GLENORCHY PLANNING AUTHORITY ATTACHMENTS

MONDAY, 13 JULY 2020

TABLE OF CONTENTS:

PLANNING

5. Proposed Use and Development - Extension to Multiple Dwelling (Residential) - 4/23 Balmain Street Glenorchy

1: GPA Attachments - 4/23 Balmain Street 2

6. Proposed Use and Development - Demolition, Construction of Warehouse (Storage) and Associated Showroom with Signage - 9 Howard Road Glenorchy

1: GPA Attachments - 9 Howard Road 7

7. Proposed Use and Development - Increase to Hours of Operation (Manufacturing and Processing) - 1 Whitestone Drive Granton

1: GPA Attachments - 1 Whitestone Drive 23

8. Planning Scheme Amendment Request - Site Specific Qualification to Allow for Storage - 52 Albert Road Moonah

1: GPA Attachments - 52 Albert Road 31

Map Scale: 1:690.5 Map Width: 131.2 m Date of Print: Friday, 26 June 2020

The graphic information on this map is produced by Glenorchy City Council.
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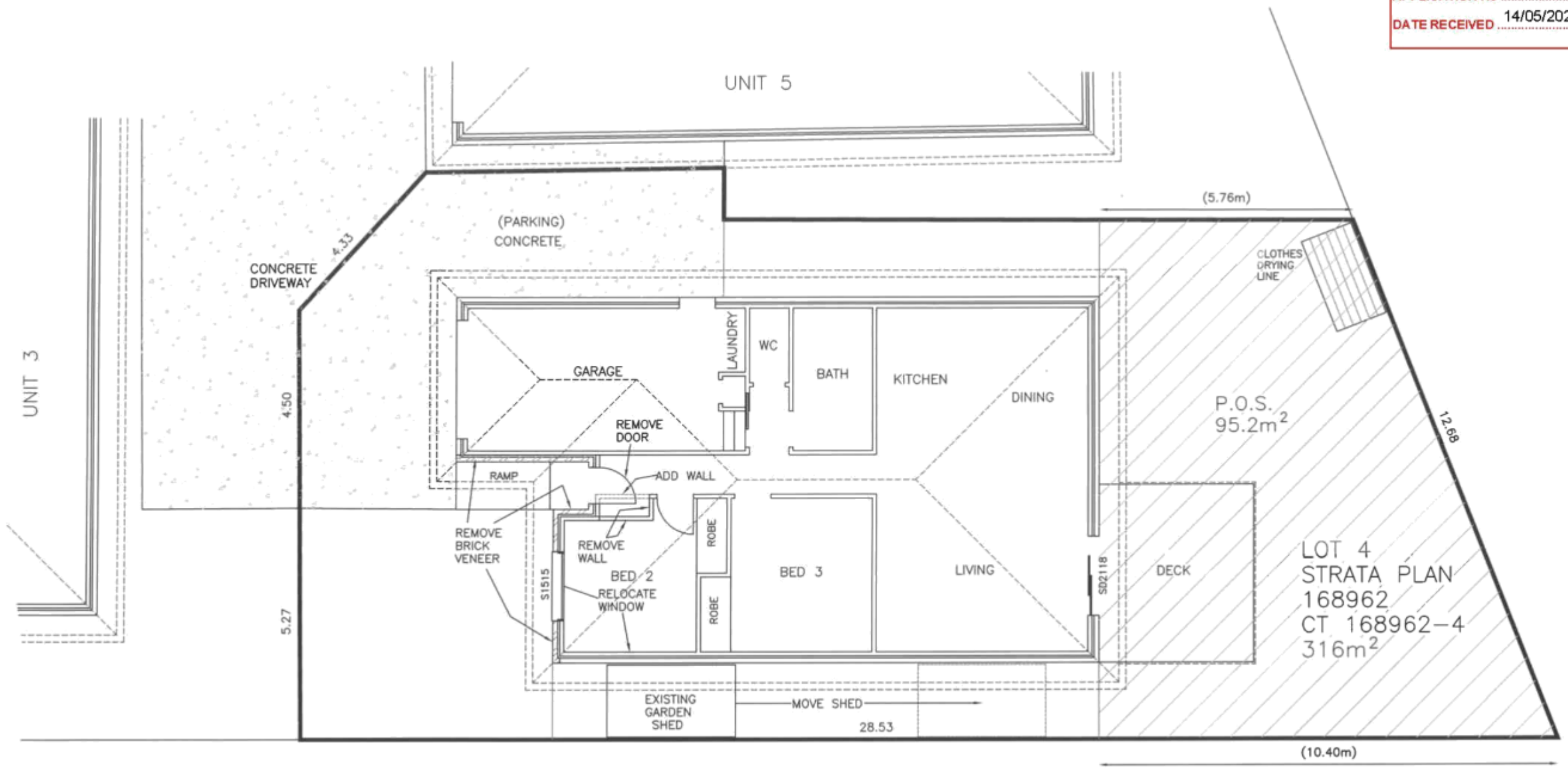
The representation of roads or tracks is no evidence of right of way.
This map is not to be used as a site plan for making an application to council.

FLOOR AREAS (OUTER FACE OF WALLS OR SUPPORTS)

HOUSE = 110.4m²
DECK = 14.2m²
GARDEN SHED = 4.8m²
TOTAL = 129.4m²

NOT TO BE USED AS CONSTRUCTION DRAWINGS UNLESS STAMPED BY THE RELEVANT BUILDING AUTHORITY

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No PLN-20-189
DATE RECEIVED 14/05/2020



(EXISTING)
FLOOR PLAN/SITE PLAN

G. J. WILLIAMS DRAFTING SERVICE
ARCHITECTURAL, SURVEY & GENERAL DRAFTING
BUILDING DESIGNER & BUSHFIRE HAZARD PRACTITIONER
Gary Williams – Accreditation No.1110E & BFP-109

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ABN: 87 756 789 831

PROPOSED DWELLING ADDITION
FOR M.F. FAHEY
UNIT 4, 23 BALMAIN STREET
GLENORCHY

DRAWING No: 578F-1P
DATE: 7 MAY 2020
SCALE: @A3 1:100

--------- ROOF LINE

NO ATTEMPT HAS BEEN MADE TO SHOW ALL UNDERGROUND SERVICES ON THESE DRAWINGS LOCATION OF ANY PIPES SHOWN IS INDICATIVE ONLY EXACT LOCATION OF PIPES & OTHER UNDERGROUND SERVICES IS TO BE DETERMINED PRIOR TO COMMENCEMENT OF ANY WORKS

NORTH

NOTE: Measurements shown do not include cladding or lining.

