURE

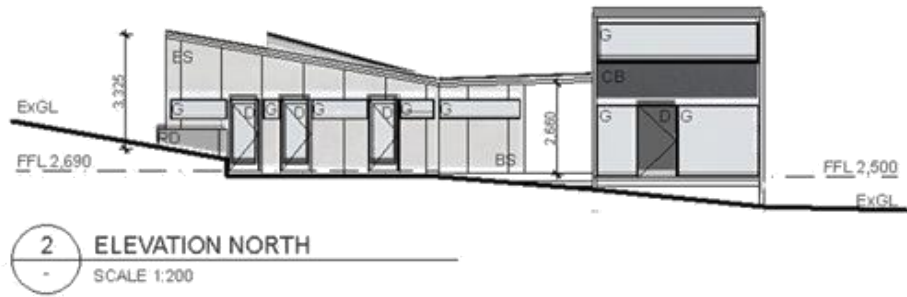
MONA | MOAB

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PLANNING SERVICES

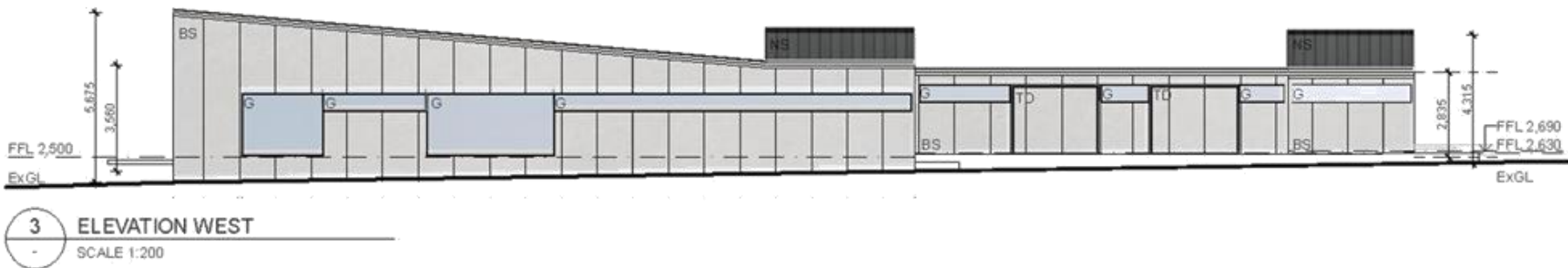
APPLICATION No. PLN-16-071
DATE RECEIVED 3 July 2020



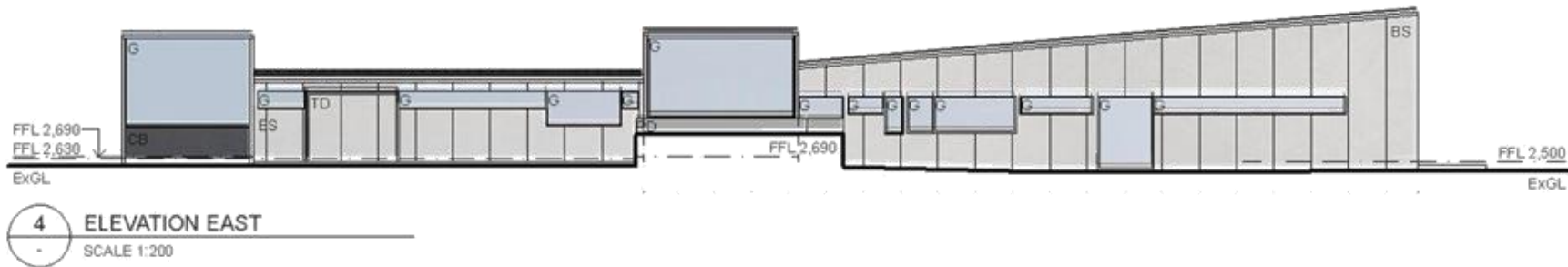
1 ELEVATION SOUTH
SCALE 1:200



2 ELEVATION NORTH
SCALE 1:200



3 ELEVATION WEST
SCALE 1:200



4 ELEVATION EAST
SCALE 1:200

LEGEND

- BS BARESTONE CLADDING
- CB COLOURBOND SHEET
- D GLAZED DOOR
- G GLASS
- NS NAILSTRIP ROOF SHEETING
- OS OPENING SASH
- RD RENDERED BLOCKWORK
- TD TILT-A-DOOR

REV. No.	DESCRIPTION	DATE	PROJECT	TITLE	DRAWING No.	REVISION No.
			MONA ACCOMMODATION BERRIEDALE [Moab]	KIOSK & MANAGER'S RESIDENCE ELEVATIONS	DA02	B
			CLIENT Mona		DATE PRINTED	24/08/2020
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					LENGTH IN MILLIMETRES AT FULL SCALE 700mm	

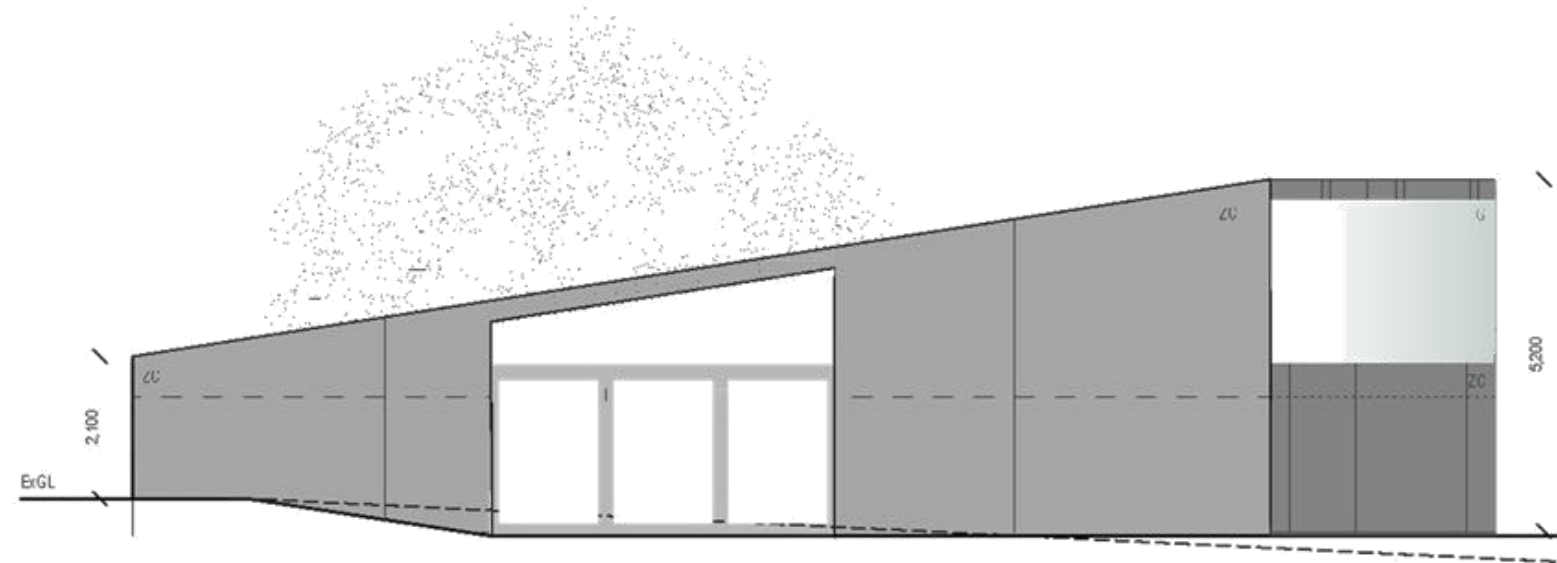


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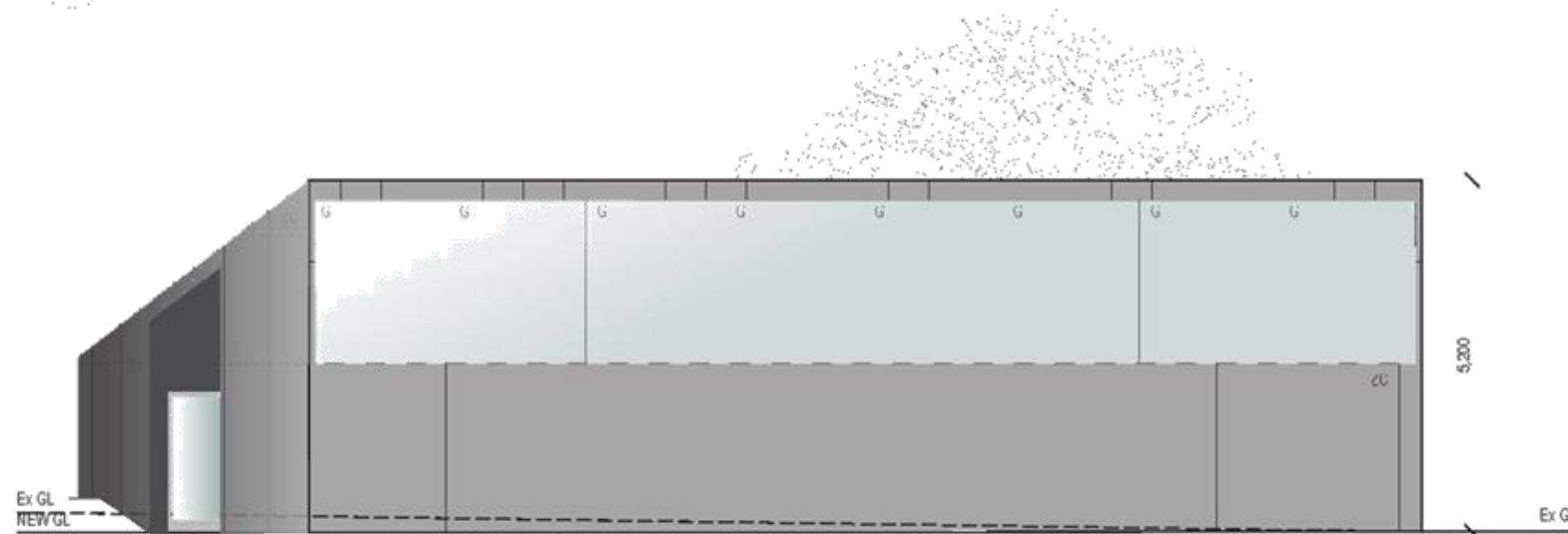
LEGEND

B	BASIN
BBQ	BARBEQUE
CO	CONCRETE
DR	CLOTHES DRIER
FHR	FIRE HOSE REEL
FR	FRIDGE
GC	GAS STOVE TOP
IB	IRONING BOARD
MW	MICROWAVE
PL	PLYWOOD FLOORING
S	SINK
SHW	SHOWER
SV	SAFETY VINYL
TD	TIMBER DECKING
TR	TROUGH
WC	TOILET
WM	WASHING MACHINE

REV. No.	DESCRIPTION	DATE	100 New Town Road New Town Tasmania 7008 T +613 6231 0166 contact@liminalstudio.com.au liminalstudio.com.au ACN 079131712 PTY LTD TRADING AS LIMINAL ARCHITECTURE	PROJECT MONA ACCOMMODATION BERRIEDALE [Moab]	TITLE AMENITIES BUILDING FLOOR PLAN	DRAWING No. DA05 REVISION No. B								
				CLIENT Mona		<table><tr><td>DATE PRINTED</td><td>24/08/2020</td></tr><tr><td>SCALE</td><td>@ A3</td></tr><tr><td>PROJECT CODE</td><td>MHA</td></tr><tr><td>PROJECT STATUS</td><td>\$ CHEMATIC DESIGN</td></tr></table>	DATE PRINTED	24/08/2020	SCALE	@ A3	PROJECT CODE	MHA	PROJECT STATUS	\$ CHEMATIC DESIGN
DATE PRINTED	24/08/2020													
SCALE	@ A3													
PROJECT CODE	MHA													
PROJECT STATUS	\$ CHEMATIC DESIGN													
Figured dimensions take precedence to scale readings. Verify all dimensions on site. Report any discrepancies to the Architect for decision before proceeding with the work. Copyright © 01030 LENGTH IN MILLIMETRES AT FULL SCALE 70m														



1 WEST ELEVATION



2 SOUTH ELEVATION

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LEGEND

G GLASS
ZC ZINC METAL CLADDING
ExGL EXISTING GROUND LEVEL
GL GROUND LEVEL

REV. No.	DESCRIPTION	DATE	PROJECT	TITLE	DRAWING No.	REVISION No.
			MONA ACCOMMODATION BERRIEDALE [Moab]	AMENITIES BUILDING ELEVATIONS	DA06	
			CLIENT Mona		DATE PRINTED	24/08/2020
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MOAB - GOC DEVELOPMENT APPLICATION - REV B