FLOOR AREAS (OUTER FACE OF WALLS OR SUPPORTS)

EXISTING HOUSE = 110.4m²
EXISTING DECK = 14.2m²
EXISTING GARDEN SHED = 4.8m²

PROPOSED HOUSE ADDITION = 33.3m²
PROPOSED SHED ADDITION = 2.8m²

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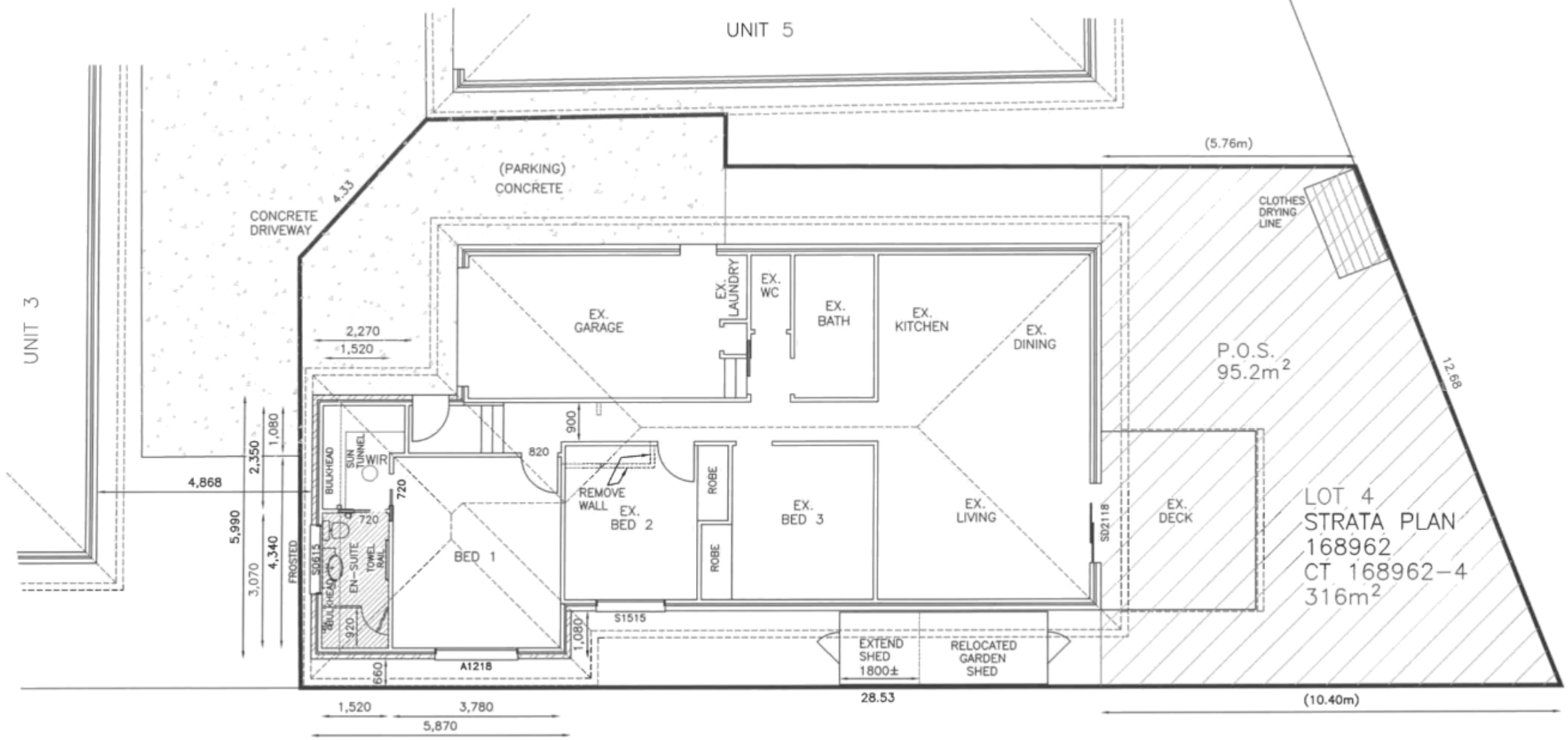
GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No PLN-20-189
DATE RECEIVED 14/05/2020



(PROPOSED)
FLOOR PLAN/SITE PLAN

WET AREAS

ENCLOSED WC DOOR TO SLIDE, OPEN OUTWARDS OR BE REMOVEABLE FROM OUTSIDE WHERE THE DISTANCE FROM THE PAN TO THE DOOR FRAME IS 1200mm OR LESS

--------- ROOF LINE

ALL ELECTRICAL WORKS TO AURORA REQUIREMENTS AND TO COMPLY WITH AS/NZS 3100.

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NORTH

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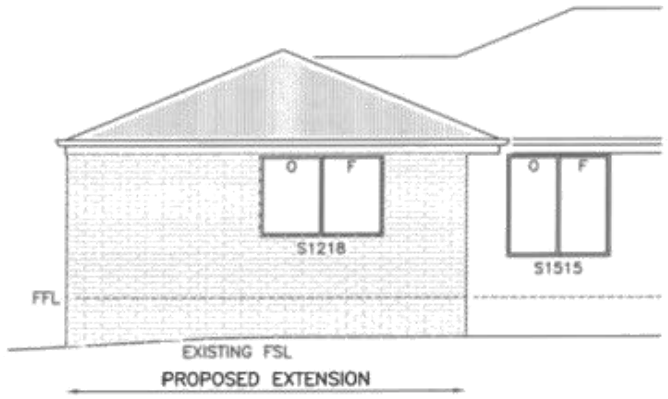
PROPOSED DWELLING ADDITION
FOR M.F. FAHEY
UNIT 4, 23 BALMAIN STREET
GLENORCHY

DRAWING No: 578F-2P
DATE: 7 MAY 2020
SCALE: @A3 1:100

BRICK VENEER CONSTRUCTION (colour–RED)
CUSTOM ORB COLORBOND SHEET ROOFING (colour–WINDSPRAY?)
ALUMINIUM FRAMED WINDOWS (colour–WINDSPRAY?)
ALL EXTERNAL FINISHES TO MATCH EXISTING

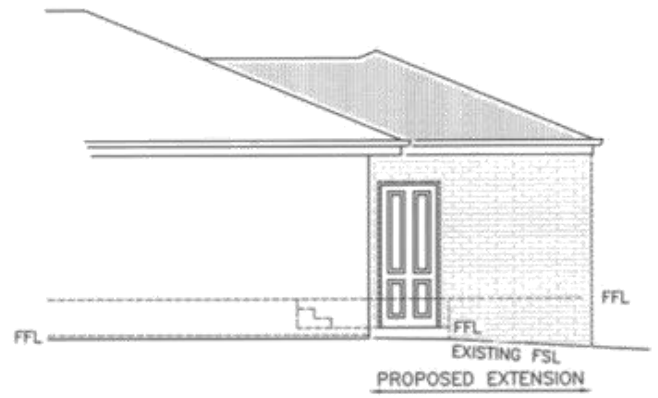
NOT TO BE USED AS CONSTRUCTION DRAWINGS UNLESS STAMPED BY THE RELEVANT BUILDING AUTHORITY

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No PLN-20-189
DATE RECEIVED 14/05/2020



SOUTHWEST ELEVATION

NORTHWEST ELEVATION



NORTHEAST ELEVATION

ELEVATIONS

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PROPOSED DWELLING ADDITION
FOR M.F. FAHEY
UNIT 4, 23 BALMAIN STREET
GLENORCHY

DRAWING No: 578F–3P
DATE: 7 MAY 2020
SCALE: @A3 1:100

NOT TO BE USED AS CONSTRUCTION DRAWINGS UNLESS STAMPED BY THE PLUMBING PERMIT AUTHORITY

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No PLN-20-189
DATE RECEIVED 14/05/2020

GUTTERS & DOWNPIPES INSTALLATION IN ACCORDANCE WITH AS 2179 METAL RAINWATER GOODS – SPECIFICATIONS, AS 2180 METAL RAINWATER GOODS – SELECTION & INSTALLATION, AS3500 NATIONAL PLUMBING & DRAINAGE CODE & 3.5.3 NCC.