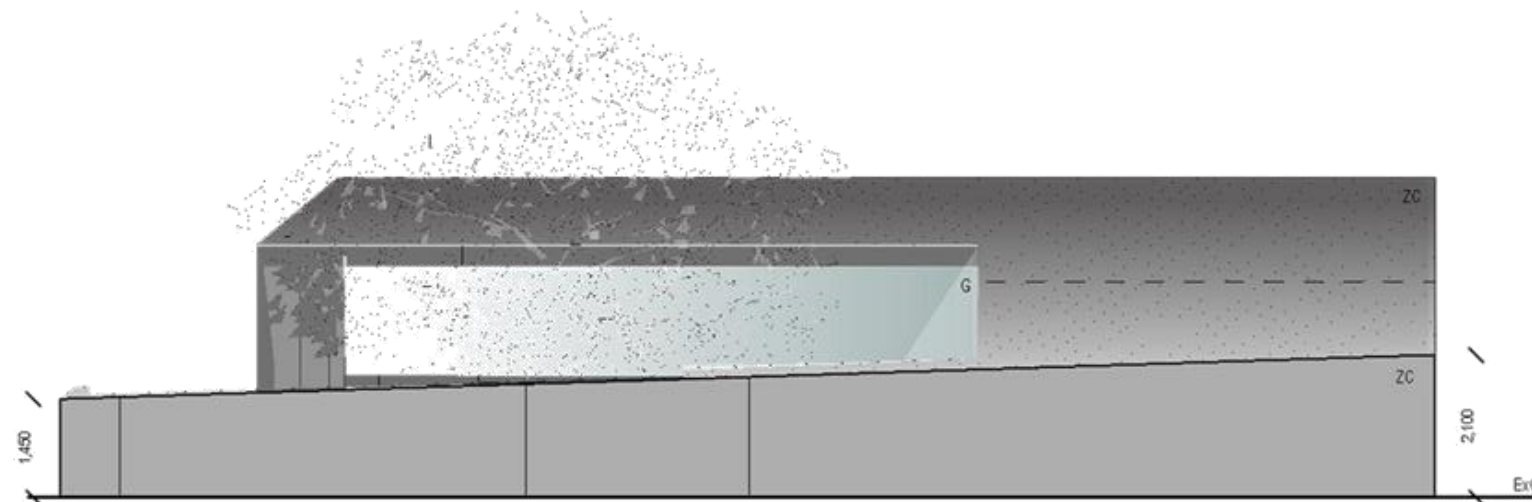
Document Set ID: 2919938

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MONA | MOAB

This architectural section drawing illustrates a building with a sloped roof. The left side shows a tall section labeled 'ZC' with a height of 5,200. The roof is labeled 'G'. Below the roof, there are four small rectangular spaces labeled 'SD' with symbols '>', '< >', '< >', and '<' inside. To the right of these are more spaces labeled 'ZC' and 'G'. Further right, there are more 'ZC' spaces, a 'BENCH' area, and a 'NEW GL' (new glass) section. The right side of the drawing shows a sloped section with a height of 1,450 and a total height of 1,950. The drawing is labeled 'Ex GL' (existing glass) on the left and 'Ex C' (existing concrete) on the right.

2 NORTH ELEVATION



G	GLASS
ZC	ZINC METAL CLADDING
SD	SLIDING GLASS DOOR
ExGL	EXISTING GROUND LEVEL
GL	GROUND LEVEL

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Figured dimensions take precedence to scale readings. Verify all dimensions on site. Report any discrepancies to the Architect for decision before proceeding with the work. 0 10 20 LENGTH IN MILLIMETRES AT FULL SCALE 70mm						Copyright ©	

6.2 Accommodation Pod Types

Type 1 Pod (9 No.)

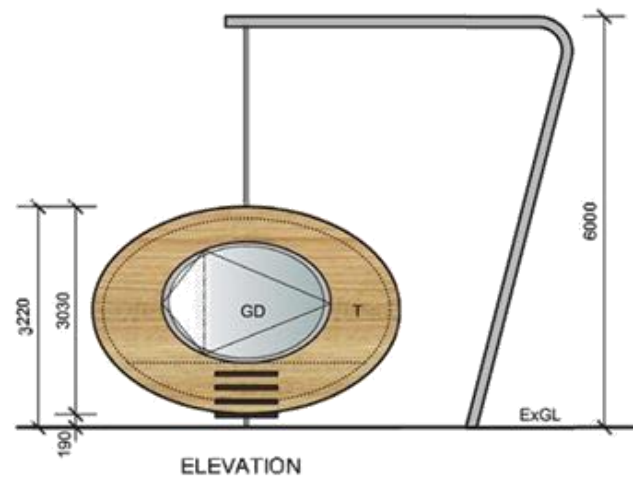
- Basic accommodation with double bed only; approximately 6m²
- Pods suspend from steel poles constrained by ground ties with a fully upholstered interior
- Shells are crafted by local tradespeople finished with timber or painted by artists

Type 2 Pod (7 no.)

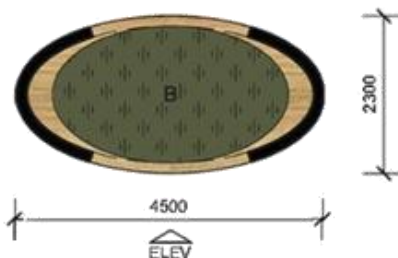
- Studio accommodation with double bed and bathroom; approximately 21m²
- For those wanting a close to nature experience but with washing facilities
- Shells are crafted by local tradespeople finished with timber or painted by artists

Type 3, 3A and 3b Pods (7 no. combined)

- Deluxe accommodation with double bed, bathroom and kitchenette; approximately 22 to 37m²
- For those wanting to luxuriate and enjoy simple pleasures horizontally or vertically!
- Type 3A pods are accessible; Type 3B pods are double height
- Shells are crafted by local tradespeople finished with timber, metal clad or painted by artists



- LEGEND**
- L LIVING
 - K KITCHENETTE
 - B BEDROOM
 - E ENSUITE
 - T TIMBER CLADDING
 - G GLASS
 - GD GLASS DOOR
 - SM SHEET METAL WITH PAINTED ARTWORK SHOWN INDICATIVE



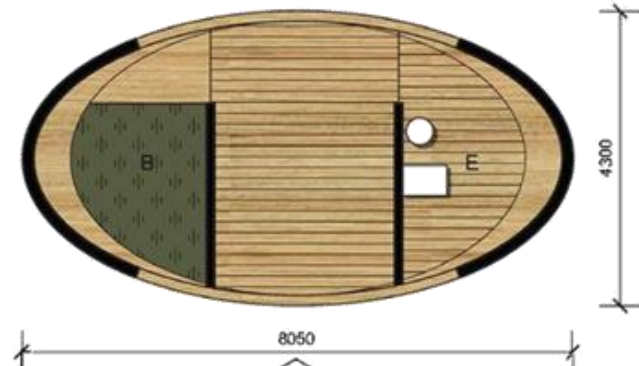
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SCALE 1:100



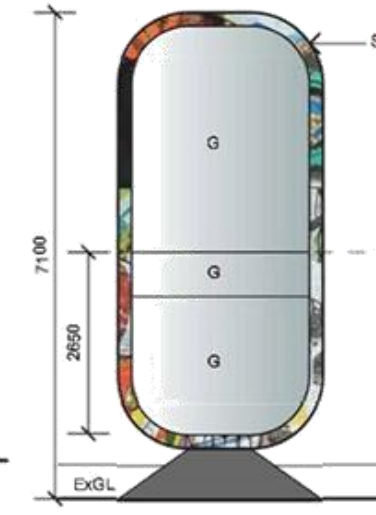
SIDE ELEVATION



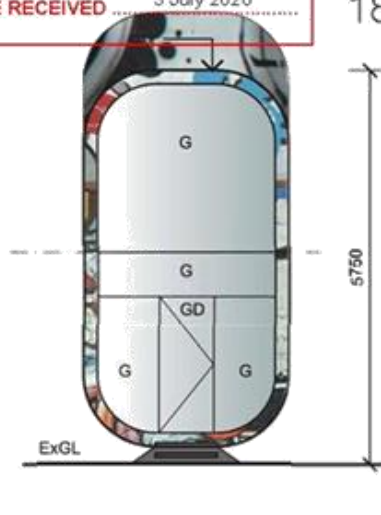
ELEVATION



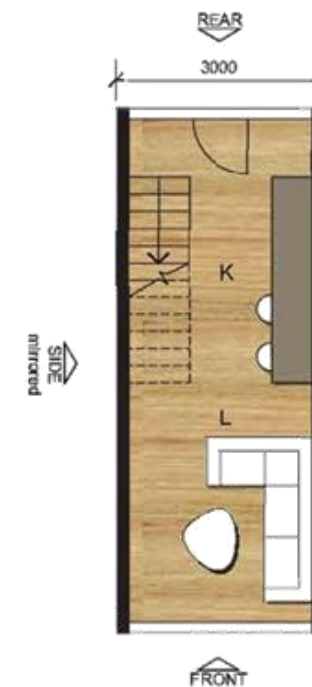
02 POD TYPE 02
SCALE 1:100



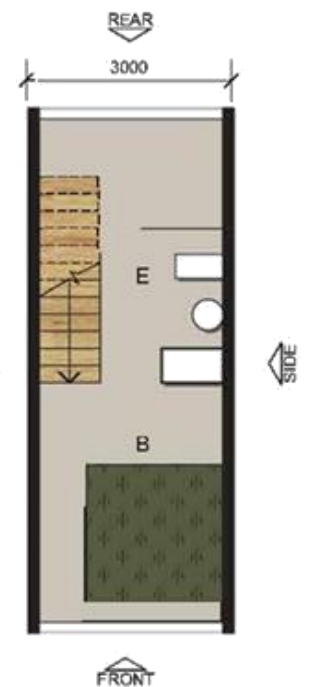
FRONT ELEVATION



REAR ELEVATION



PLAN LEVEL 1



PLAN LEVEL 2

03 POD TYPE 03B
SCALE 1:100

REV. No.	DESCRIPTION	DATE	PROJECT	TITLE	DRAWING No.	REVISION No.
			MONA ACCOMMODATION BERRIEDALE [Moab]	PODS TYPE 1, 2 & 3B PLANS & ELEVATIONS	DA13	
			CLIENT Mona		DATE PRINTED	24/08/2020
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					Figured dimensions take precedence to scale readings. Verify all dimensions on site. Report any discrepancies to the Architect for decision before proceeding with the work. Copyright ©	
					10	20 LENGTH IN MILLIMETRES AT FULL SCALE 700mm

MOAB - GOC DEVELOPMENT APPLICATION - REV B

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ACN 079131712 PTY LTD TRADING AS LIMINAL ARCHITECTURE

CLIENT
Mona

MONA | MOAB

Cleaner's Pod (1 no.)

- Centralised store for cleaning products and linens

Type 3a Pod (2 no.)

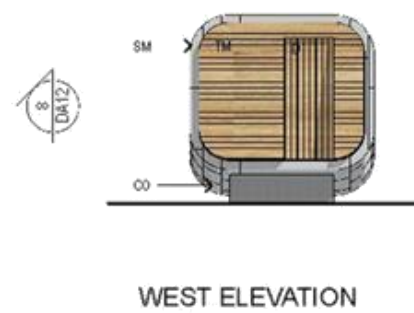
- Access compliant

Type 6 Pod - on-site retro caravans (11 no.)