WC	Water Closet Pan	100ø
S	Sink	50ø
B	Basin	40ø
Bth	Bath	50ø
Shr	Shower	50ø
Tr(L)	Trough	50ø
CWM	Clothes Wash Mach'n	N/A
DWM	Dishwashing Mach'n	N/A
DP	RAINWATER PIPE	90ø
ORG	OVERFLOW RELIEF GULLY TAP OVER ORG	
ORG	RIM TO BE MIN. 150mm BELOW LOWEST SANITARY FIXTURE	
UV	UPHILL/EDUCT VENT	
IO	INSPECTION OPENING	

100ø SEWER HCD
100ø S/W HCD

S/W - - - - - - - - - - -
SEWER — — — — —
(REPUTED LOCn=AS PER COUNCIL RECORDS)

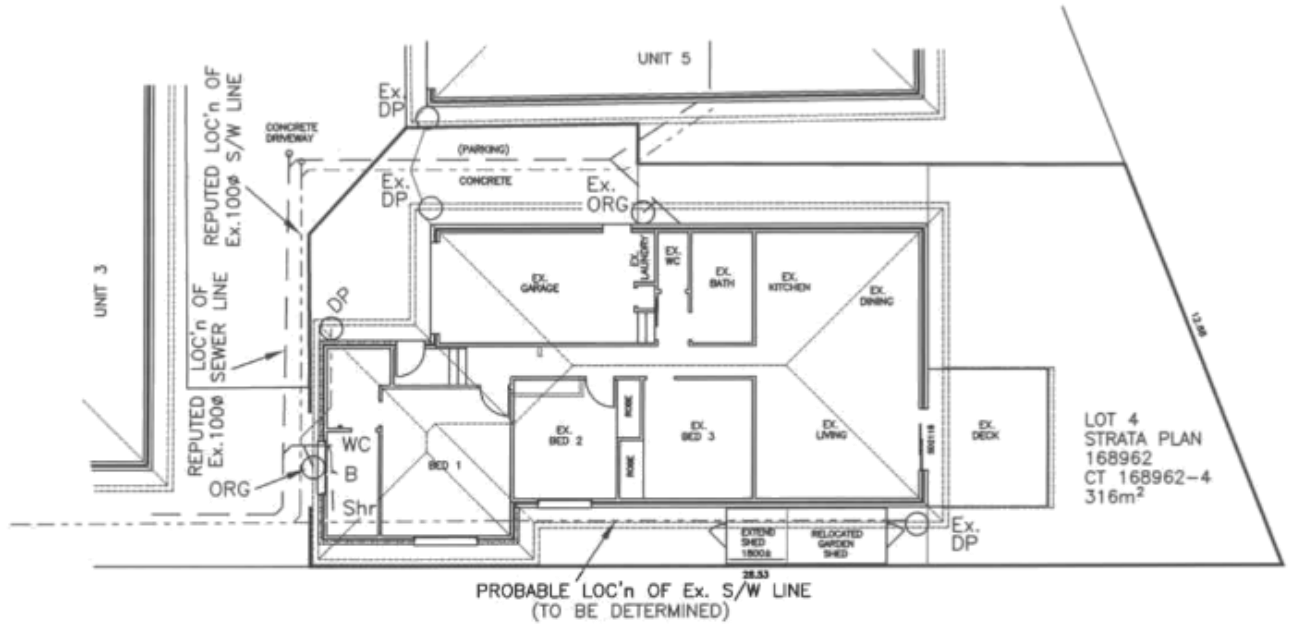
INSTALL WATER PIPES IN ACCORDANCE WITH AS 3500 PART 1.2
2.4.8 FOR POLYPIPE
2.4.4 FOR COPPER

SEWER & STORMWATER PIPES TO BE UPVC TO AS 1260 WITH ADEQUATE RESISTANCE TO UV RADIATION WHERE EXPOSED TO LIGHT

HOT WATER SERVICE. SAFE TRAY UNDER & CONNECT TO SAFE WASTE. TO BE FITTED WITH 50° max TEMPERING VALVE

PLUMBING : ALL WORKS TO CONFORM TO THE BUILDING ACT, BUILDING REGULATIONS, NCC INCLUDING SECTION C, TAS SECTION H, TAS SECTION F, TAS PART 101 AND IN COMPLIANCE WITH AS/NZS 3500.1–5 AND THE DIRECTOR'S DETERMINATIONS.
SANITARY PLUMBING & DRAINAGE PRODUCTS ARE TO BE CERTIFIED UNDER THE WATERMARK CERTIFICATION SCHEME.

REFER TO PLUMBING PERMIT



NORTH

DRAINAGE PLAN

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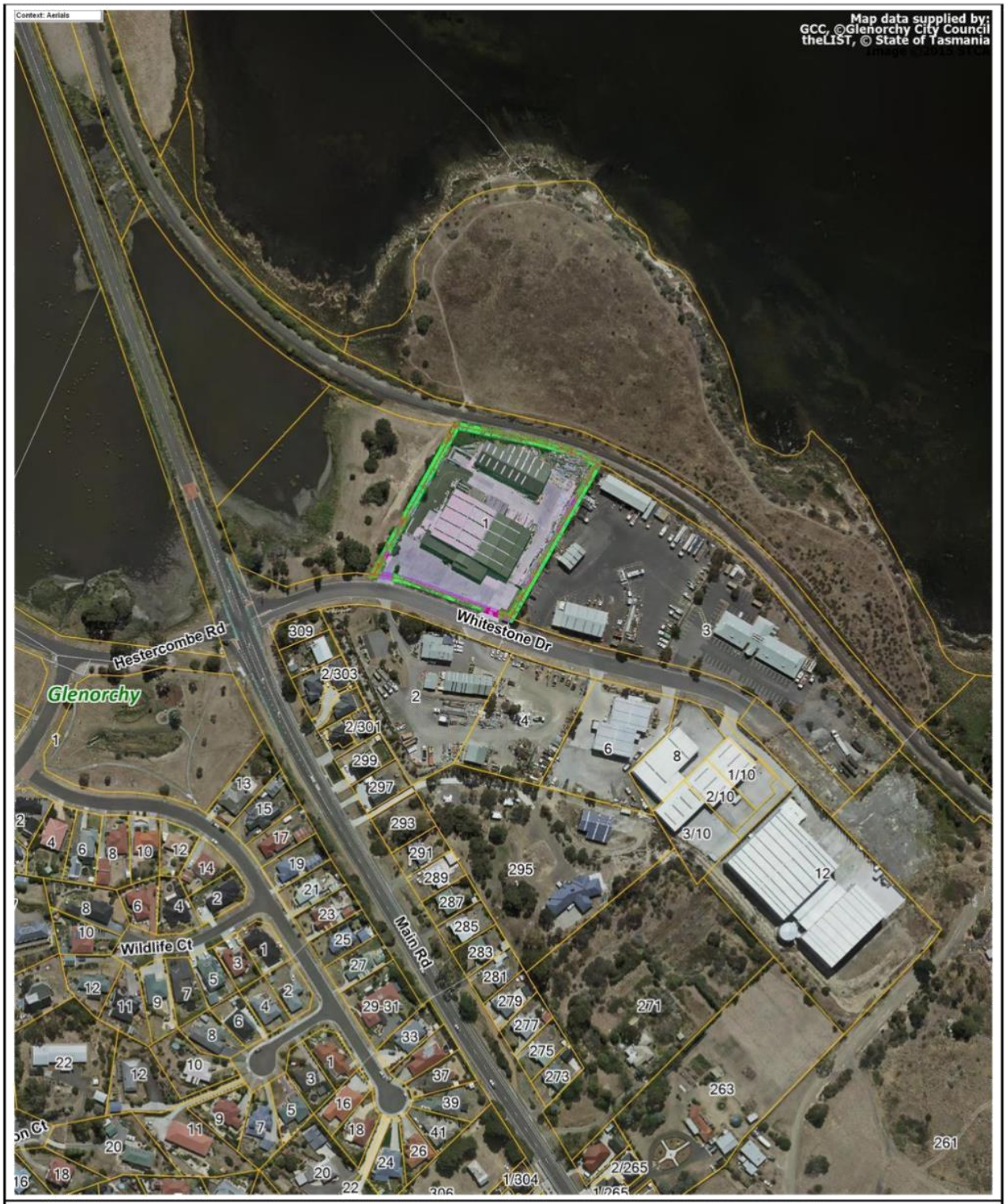
PROPOSED DWELLING ADDITION
FOR M.F. FAHEY
UNIT 4, 23 BALMAIN STREET
GLENORCHY

DRAWING No: 578F–4P
DATE: 7 MAY 2020
SCALE: @A3 1:200

1 Whitestone Drive, Granton



Map Scale: 1:3,275 Map Width: 622.3 m Date of Print: Monday, 6 July 2020

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As errors or omissions may occur please verify data before any projects are commenced.
The representation of roads or tracks is no evidence of right of way.
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PLANNING SUMMARY:

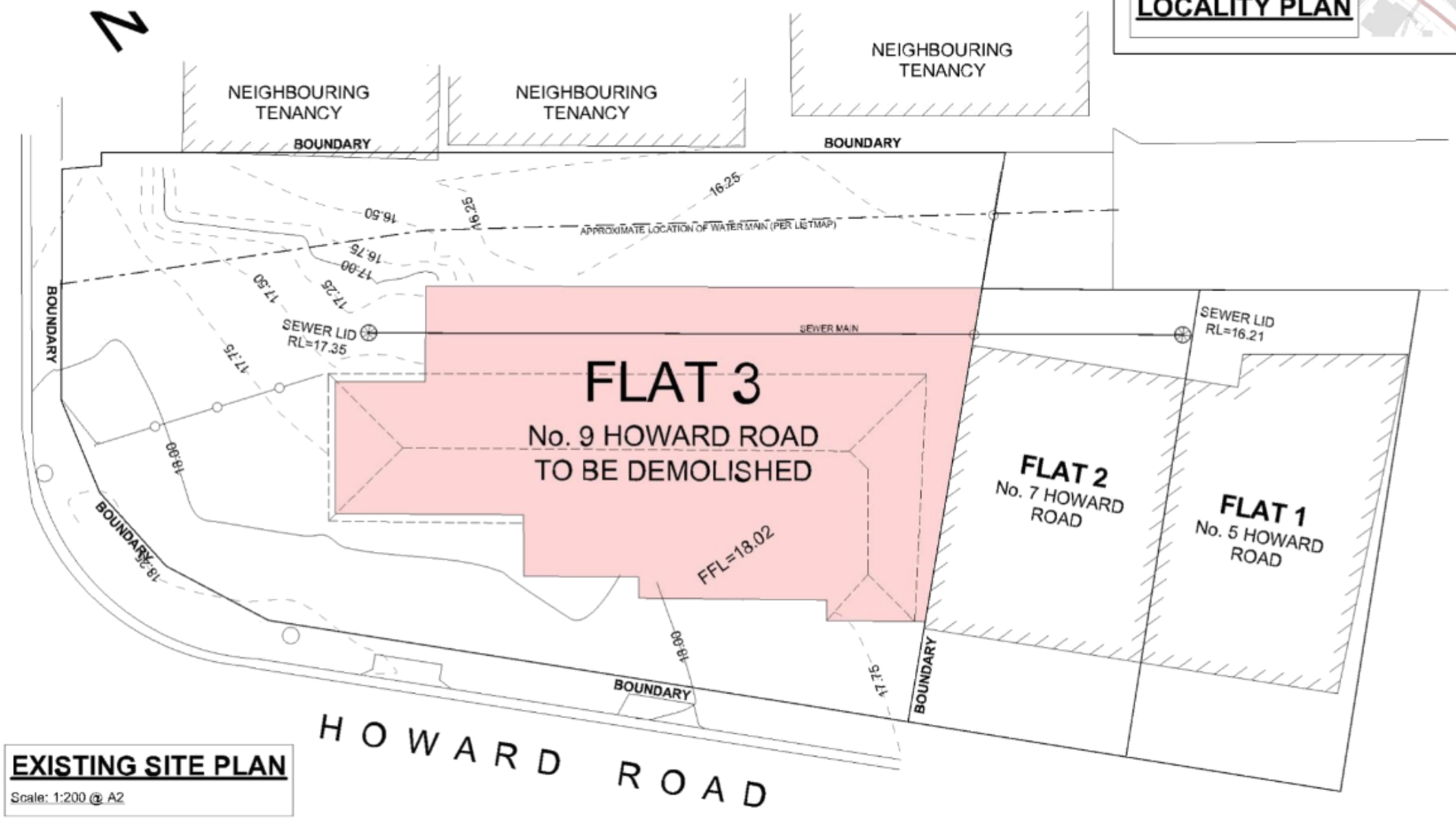
FOR:	DERWENT PARK PLUMBING SERVICES
ADDRESS:	9 HOWARD ROAD, GLENORCHY, TASMANIA
TITLE:	60304 / 3
LOT SIZE:	No.3 1621 m²
ZONE:	25.0 (GENERAL INDUSTRIAL)
GROUND FLOOR:	870.5 m² (GROSS)
FIRST FLOOR:	571.1 m² (GROSS) EXCLUDING VOIDS, GOODS LIFT AND STAIRS
SITE COVER:	54 % INCLUDING CANOPY
CARPARKING:	19 SPACES

ARCHITECTURAL DRAWINGS:

WD.01	COVER / EXISTING SITE	18.12.2019
WD.02/A	PROPSOSED SITE PLAN	28.02.2020
WD.03	GROUND FLOOR PLAN	18.12.2019
WD.04	FIRST FLOOR PLAN	18.12.2019
WD.05	ELEVATIONS	18.12.2019
WD.06	3D PERSPECTIVE	18.12.2019

NEW SHOWROOM & WAREHOUSE

LOCALITY PLAN



EXISTING SITE PLAN

Scale: 1:200 @ A2

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No PLN-19-407
DATE RECEIVED 30/04/20