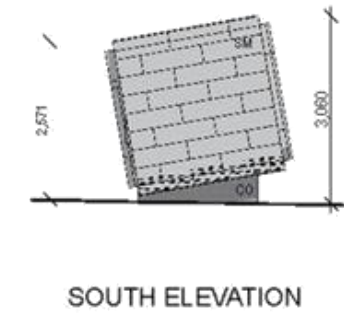
- On-site caravan with double bed, small bench for dining and kitchenette; approximately 10m² internally
- For those wanting to reminisce with a choice of being in the more secluded zone or social zone of the site
- Caravan fitout by local manufacturers and craftspeople



FLOOR PLAN



WEST ELEVATION



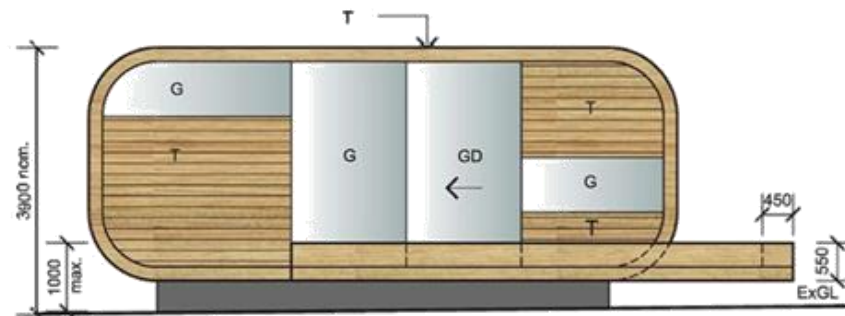
SOUTH ELEVATION

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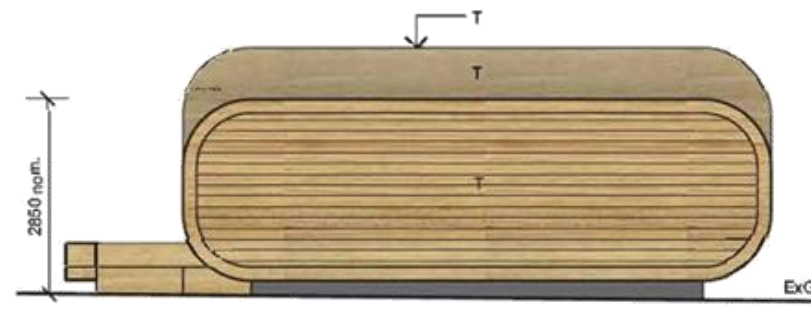
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DATE RECEIVED 3 July 2020

19



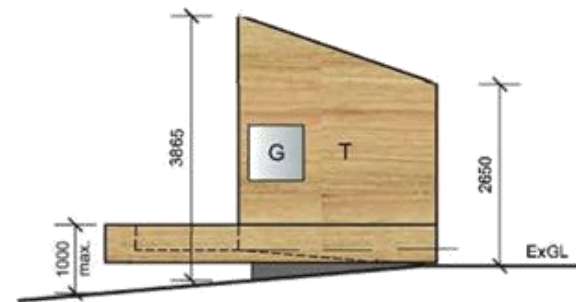
FRONT ELEVATION



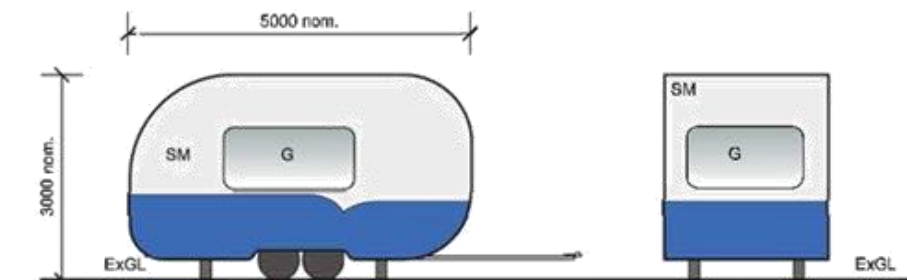
REAR ELEVATION



FRONT PLAN

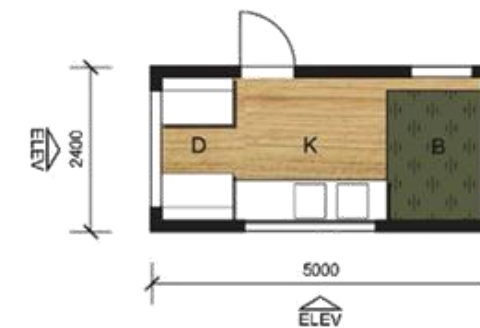


SIDE



ELEVATION

SIDE



PLAN

LEGEND

- K KITCHENETTE
- D DINING
- B BEDROOM
- E ENSUITE
- DK DECK
- T TIMBER CLADDING
- G GLASS
- GD GLASS DOOR
- SM SHEET METAL WITH PAINTED ARTWORK SHOWN INDICATIVE

01 POD TYPE 03A - ACCESSIBLE (INDICATIVE)
SCALE 1:100

02 POD TYPE 06
SCALE 1:100

REV. No.	DESCRIPTION	DATE	PROJECT	TITLE	DRAWING No.	REVISION No.
			MONA ACCOMMODATION BERRIEDALE [Moab]	PODS TYPE 3A & 6 PLANS & ELEVATIONS	DA14	
			CLIENT Mona		DATE PRINTED	24/08/2020
					SCALE	@ A3
					PROJECT CODE	MHA
					PROJECT STATUS	SCHEMATIC DESIGN
					Figured dimensions take precedence to scale readings. Verify all dimensions on site. Report any discrepancies to the Architect for decision before proceeding with the work. Copyright ©	
					10	20 LENGTH IN MILLIMETRES AT FULL SCALE 700mm

MOAB - GOC DEVELOPMENT APPLICATION - REV B

Document Set ID: 2919938

Version: 1 Version Date: 01/12/2020

LIMINAL
ARCHITECTURE

100 New Town Road New Town, Tasmania 7008 T +613 6231 0188
contact@liminalstudio.com.au liminalstudio.com.au
ACN 079131712 PTY LTD TRADING AS LIMINAL ARCHITECTURE

PROJECT
MONA ACCOMMODATION
BERRIEDALE
[Moab]

CLIENT
Mona

TITLE
PODS
TYPE 3A & 6 PLANS & ELEVATIONS

REV. No.	DESCRIPTION	DATE

MONA | MOAB

GLENORCHY CITY COUNCIL

PLANNING SERVICES

APPLICATION No

PLN-16-071

DATE RECEIVED

3 July 2020

- 6.3 Indicative images of site scenes and uses
- Image 1: Precedent image of community-focused campers who will enjoy the 'social zone' tailored for those wanting to engage and be part of a social environment. Tents are concentrated on the flat area on the eastern side. Visitors bring their own tent and pitch on the platforms provided.
 - Image 2: Meandering pathways within the heavily landscaped 'quiet zone'.
 - Image 3: Within the 'quiet zone' are spots for those wanting to pitch their tent where there is a little more privacy and time-out from the festivities. BYO tents are pitched on timber platforms that are scattered within the bushy 'quiet zone'.
 - Image 4: Indicative views of accommodation types within the landscape. The relationship between the natural topography and pods will be used to provide varied experiences within the site.





Submission to Planning Authority Notice

Council Planning Permit No.	PLN-16-071 - Appeal 64/16P		Council notice date	28/04/2016
TasWater details				
TasWater Reference No.	TWDA 2016/00542-GCC		Date of response	16/07/2020
TasWater Contact	Anthony Cengia	Phone No.	(03) 6237 8243	
Response issued to				
Council name	GLENORCHY CITY COUNCIL			
Contact details	gccmail@gcc.tas.gov.au			
Development details				
Address	1 ALCORSO DR, BERRIEDALE		Property ID (PID)	1450345
Description of development	Caravan Park Redevelopment			
Schedule of drawings/documents				
Prepared by	Drawing/document No.	Revision No.	Date of Issue	
JMG	J151169CH Sheets C01, C02, C03, C04, C05, C06, C07	1	05/04/2016	
LIMINAL SPACES	Landscape Architectural Design and Proposed Buildings Drawings	Revision B	Received by Council 03/07/2020	
LIMINAL SPACES	Master Plan		30/06/2020	
Conditions				
SUBMISSION TO PLANNING AUTHORITY NOTICE OF PLANNING APPLICATION REFERRAL				
Pursuant to the <i>Water and Sewerage Industry Act 2008</i> (TAS) Section 56P(1) TasWater imposes the following conditions on the permit for this application:				
CONNECTIONS, METERING & BACKFLOW				
1. A suitably sized 'High Hazard' water supply with metered connections / sewerage system and connection to the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit. 2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost. 3. Prior to commencing construction of the subdivision/use of the development, any water connection utilised for construction/the development must have a backflow prevention device and water meter installed, to the satisfaction of TasWater.				
TRADE WASTE				
4. Prior to the commencement of operation the developer/property owner must obtain Consent to discharge Trade Waste from TasWater. 5. The developer must install appropriately sized and suitable pre-treatment devices prior to gaining Consent to discharge. 6. The Developer/property owner must comply with all TasWater conditions prescribed in the Trade Waste Consent				



EASEMENTS & ENDORSEMENTS

7. Prior to submitting documentation to TasWater for Certificate(s) for Certifiable Work (Building and/or Plumbing) / the applicant must demonstrate that legal access for any sewer services crossing 671 MAIN RD BERRIEDALE TAS 7011 (C.T. 139511/1) is in place.

DEVELOPMENT ASSESSMENT FEES

8. The applicant or landowner as the case may be, must pay a development assessment fee of \$1,139.79 to TasWater, as approved by the Economic Regulator and the fees will be indexed, until the date paid to TasWater.

The payment is required by the due date as noted on the statement when issued by TasWater.

Advice

General

For information on TasWater development standards, please visit

<https://www.taswater.com.au/Development/Technical-Standards>

For application forms please visit <http://www.taswater.com.au/Development/Forms>

Service Locations

Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.

A copy of the GIS is included in email with this notice and should aid in updating of the documentation.

The location of this infrastructure as shown on the GIS is indicative only.

- A permit is required to work within TasWater's easements or in the vicinity of its infrastructure. Further information can be obtained from TasWater
- TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit www.taswater.com.au/Development/Service-location for a list of companies
- TasWater will locate residential water stop taps free of charge
- Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.

Trade Waste

Prior to any Building and/or Plumbing work being undertaken, the applicant will need to make an application to TasWater for a Certificate for Certifiable Work (Building and/or Plumbing). The Certificate for Certifiable Work (Building and/or Plumbing) must accompany all documentation submitted to Council. Documentation must include a floor and site plan with:

Location, type and if applicable, volume, of all pre-treatment devices as specified within the Commercial Customers Pre-treatment Guidelines available from www.TasWater.com.au

Laundry facilities require a cooling pit, laundry facilities within caravan parks that are open to the general public require a Consent to Discharge Trade Waste. Similarly, kitchen facilities open to the general public require a Consent to Discharge Trade Waste.

The washbay will be subject to trade waste charges and require a Consent to Discharge Trade Waste. As per the current version of the Price and Services Plan the trade waste charge will be based upon the highest risk trade waste activity, in relation to this proposal, the washbay will determine the trade waste charge category.

Plumbing plans specifying all fixtures to be connected to the pre-treatment; and



Location of a hose tap within 6m of pre-treatment for the purposes of cleaning pre-treatment devices (excluding basket arrestors). Backflow protection is required as per the relevant Australian Standard. At the time of submitting the Certificate for Certifiable Work (Building and/or Plumbing) a Trade Waste Application form is also required. The application forms are available at <http://www.taswater.com.au/Customers/Liquid-Trade-waste/Commercial>

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

Authorised by

A handwritten signature in black ink, appearing to read "J. Taylor".

Jason Taylor
Development Assessment Manager

TasWater Contact Details

Email	development@taswater.com.au	Web	www.taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001		

825 Brooker Highway, Montrose - Montrose Foreshore Park



Montrose Foreshore Park Playspace



Number	Play Element & Feature
1	Main Entry
2	Urban Play Zone, Berliner
3	Ball Game and ride Zone
4	Sand & Balance Zone
5	Water Play Zone
6	BBQ and Seating Zone
7	Nature Play Zone
8	Slide Zone
9	Nature Forest Play Zone
10	Cable Way (Flying Fox)
11	Kunanyi Play Zone
*	Existing Public Toilet
+	Future Car Park
#	Skatepark

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No PLN-20-436

DATE RECEIVED 30/09/2020

LANDSCAPE DOCUMENTATION SET

20-05 MONTROSE FORESHORE PARK REDEVELOPMENT
BROOKER HWY, GLENORCHY
TASMANIA 7010

DWG NO.	REV.	DRAWING TITLE	SCALE	DATE ISSUED
L000	A	TITLE SHEET	AS SHOWN	
L001	A	TREE PROTECTION PLAN URBAN PLAY	1:200 @ A1	
L002	A	TREE PROTECTION PLAN WILD PLAY	1:200 @ A1	
L003	A	SITE WORKS PLAN	1:500 @ A1	
L100	A	DEMOLITION PLAN	1:200 @ A1	
L200	A	LEVELS & GRADING PLAN URBAN PLAY	1:200 @ A1	
L201	A	LEVELS & GRADING PLAN WILD PLAY	1:200 @ A1	
L300	A	SURFACES SCHEDULE	1:200 @ A1	
L301	A	SURFACES & MATERIAL PLAN URBAN PLAY	1:200 @ A1	
L302	A	SURFACES & MATERIAL PLAN WILD PLAY	1:200 @ A1	
L400	A	SET OUT PLAN LEGEND	AS SHOWN	
L401	A	SET OUT PLAN URBAN PLAY	1:200 @ A1	
L402	A	SET OUT PLAN WILD PLAY	1:200 @ A1	
L403	A	PLAY EQUIPMENT DETAILED SETOUT & IMPACT AREAS	AS SHOWN	
L404	A	SITE FURNITURE - LOCATION AND DETAILED SETOUT	AS SHOWN	
L500	A	PLANTING LEGEND & SCHEDULE	AS SHOWN	
L501	A	PLANTING PLAN URBAN PLAY	1:200 @ A1	
L502	A	PLANTING PLAN WILD PLAY	1:200 @ A1	
L600	A	IRRIGATION PLAN URBAN PLAY	1:200 @ A1	
L601	A	IRRIGATION PLAN WILD PLAY	1:200 @ A1	
L700	A	CONSTRUCTION DETAILS	AS SHOWN	
L701	A	CONSTRUCTION DETAILS	AS SHOWN	
L702	A	CONSTRUCTION DETAILS	AS SHOWN	
L703	A	CONSTRUCTION DETAILS	AS SHOWN	
L704	A	CONSTRUCTION DETAILS	AS SHOWN	
L705	A	CONSTRUCTION DETAILS	AS SHOWN	
L706	A	CONSTRUCTION DETAILS	AS SHOWN	
L707	A	CONSTRUCTION DETAILS	AS SHOWN	
L708	A	CONSTRUCTION DETAILS	AS SHOWN	
L709	A	CONSTRUCTION DETAILS	AS SHOWN	
L710	A	CONSTRUCTION DETAILS	AS SHOWN	
L711	A	CONSTRUCTION DETAILS	AS SHOWN	
L712	A	CONSTRUCTION DETAILS	AS SHOWN	
L713	A	CONSTRUCTION DETAILS	AS SHOWN	
L714	A	CONSTRUCTION DETAILS	AS SHOWN	
L715	A	CONSTRUCTION DETAILS	AS SHOWN	



DRAFT FOR REVIEW
14.09.2020

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION NO. **PLN-20-436**
DATE RECEIVED **30/09/2020**

DRAFT FOR REVIEW

REV	AMENDMENTS	DATE
1	Initial design	14/09/20



This drawing must be read in conjunction with other construction documents including the project specifications and any conditions issued during the course of the contract. Contractors must verify all dimensions on site before commencing work of any kind. Do not scale off drawings.

Project:
Montrose Bay Play Space
Client:
Glenorchy City Council
Address:
525 Brooker Ave
Glenorchy

Drawing No.	Title
L-000	TITLE SHEET
Project No.	Drawn
20-05	AKA/PH/CL/DA
Scale	Sheet No.
1:500 @ A1	1
Revision	Drawn
1	DRAFT

DRAFT FOR REVIEW
14.09.2020

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No **PLN-20-436**
DATE RECEIVED **30/09/2020**



DRAFT FOR REVIEW

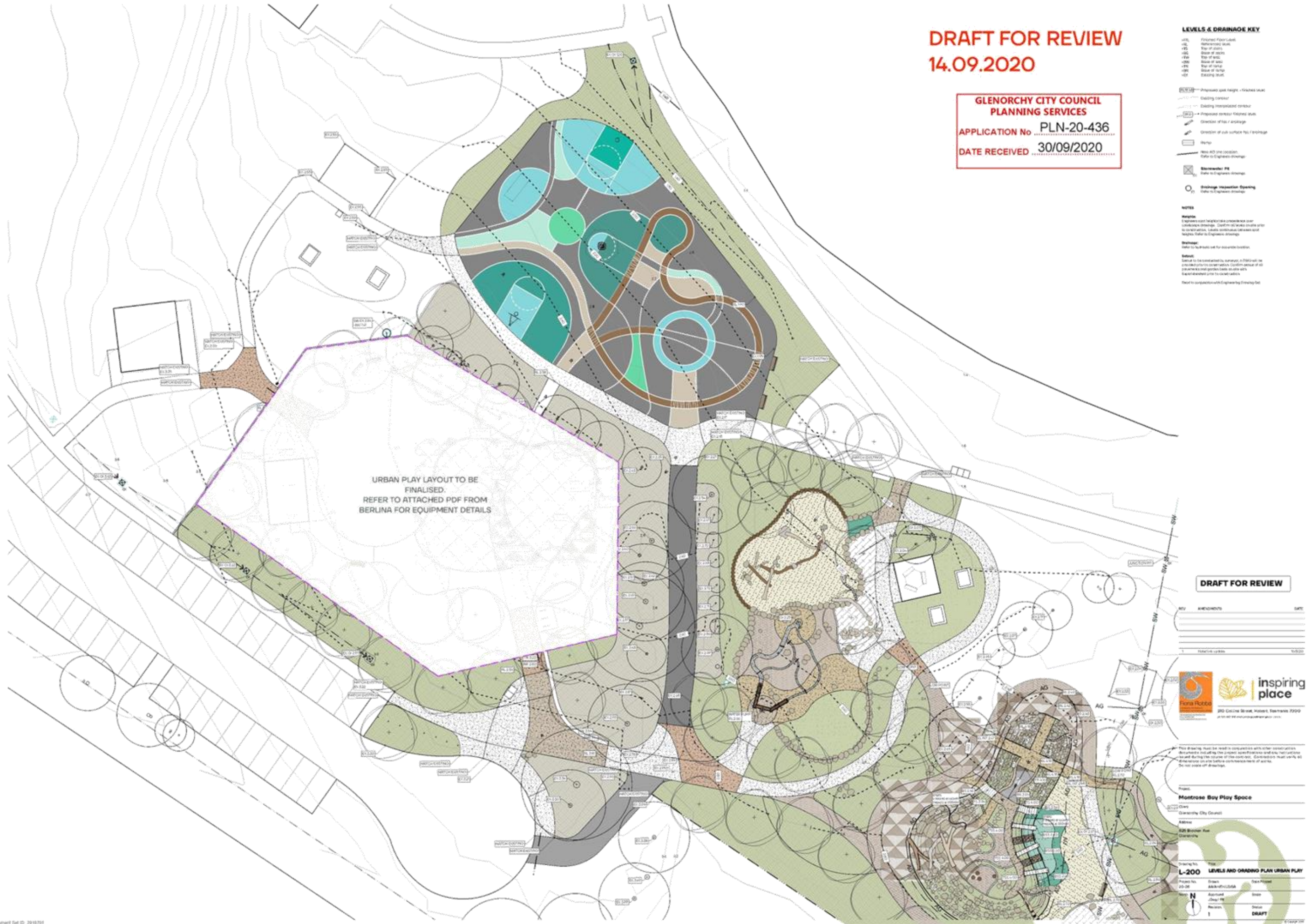
REV	REVISIONS	DATE
1	Initial Issue	14/09/2020



This drawing must be read in conjunction with other construction documents including the project specifications and the terms and conditions of the contract. Contractors must verify all dimensions on site before commencing work. Do not scale off drawings.

Project:
Montrose Bay Play Space
Client:
Glenorchy City Council
Address:
525 Browne Ave
Glenorchy

Drawing No:	PLN-20-436	Project No:	PLN-20-436
Project No:	PLN-20-436	Drawn:	DAVID J. JONES
North:	N	Approved:	J. JONES
		Revised:	
		Status:	DRAFT





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14.09.2020

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No **PLN-20-436**
DATE RECEIVED **30/09/2020**



DRAFT FOR REVIEW

REV	REVISIONS	DATE
1	Initial design	14/09/20



This drawing must be read in conjunction with other construction documents including the project specification and any variations issued during the course of the contract. Contractors must verify all dimensions on site before commencing work of any kind. Do not proceed with drawings.

Project:
Montrose Bay Play Space
Client:
Glenorchy City Council
Address:
825 Brunner Ave
Glenorchy

Drawing No:
L-301
Project No:
20-06
Drawn:
A. McPherson
Checked:
J. McPherson
Scale:
1:100
Status:
DRAFT



**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No **PLN-20-436**
DATE RECEIVED **30/09/2020**

DRAFT FOR REVIEW

REV	AMENDMENTS	DATE
1	Initial design	14/09/20



This drawing must be read in conjunction with other construction documents including the project specification and the construction contract. During the course of the contract, the contractor must verify all dimensions on site before commencing work of any kind. Do not proceed if drawings.

Project:
Montrose Bay Play Space
Client:
Glenorchy City Council
Address:
520 Brunner Ave
Glenorchy

Drawing No:	For:
L-302	SURFACES PLAN WILD PLAY
Project No:	Drawn:
20-06	sketch/initials
Scale:	As shown
North:	North
Revision:	Date:
1	DRAFT

DRAFT FOR REVIEW
14.09.2020

DRAFT FOR REVIEW
14.09.2020

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No **PLN-20-436**
DATE RECEIVED **30/09/2020**





**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No. **PLN-20-436**
DATE RECEIVED **30/09/2020**

DRAFT FOR REVIEW

REV	REVISIONS	DATE
1	Initial design	14/09/20

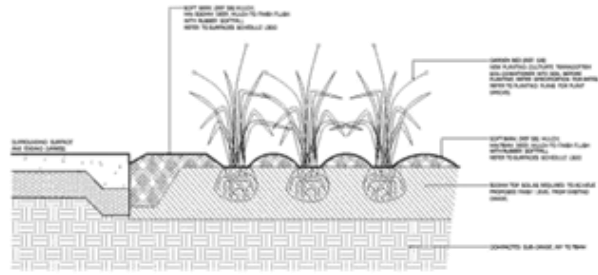


This drawing must be read in conjunction with other construction documents including the project specification and the construction contract. During the course of the contract, the contractor must verify all dimensions on the field and rectify any errors. Do not copy off drawings.

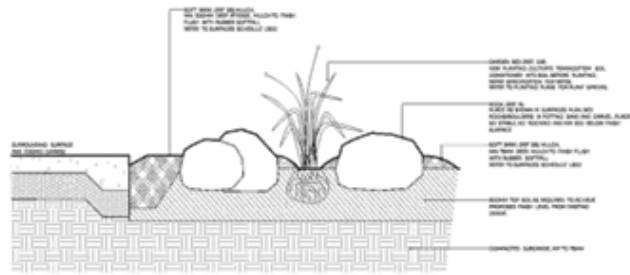
Project:
Montrose Bay Play Space
Client:
Glenorchy City Council
Address:
520 Brunner Ave
Glenorchy

Drawing No.	Plan
L-302	SURFACES PLAN WILD PLAY
Project No.	Drawn
20-06	AKH/ML/2020
Scale	As Shown
North	North
Revision	Date
1	DRAFT

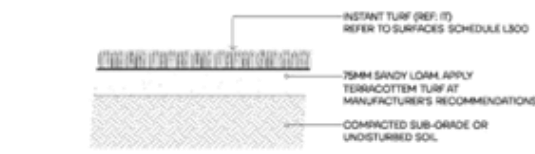
DRAFT FOR REVIEW
14.09.2020



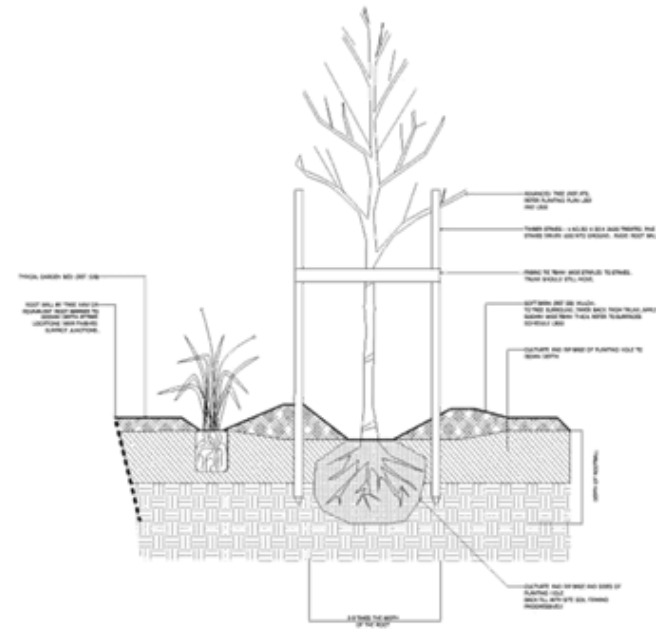
1 Typical Garden Bed Detail
Scale 1:20 @A1



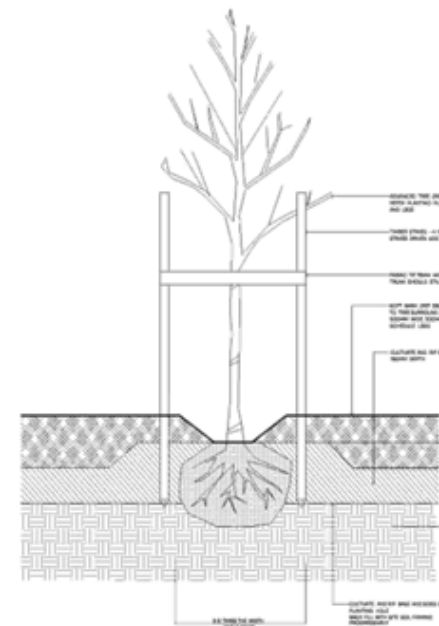
2 Typical Rock in Garden Bed Detail
Scale 1:20 @A1



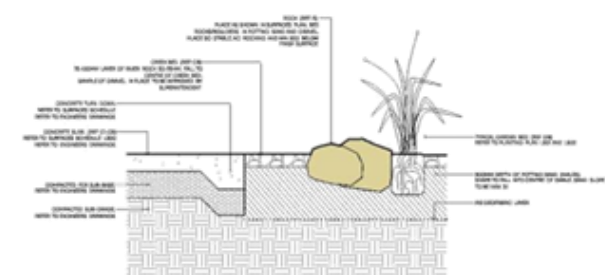
3 Typical Instant Turf Detail
Scale 1:10 @A1



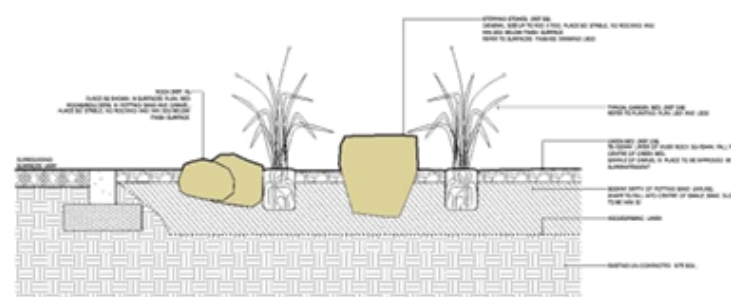
4 Advanced Tree (AT1) in Garden Bed Detail
Scale 1:20 @A1