DPPS
Derwent Park Plumbing Supplies

Member Australian Institute of Architects

DEVELOPMENT APPLICATION

SHANE MANN & ASSOCIATES
Architecture & Interior Design
ABN: 98 375 524 257
85 Elizabeth Street, Hobart, Tasmania 7000
Phone: (03) 6231 6999
Mobile: 0419 993 163
E-mail: smann@smarchitects.net.au

FOR DERWENT PARK PLUMBING
9 HOWARD ROAD,
GLENORCHY, TASMANIA

COVER / EXISTING SITE PLAN

T.I	28.02.2020	23.19 / DA.01/A
AS SHOWN	23.19	

ACCREDITED DESIGNER:
SHANE MANN - CC1045V

Document Set ID: 2846337
Version: 1, Version Date: 12/06/2020

HOWARD ROAD BOUDARY FENCE:

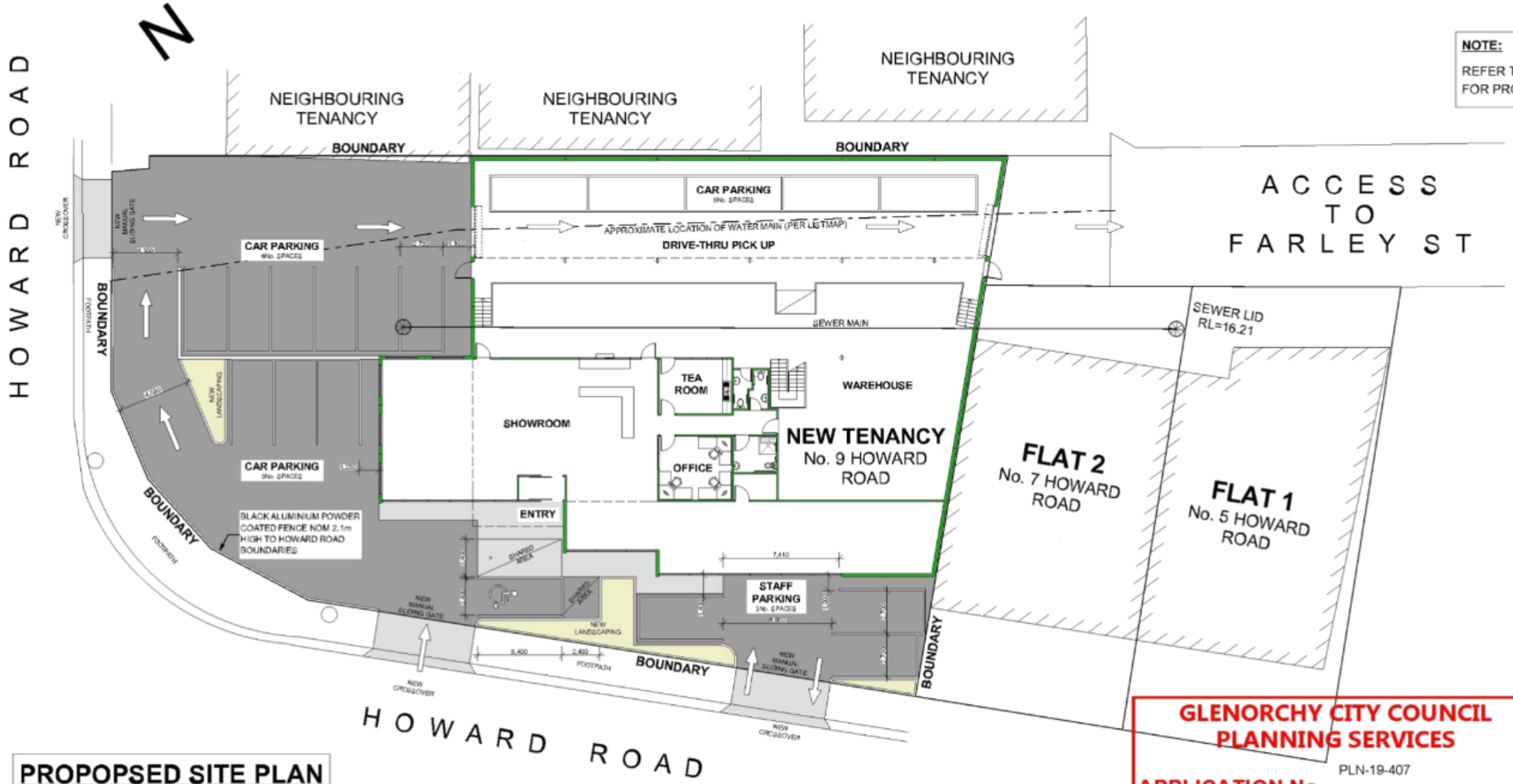
NEW BOUNDARY FENCE TO BE SIMILAR TO PROTECTOR ALUMINIUM 2450W x 1800H PICKET TOP FENCE PANELS AVAILABLE AT BUNNINGS WITH 75 SHS BLACK POWDER COATED FENCE POSTS.
PANELS TO BE MOUNTED TO ACHIEVE 2100H FROM FOOTPATH LEVEL.

SITE PLAN SET-BACKS

Scale: 1:500 @ A2

NOTE:

REFER TO ENGINEERS DRAWINGS FOR PROPOSED SITE SERVICES.



PROPOPSED SITE PLAN

Scale: 1:200 @ A2

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FOR DERWENT PARK PLUMBING
9 HOWARD ROAD,
GLENORCHY, TASMANIA

PROPOSED SITE PLAN

T.I.	27.03.2020	23.19 / DA.02/B
AS SHOWN	23.19	

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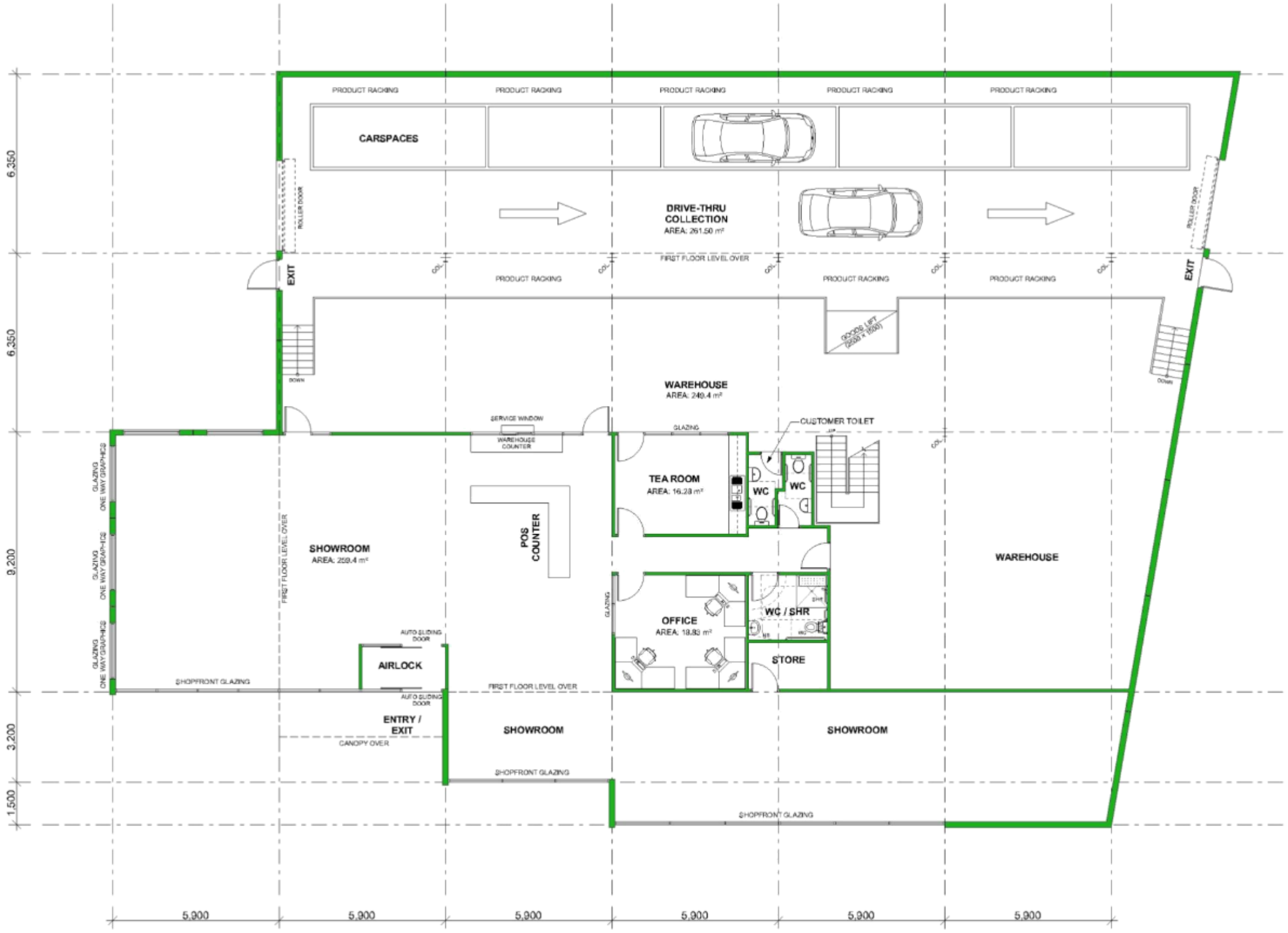
Document Set ID: 2846337
Version: 1, Version Date: 17/06/2020



PROPOPSED GROUND & WAREHOUSE LEVEL

Scale: 1:100 @ A2

GLENORCHY CITY COUNCIL PLANNING SERVICES

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FOR DERWENT PARK PLUMBING
9 HOWARD ROAD,
GLENORCHY, TASMANIA

PROPOSED GROUND & COLLECTION LEVEL

T.L	18.12.2019	23.19 / DA.03
AS SHOWN	23.19	

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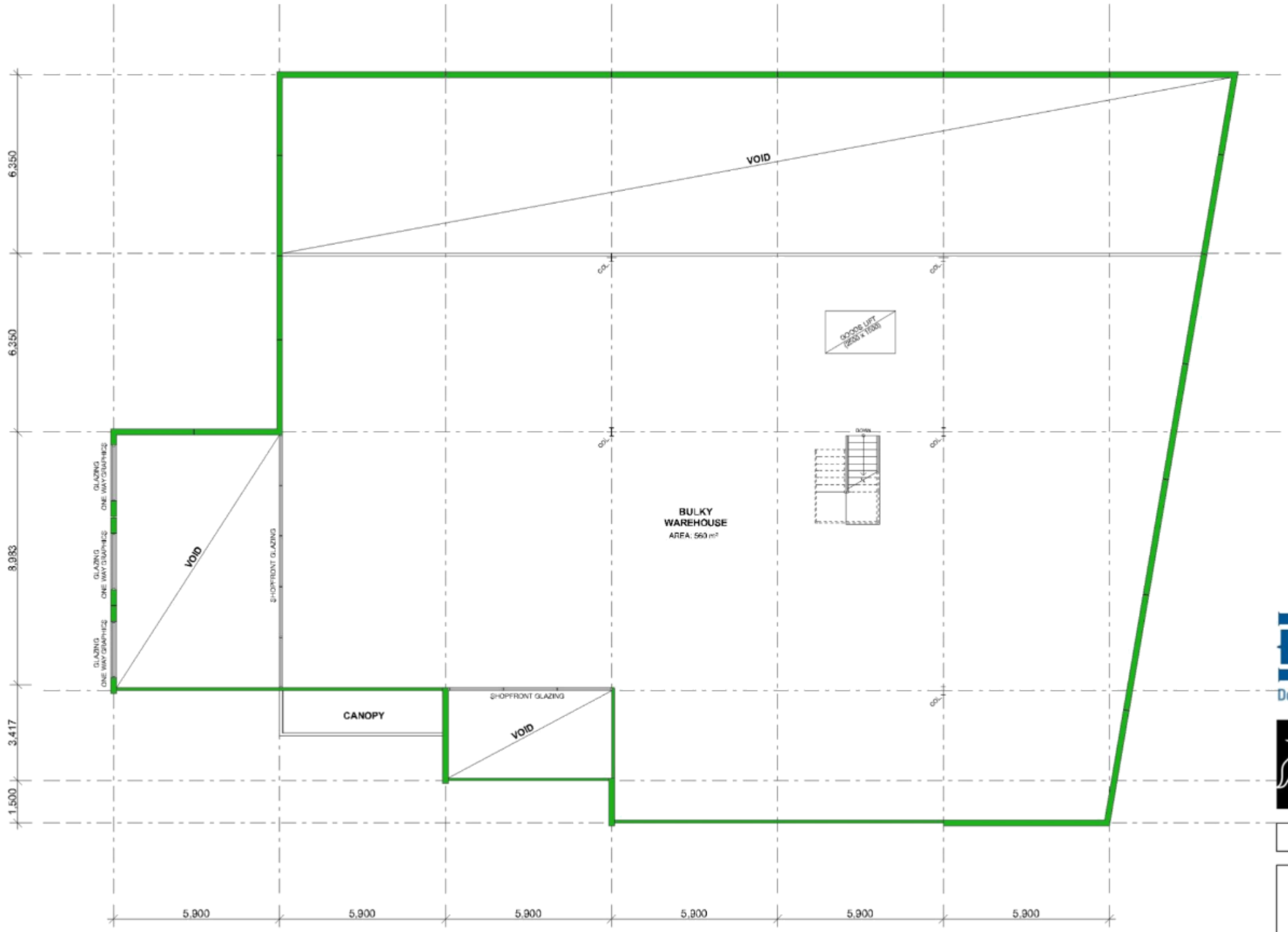
Version: 1, Version Date: 12/06/2020



PROPOPSED FIRST FLOOR PLAN

Scale: 1:100 @ A2

GLENORCHY CITY COUNCIL PLANNING SERVICES

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DPPS Derwent Park Plumbing Supplies