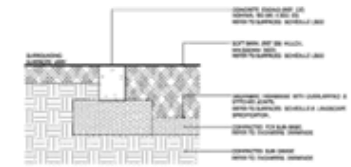
5 Advanced Tree / Soft Bark Mulch Detail
Scale 1:20 @A1



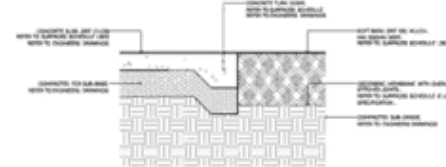
6 Dry Creek / Concrete Path Detail
Scale 1:20 @A1



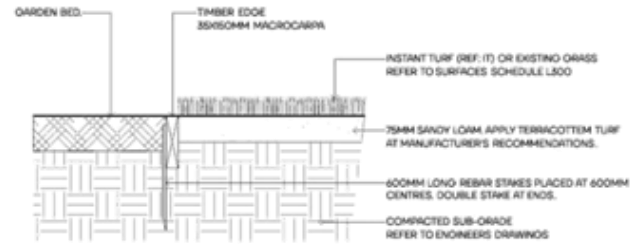
7 Dry Creek / Stepping Stone Detail
Scale 1:20 @A1



9 Soft Bark Concrete Edge Detail
Scale 1:20 @A1



10 Soft Bark To Slab Edge Detail
Scale 1:20 @A1



8 Timber Edge / Garden Bed / Grass Detail
Scale 1:20 @A1

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No **PLN-20-436**
DATE RECEIVED **30/09/2020**

DRAFT FOR REVIEW

REV	AMENDMENTS	DATE
1	Final 016 update	16/09/20

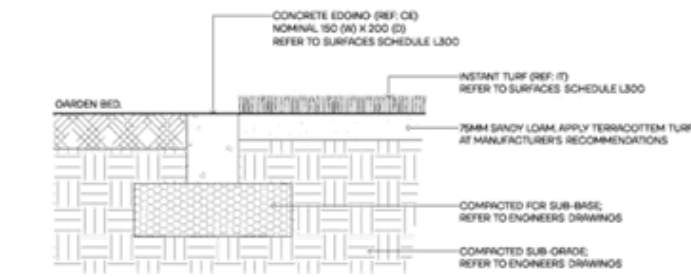


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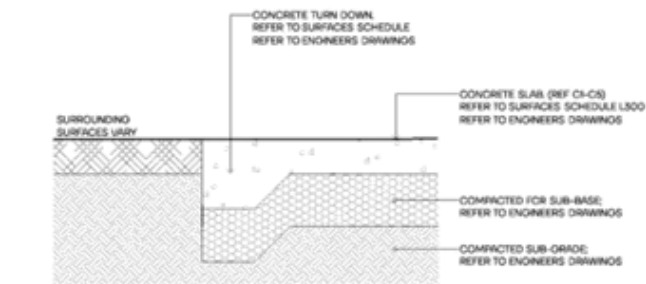
Project:
Montrose Bay Play Space
Client:
Glenorchy City Council
Address:
625 Brunker Ave
Glenorchy

Drawing No.	Title
L-700	DETAILS - LANDSCAPING
Project No.	Drawn
20-06	ANNE/ENL/20/06
North	Approved
	30/09/20
	Scale
1	Status
	DRAFT

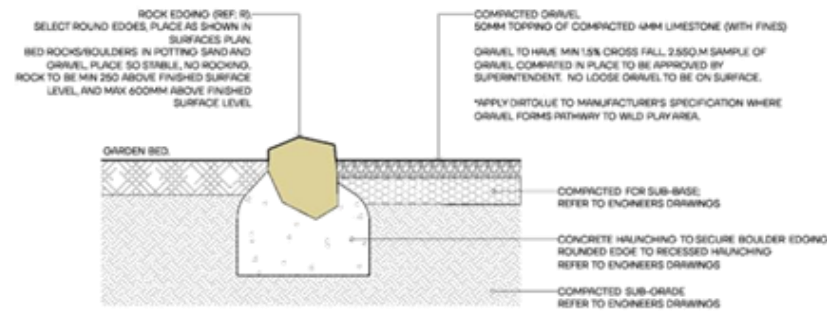
DRAFT FOR REVIEW
14.09.2020



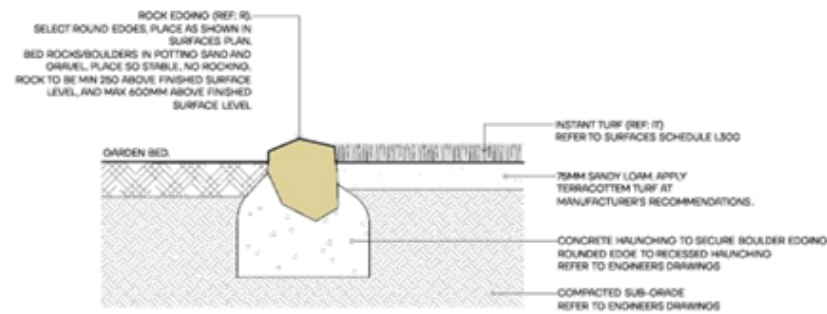
1 Garden Bed / Concrete Edge Detail
Scale 1:10 @A1



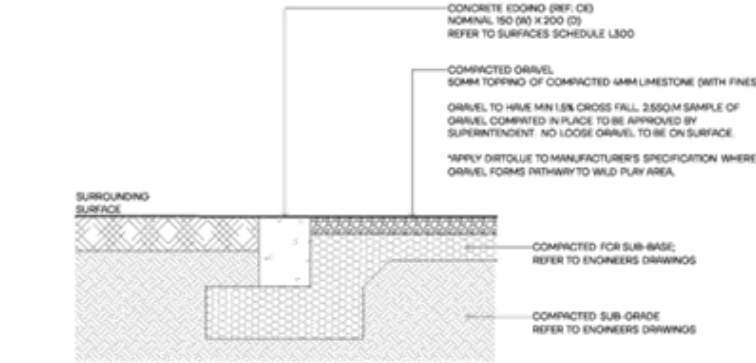
2 Concrete Slab Edge Detail
Scale 1:10 @A1



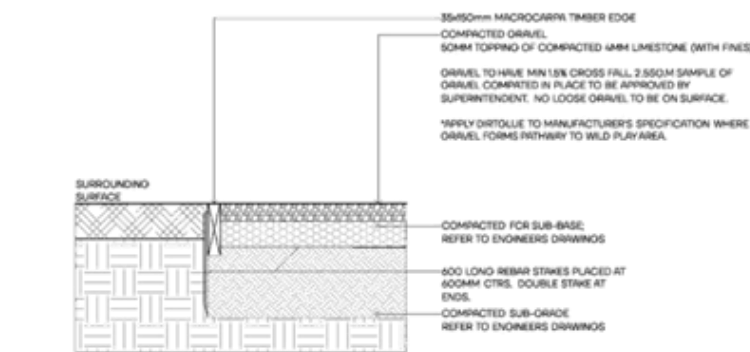
3 Boulder Edge Detail Garden bed / Compacted Gravel
Scale 1:10 @A1



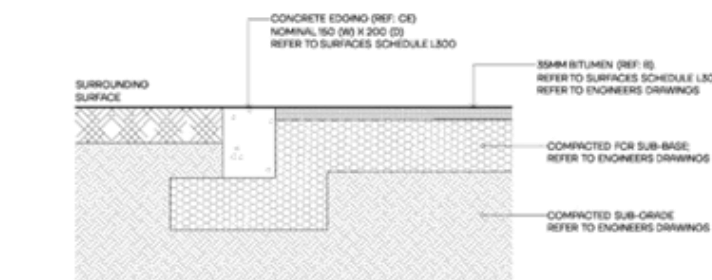
4 Boulder Edge Detail Garden bed / Instant Turf
Scale 1:10 @A1



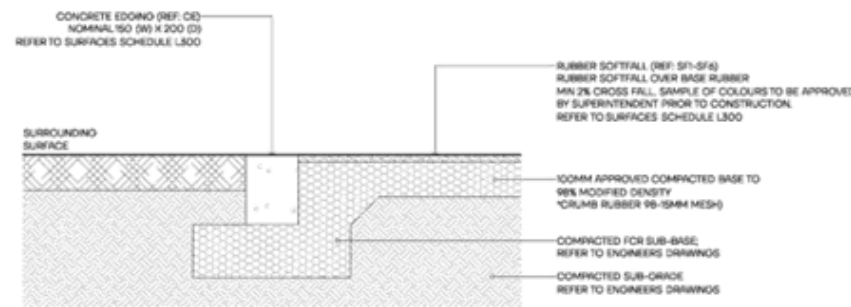
5 Compacted Gravel Concrete Edge Detail
Scale 1:10 @A1



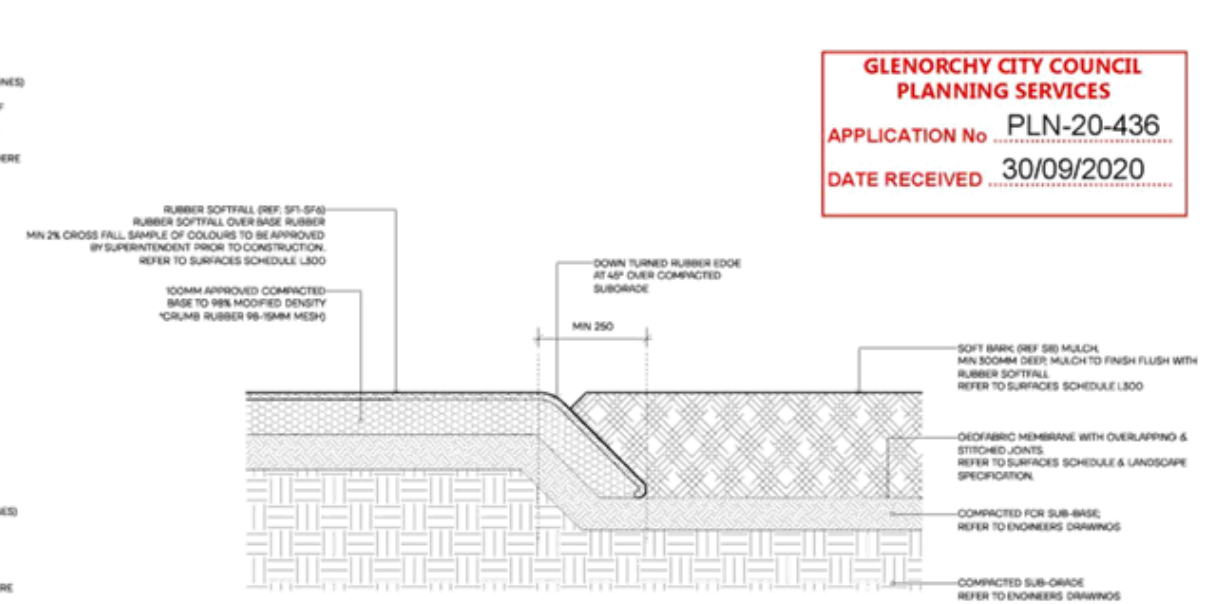
6 Compacted Gravel Timber Edge Detail
Scale 1:10 @A1



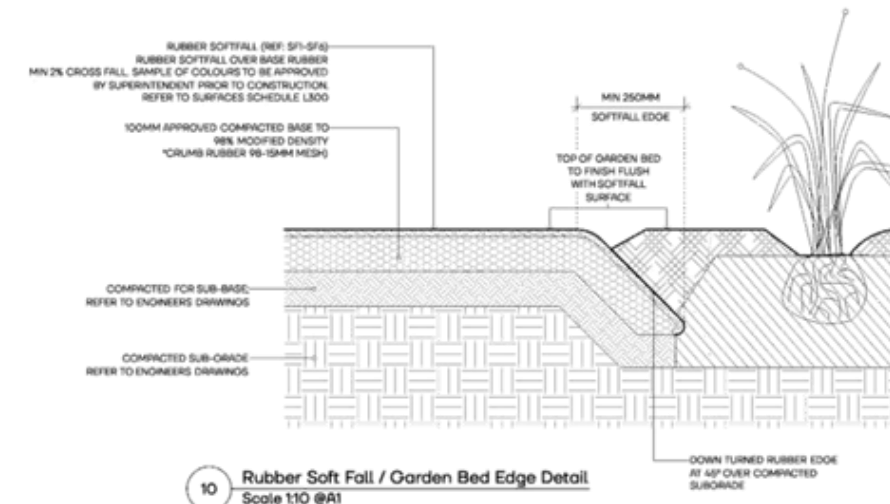
7 Bitumen Edge Detail
Scale 1:10 @A1



8 Rubber Soft Fall / Concrete Edge Detail
Scale 1:10 @A1



9 Rubber Soft Fall / Mulch Edge Detail
Scale 1:10 @A1



10 Rubber Soft Fall / Garden Bed Edge Detail
Scale 1:10 @A1

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No **PLN-20-436**
DATE RECEIVED **30/09/2020**