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FOR DERWENT PARK PLUMBING
9 HOWARD ROAD,
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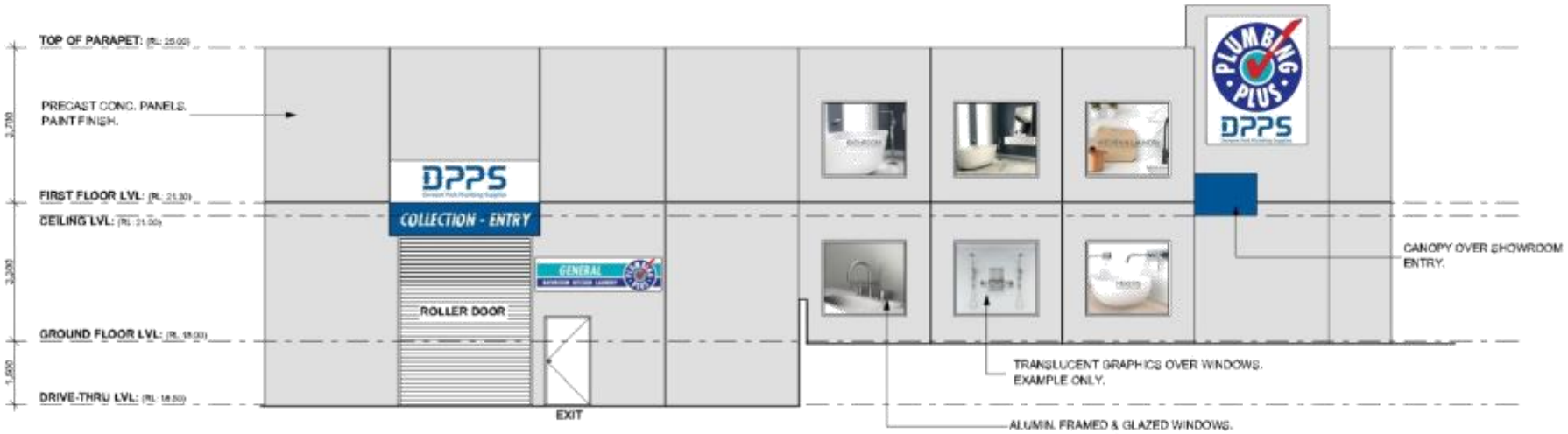
PROPOSED FIRST FLOOR PLAN

T.I.	18.12.2019	23.19 / DA.04
AS SHOWN	23.19	

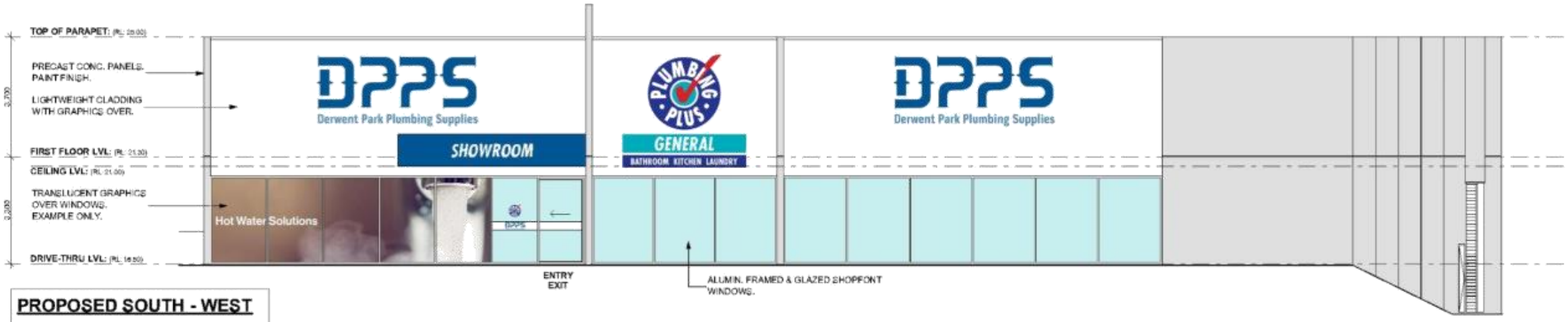
ACCREDITED DESIGNER: SHANE MANN - CC1045V

Document Set ID: 2846337
Version: 1, Version Date: 12/05/2020

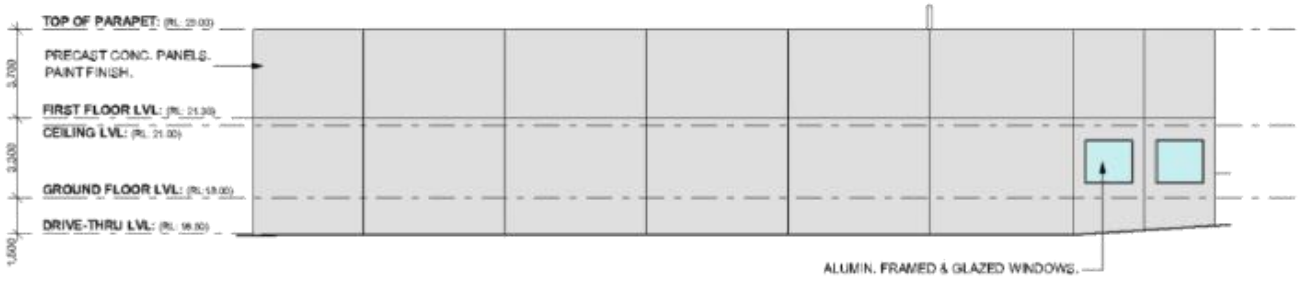
GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No PLN-19-407
DATE RECEIVED 30/04/20



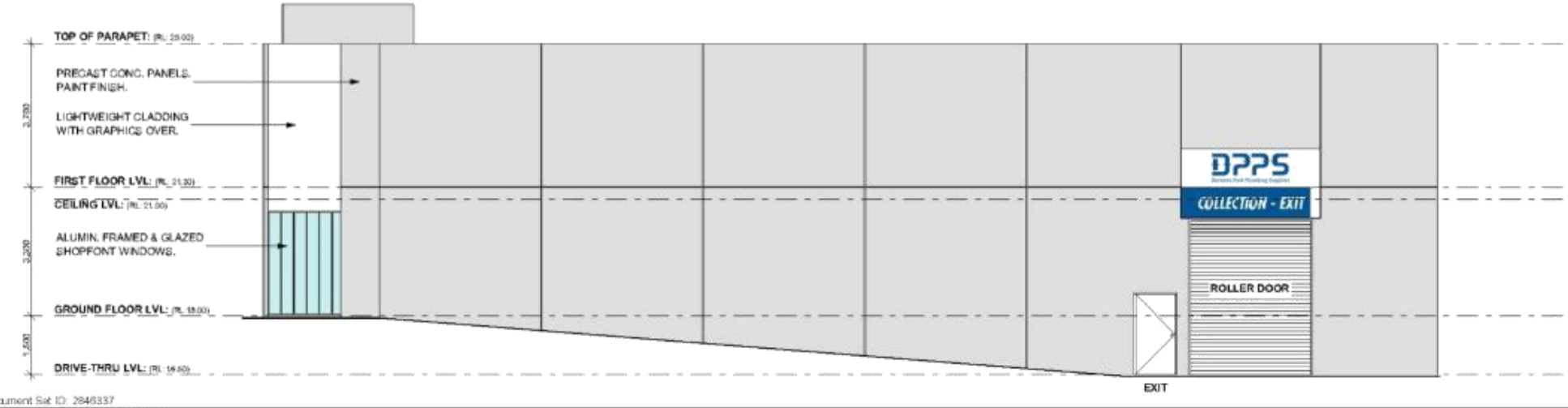
PROPOSED NORTH - WEST ELEVATIONS
Scale: 1:100 @ A2