DRAFT FOR REVIEW

REV	AMENDMENTS	DATE
1	Issue for review	10/09/20

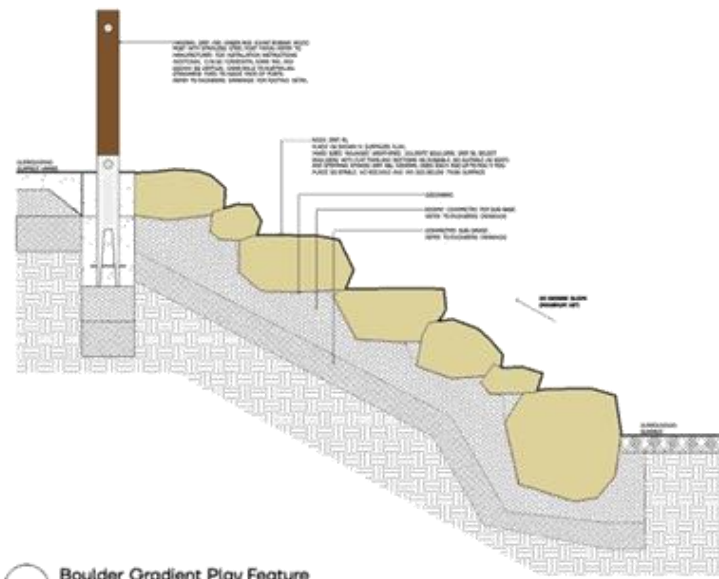


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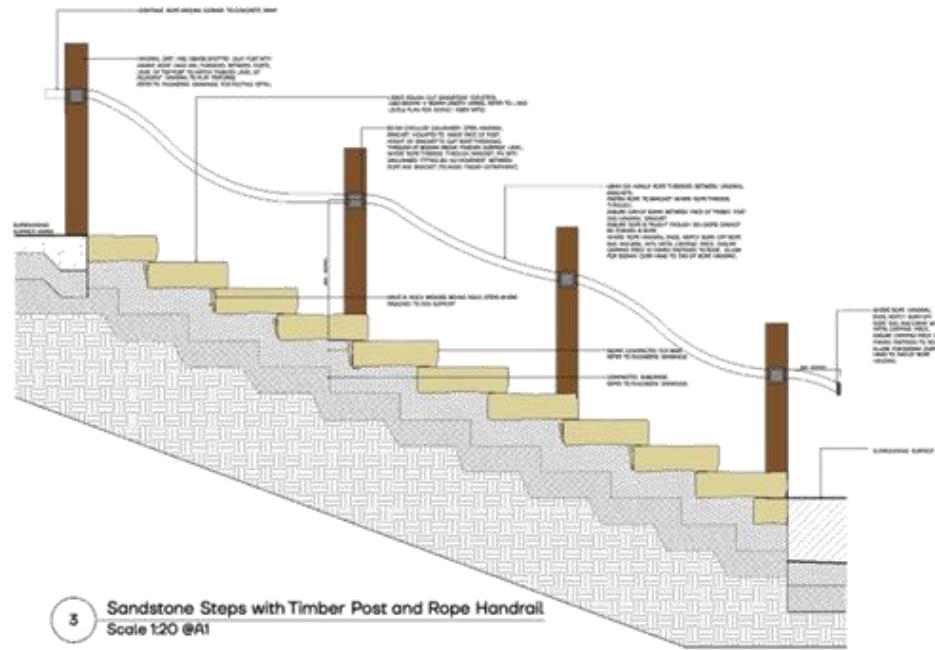
Project:
Montrose Bay Play Space
Client:
Glenorchy City Council
Address:
625 Brudenell Ave
Glenorchy

Drawing No.	Title	
L-701	DETAILS - EDGES	
Project No.	Drawn	Date Printed
20-06	AA/10/20/2020	
North	Approved	Scale
	Jing / FR	
	Revision	Status
	1	DRAFT

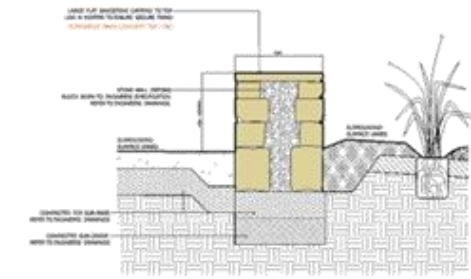
DRAFT FOR REVIEW
14.09.2020



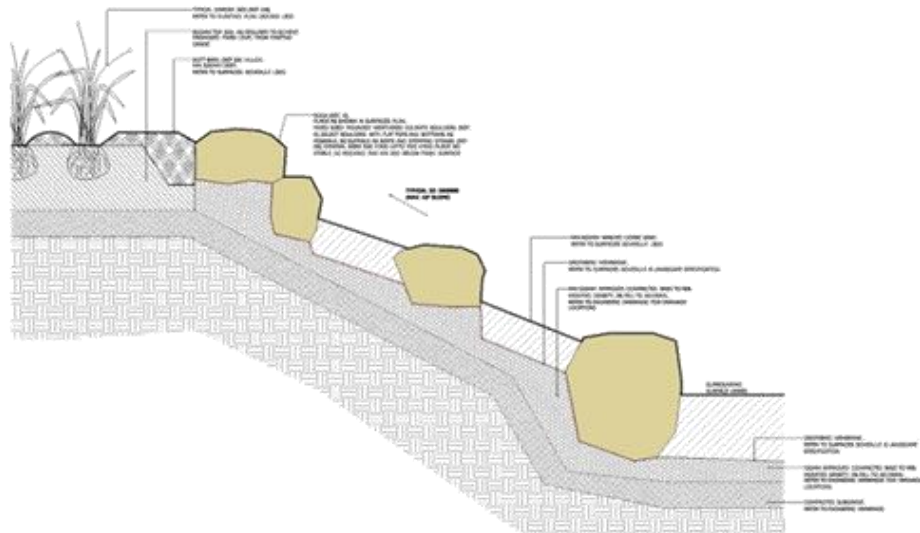
1 Boulder Gradient Play Feature
Scale 1:20 @A1



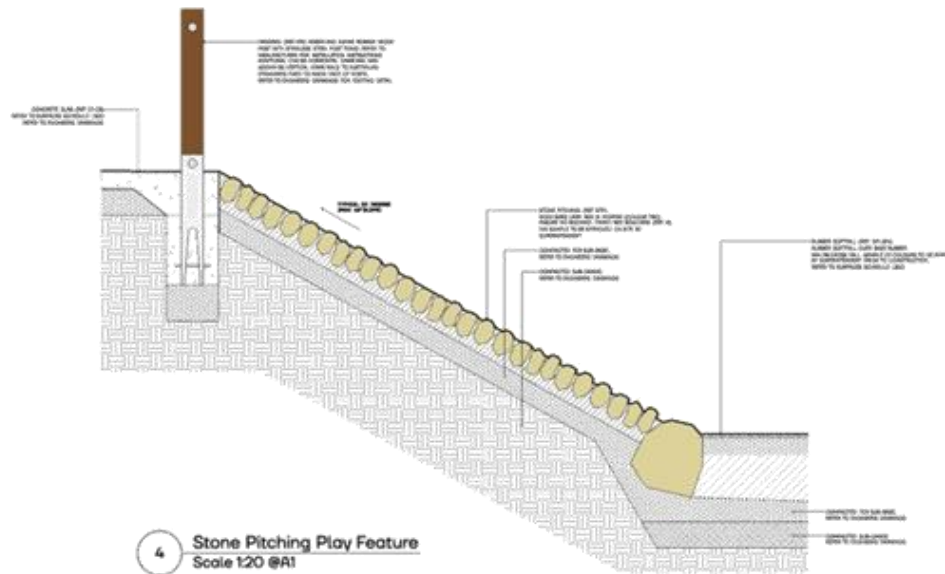
3 Sandstone Steps with Timber Post and Rope Handrail
Scale 1:20 @A1



5 Concrete and Stone Wall Seating Feature
Scale 1:20 @A1



2 Sand Dune Rock Stabilisation
Scale 1:20 @A1



4 Stone Pitching Play Feature
Scale 1:20 @A1

DRAFT FOR REVIEW
14.09.2020

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No **PLN-20-436**
DATE RECEIVED **30/09/2020**

DRAFT FOR REVIEW

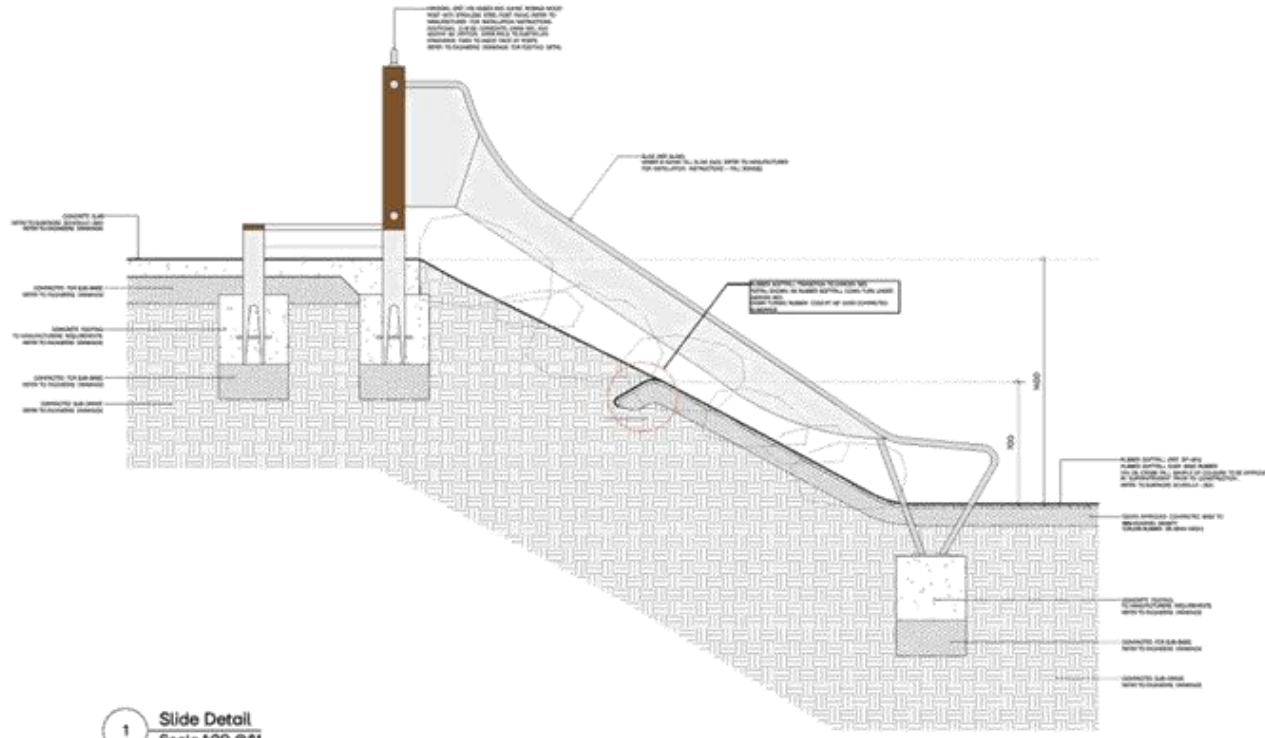
REV	AMENDMENTS	DATE
1	Issue for review	14/09/20



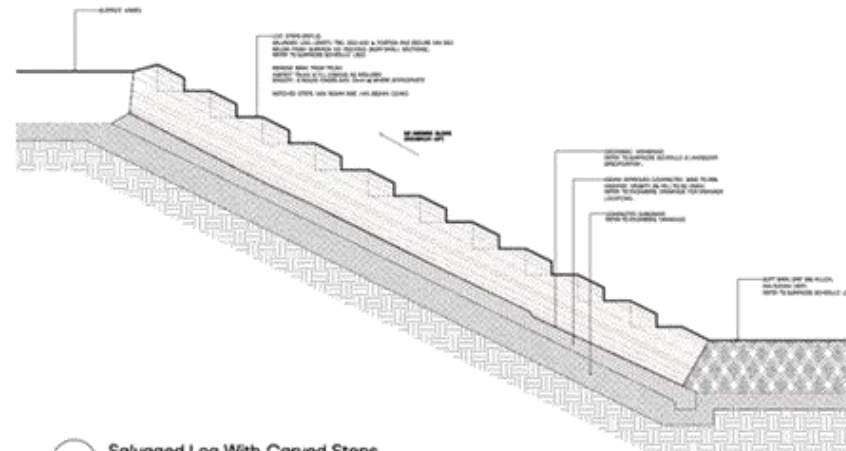
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Project:
Montrose Bay Play Space
Client:
Glenorchy City Council
Address:
625 Brunker Ave
Glenorchy

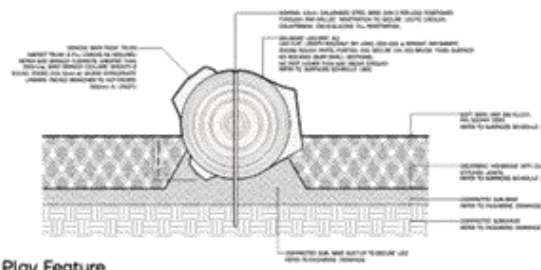
Drawing No.	Title	
L-702	DETAILS - PLAY EQUIPMENT	
Project No.	Drawn	Date/Revised
20-06	AD/AV/ELN/JGA	
North	Approved	Scale
	Allyr/PA	
Revision	By	Date
1		



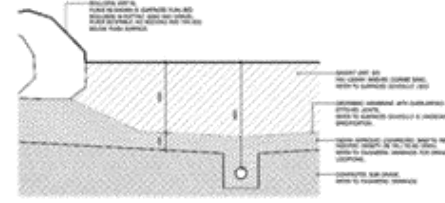
1 Slide Detail
Scale 1:20 @A1



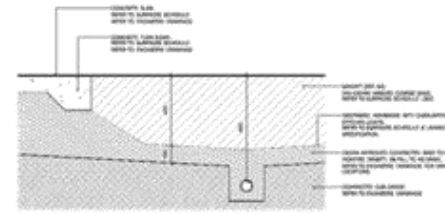
2 Salvaged Log With Carved Steps
Scale 1:20 @A1



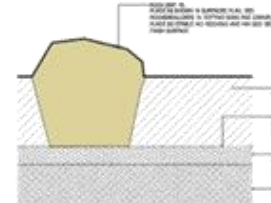
3 Salvaged Log Play Feature
Scale 1:20 @A1



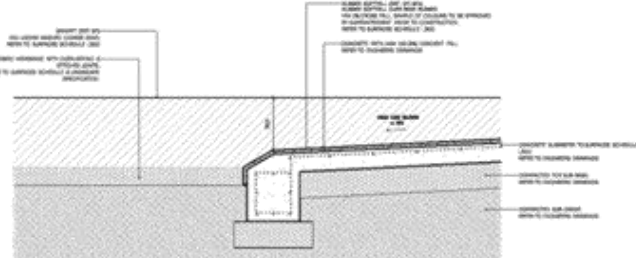
4 Sand Pit / Rock Edge Detail
Scale 1:20 @A1



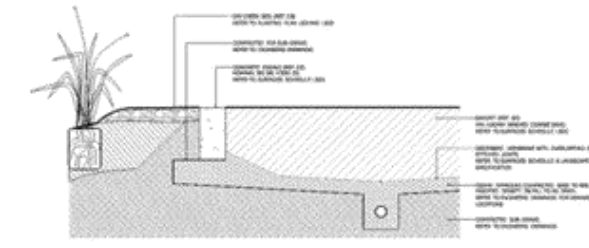
5 Sand Pit / Concrete Path Edge Detail
Scale 1:20 @A1



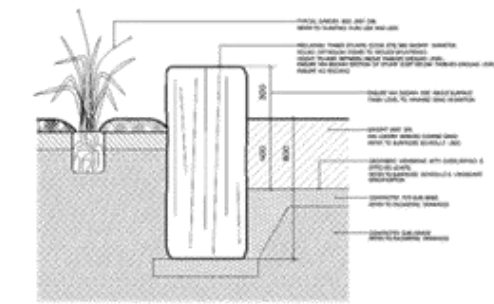
6 Sand Pit / Rock Feature Detail
Scale 1:20 @A1



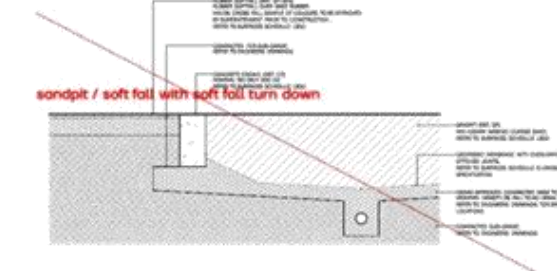
11 Sand Pit / Access Ramp Edge Detail
Scale 1:20 @A1



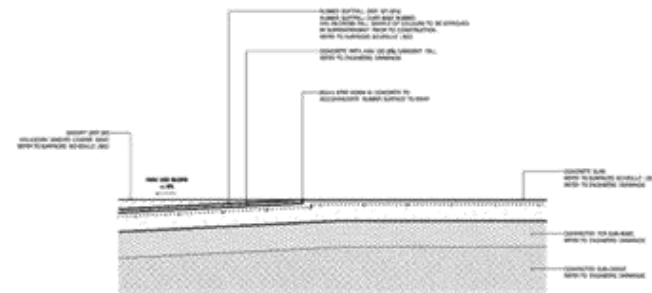
7 Sand Pit / Dry Creek Bed Detail
Scale 1:20 @A3



8 Sand Pit / Log Edge Detail
Scale 1:20 @A1



9 Sand Pit / Soft Fall / Concrete Edge Detail
Scale 1:20 @A1



12 Sand Pit / Access Ramp To Path Detail
Scale 1:20 @A1

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No **PLN-20-436**
DATE RECEIVED **30/09/2020**

**DRAFT FOR REVIEW
14.09.2020**

DRAFT FOR REVIEW

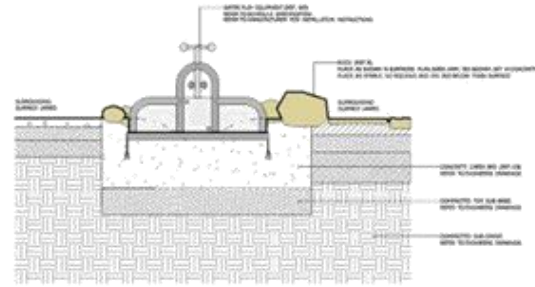
REV	AMENDMENTS	DATE
1	Initial design	14/09/20



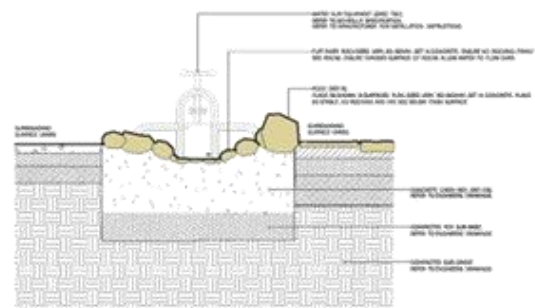
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Project:
Montrose Bay Play Space
Client:
Glenorchy City Council
Address:
625 Brunner Ave
Glenorchy

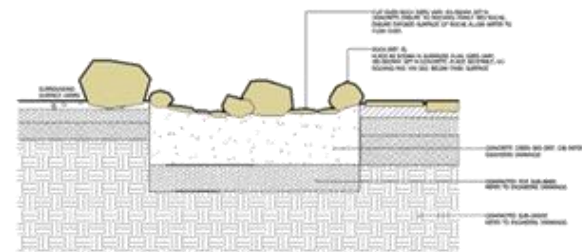
Drawing No.	Title	
L-703	DETAILS - PLAY EQUIPMENT	
Project No.	Drawn	Date Printed
20-06	AD/REVISED/SA	
North	Approved	Scale
	AD/REVISED/SA	
Revision	By	Status
1		DRAFT



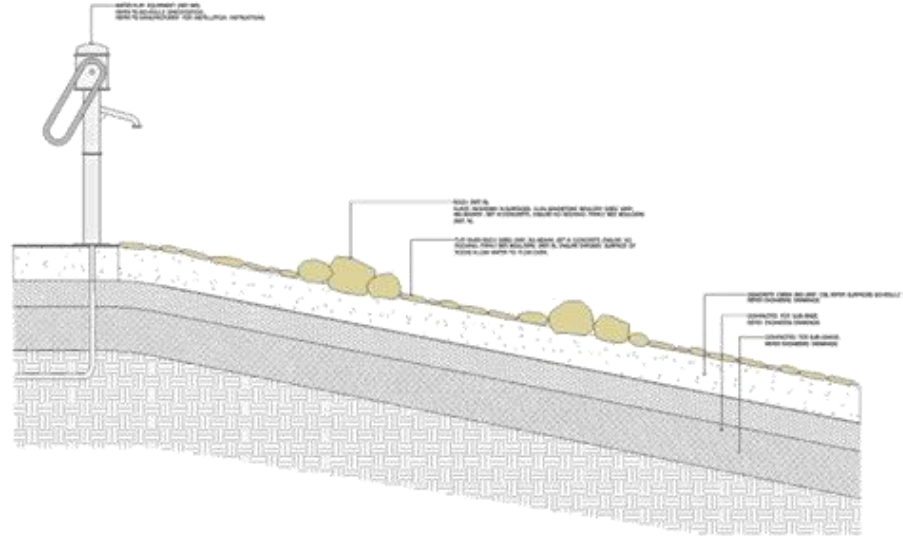
1 Water Play Element - Placeholder
Scale 1:20 @A3



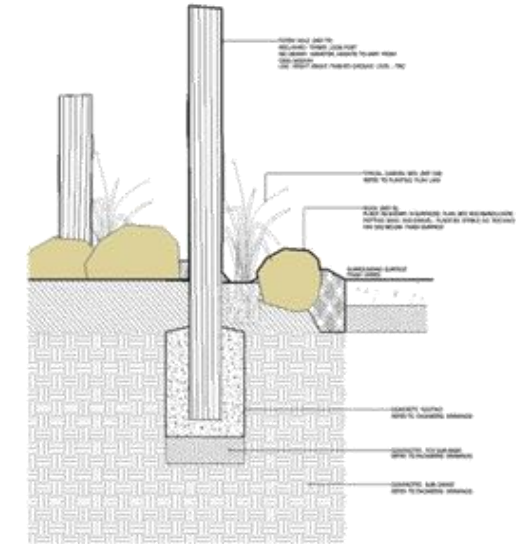
2 Water Play Element - Placeholder
Scale 1:20 @A3



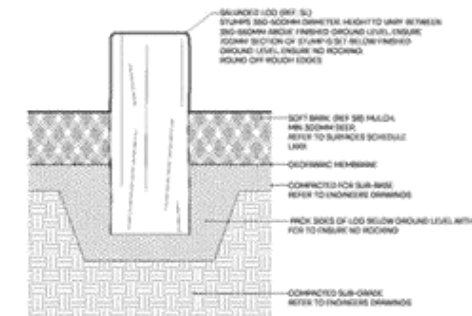
3 Water Play Element - Placeholder
Scale 1:20 @A3



4 Water Play Element - Placeholder
Scale 1:20 @A3



10 Totem Pole Element - TBC
Scale 1:20 @A3



9 Reclaimed Log Seat - TBC
Scale 1:20 @A3

DRAFT FOR REVIEW
14.09.2020

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No **PLN-20-436**
DATE RECEIVED **30/09/2020**

DRAFT FOR REVIEW

REV	AMENDMENTS	DATE



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Project:
Montrose Bay Play Space
Client:
Glenorchy City Council
Address:
625 Brunker Ave
Glenorchy

Drawing No.	Title
L-704	DETAILS - PLAY EQUIPMENT
Project No.	Drawn
20-08	ADAM/ELIN/LSA
North	Approved
	30/09/20
Scale	1:20
Revision	1
	DRAFT



DRAFT FOR REVIEW

REV	AMENDMENTS	DATE
1	Final link update	10/9/00



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Project:
Montrose Bay Play Space

Client:
Glenshire City Council

Address:
825 Brooker Ave
Glenshire

Drawing No.	Title	
L-705	DETAILS - FLYING FOX	
Project No.	Drawn	Date Printed
20-06	JAUNVEN/JOA	
North	Approved	Scale
	JLWg/ FR	
Revision	Status	
1	DRAFT	

Montrose Bay, Tasmania GCB.698

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

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Pfosten

 RAL 6028
Kieferngrün

Schellen und Kugeln

 RAL 6034
Pastelltürkis

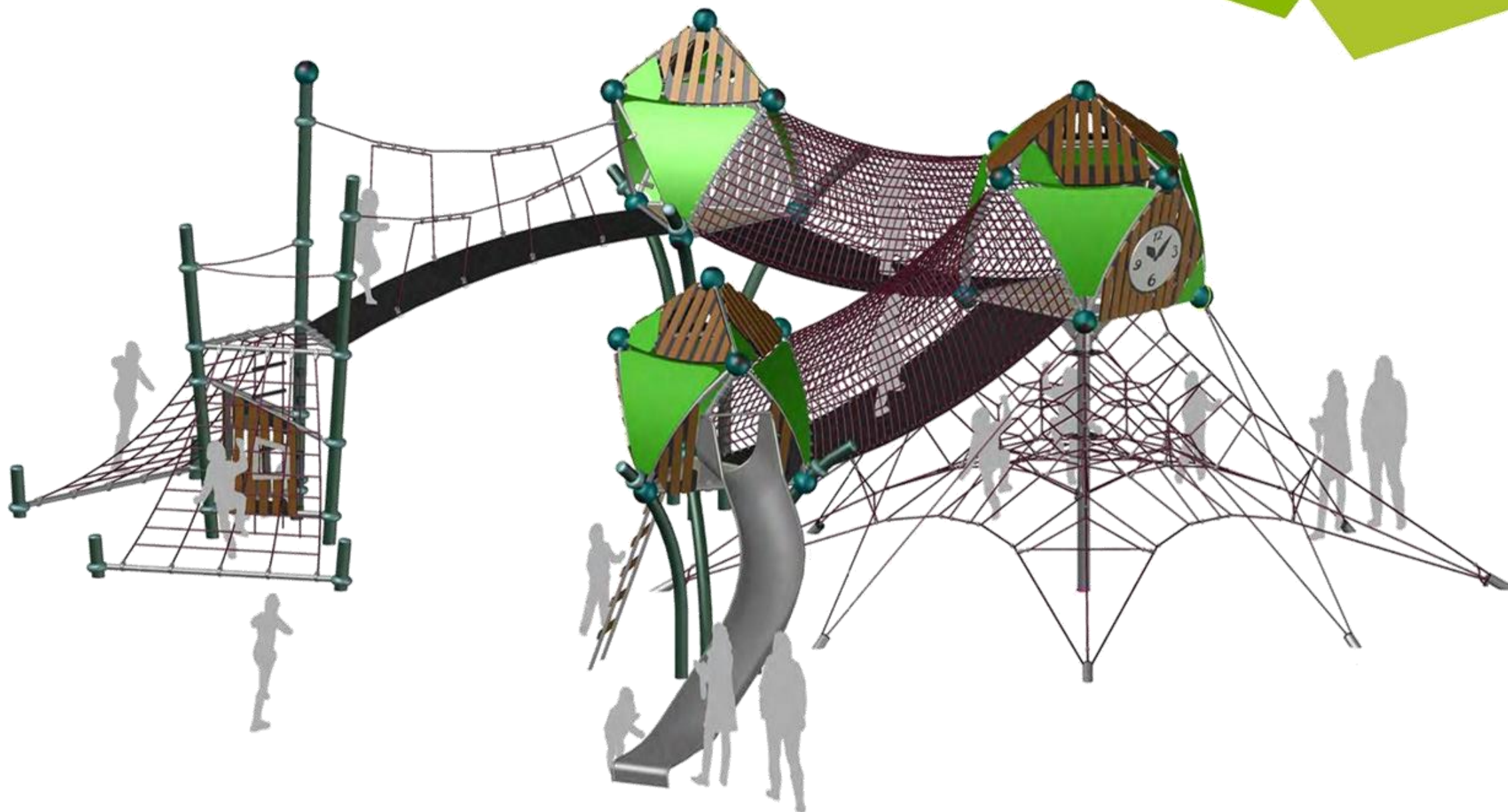
 RAL 5021
Wasserblau

HDPE-Panels

 Grün

Seile

 Bordeaux




Berliner

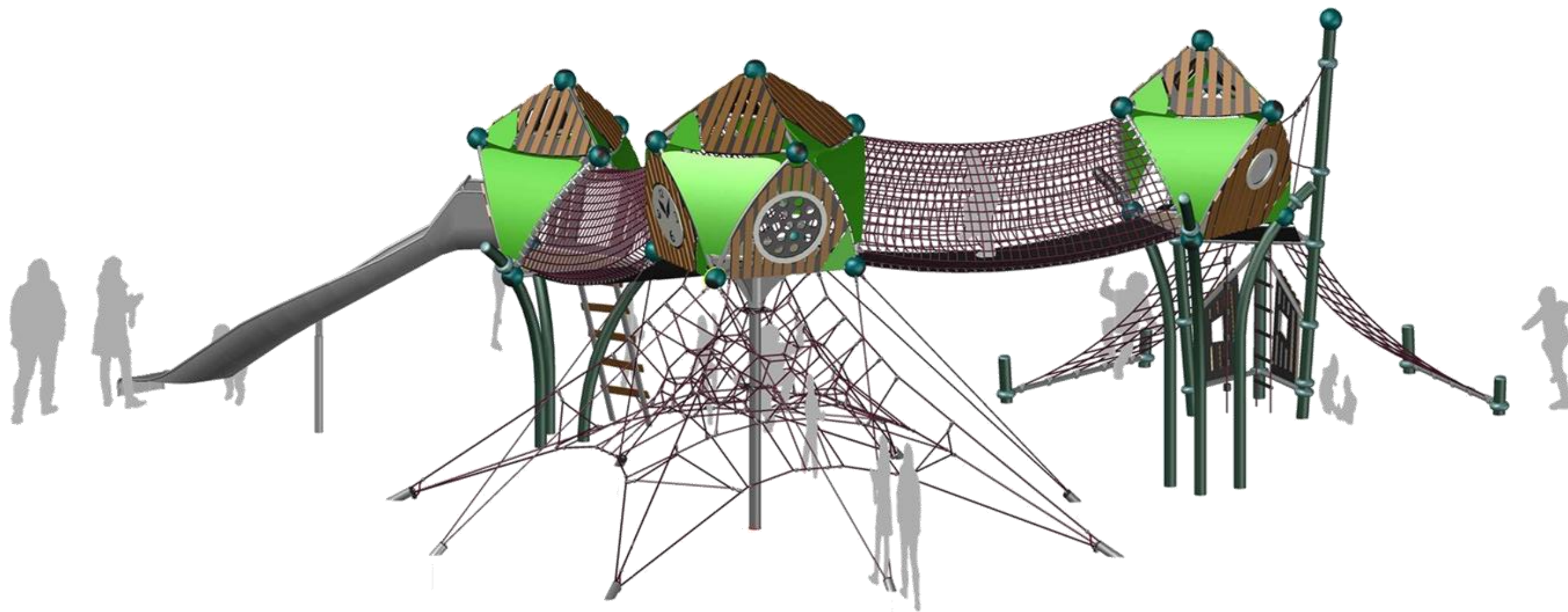
Berliner Seilfabrik GmbH & Co.
Lengeder Straße 2/4
13407 Berlin

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Fax +49 (0)30 41 47 24-33

info@berliner-seilfabrik.com
www.berliner-seilfabrik.com

Document Set ID: 2019701
Version: 1 Version Date: 01/12/2020

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No **PLN-20-436**
DATE RECEIVED **30/09/2020**



Montrose Bay, Tasmania			
GCB.698.01			
	Dimensioning (l x w x h)		Free height of fall
	(m) 13,59 x 13,90 x 5,21		(m) 3,00
	Minimum space required		Surface
	(m) 17,06 x 16,90		(m²) 175,10
	Format		Scale
	DIN A3 (29,7 x 42,0 cm)		
	Date		Name
	11.09.2020		A.Eckert
	Change (Name)		
	1.		3.
	2.		4.

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No **PLN-20-436**

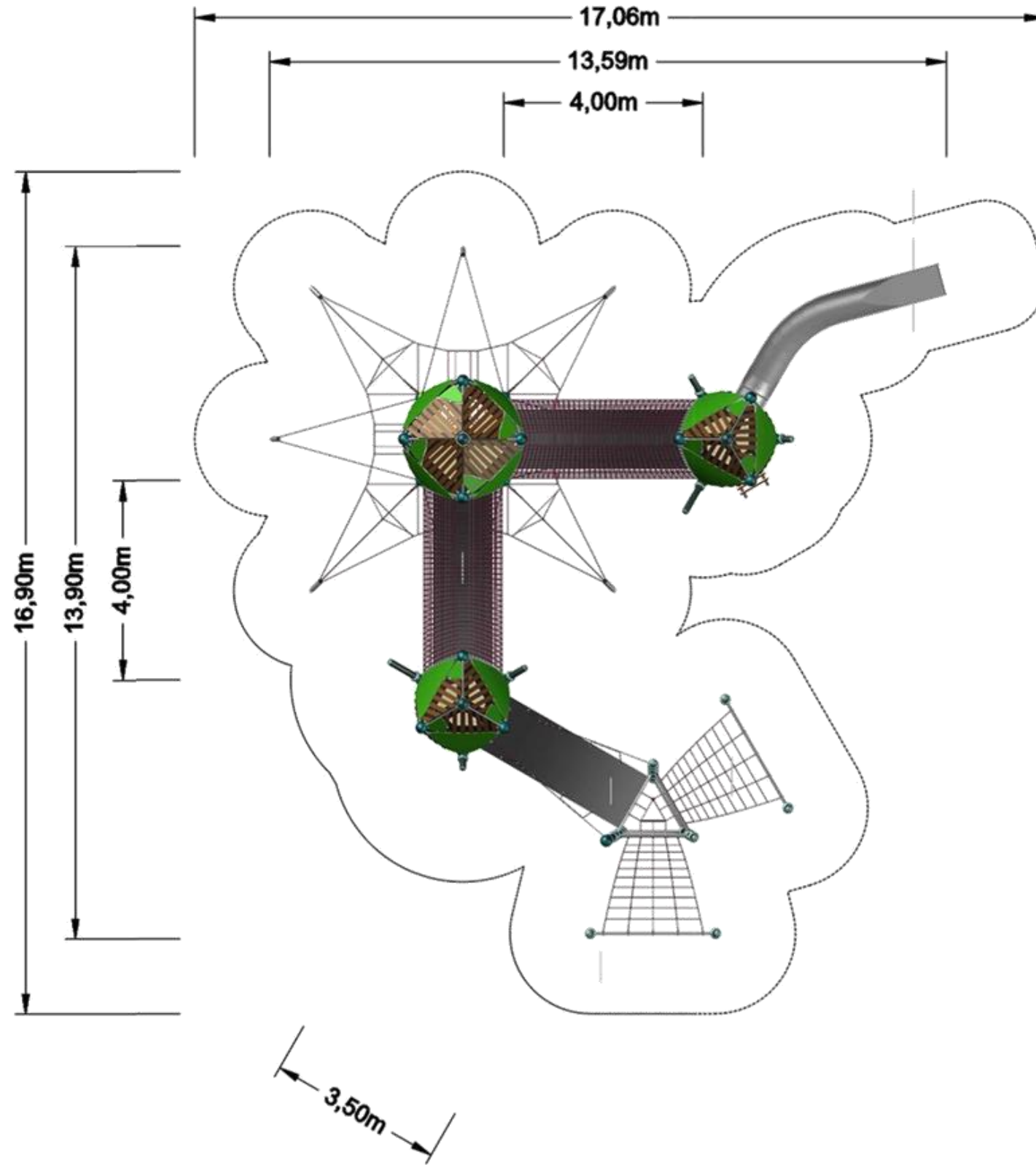
DATE RECEIVED **30/09/2020**



Montrose Bay, Tasmania

GCB.698.02

Dimension (l x w x h) (m) 13,59 x 13,90 x 5,21	Free height of fall (m) 3,00
Minimum space required (m) 17,06 x 16,90	Surface (m²) 175,10
Format DIN A3 (29,7 x 42,0 cm)	Scale
Date 11.09.2020	Name A.Eckert
Change (Name) 1. 2.	3. 4.



**GLENORCHY CITY COUNCIL
 PLANNING SERVICES**
 APPLICATION No. **PLN-20-436**
 DATE RECEIVED **30/09/2020**

Montrose Bay, Tasmania
GCB.698.03

Dimensioning (l x w x h) (m) 13,59 x 13,90 x 5,21	Free height of fall (m) 3,00
Minimum space required (m) 17,06 x 16,90	Surface (m ²) 175,10
Format DIN A3 (29,7 x 42,0 cm)	Scale 1:100
Date 11.09.2020	Name A.Eckert
Change (Name) 1. 2.	3. 4.

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
 APPLICATION No **PLN-20-436**
 DATE RECEIVED **30/09/2020**



Montrose Bay, Tasmania

GCB.698.04

 Dimensioning (l x w x h) (m) 13,59 x 13,90 x 5,21	 Free height of fall (m) 3,00
 Minimum space required (m) 17,06 x 16,90	Surface (m²) 175,10
 Format DIN A3 (29,7 x 42,0 cm)	 Scale 1:75
 Date 11.09.2020	 Name A.Eckert
 Change (Name) 1. 2.	3. 4.



GLENORCHY CITY COUNCIL
PLANNING SERVICES
 APPLICATION No **PLN-20-436**
 DATE RECEIVED **30/09/2020**

Montrose Bay, Tasmania
GCB.698.05

 Dimensioning (l x w x h) (m) 13,59 x 13,90 x 5,21	 Free height of fall (m) 3,00
 Minimum space required (m) 17,06 x 16,90	Surface (m ²) 175,10
 Format DIN A3 (29,7 x 42,0 cm)	 Scale 1:100
 Date 11.09.2020	 Name A.Eckert
 Change (Name) 1. 2.	3. 4.



GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No ... PLN-20-436
DATE RECEIVED ... 30/09/2020 ...

Montrose Bay Foreshore Playspace: General Arrangement Diagram

11000043 ID: 2919701
Version: 1, Version Date: 01/12/2020