PROPOSED SOUTH - WEST ELEVATIONS
Scale: 1:100 @ A2



PROPOSED NORTH - EAST ELEVATIONS
Scale: 1:200 @ A2



PROPOSED SOUTH - EAST ELEVATIONS
Scale: 1:100 @ A2

DPPS
Derwent Park Plumbing Supplies

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PRELIMINARY - NOT FOR CONSTRUCTION

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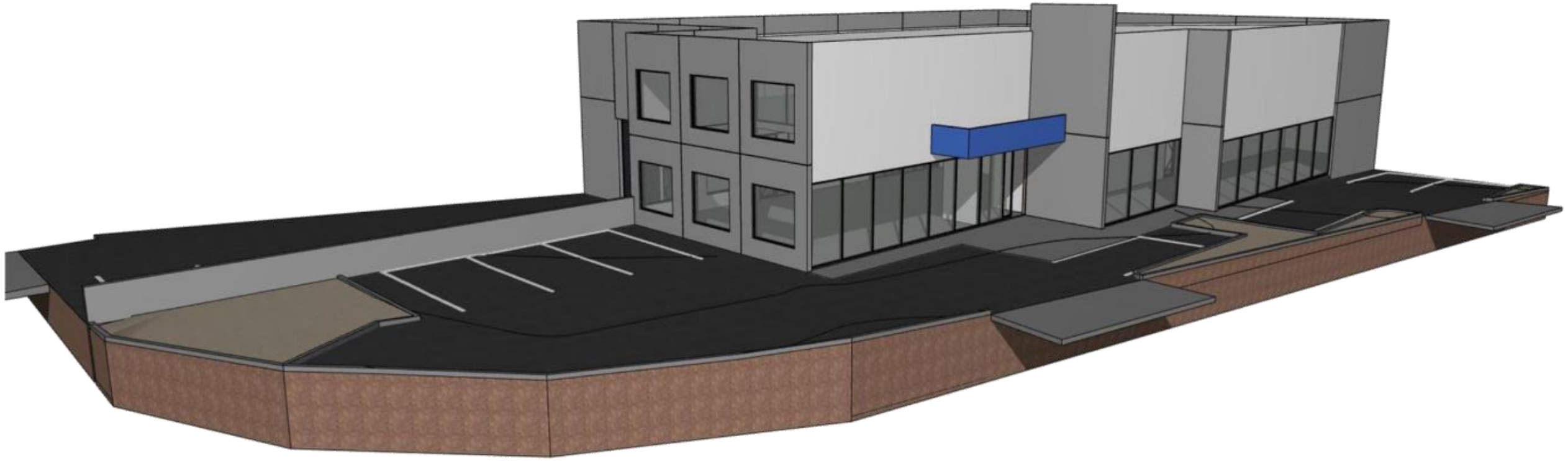
FOR DERWENT PARK PLUMBING
9 HOWARD ROAD,
GLENORCHY, TASMANIA

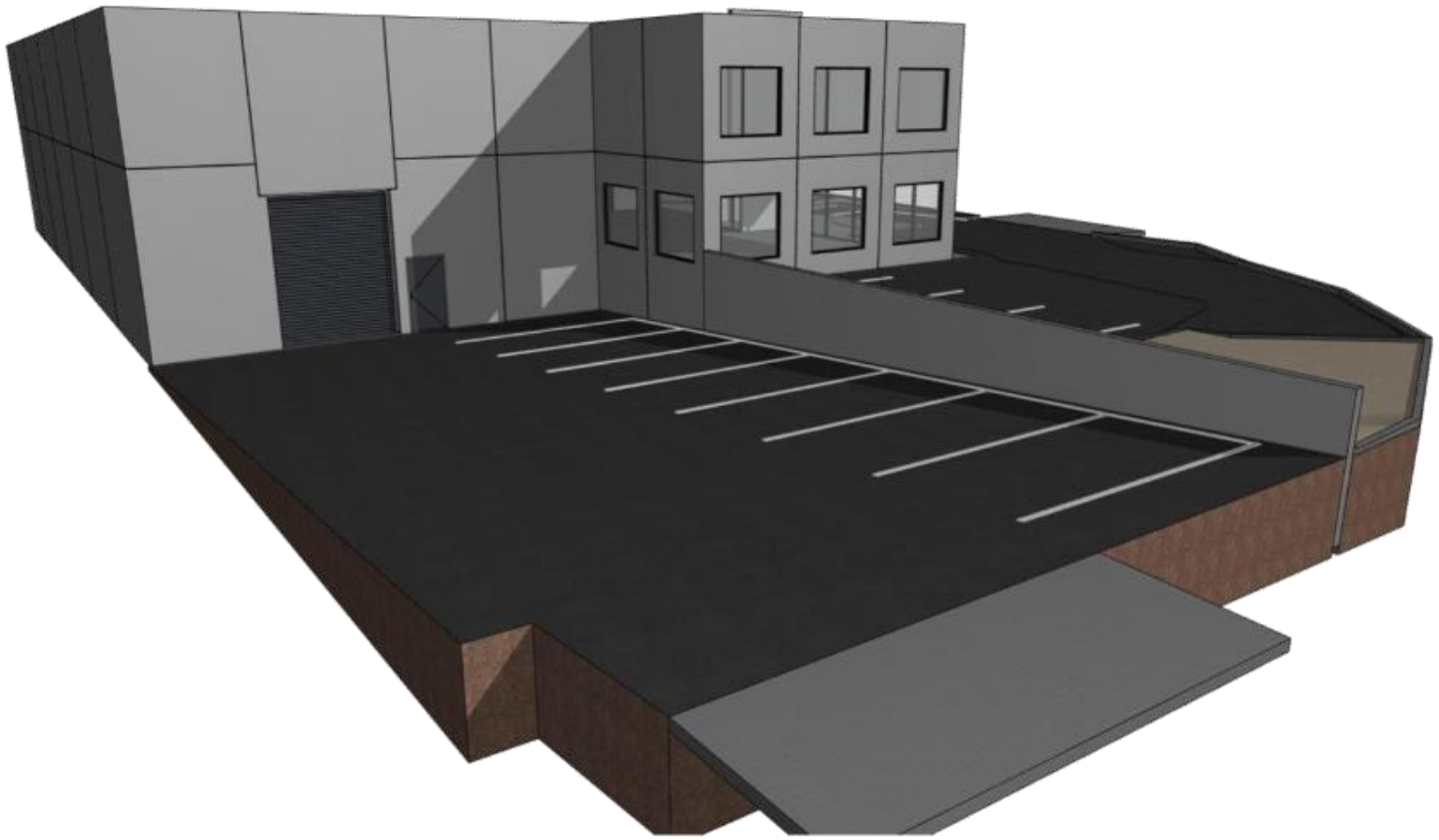
PROPOSED FIRST FLOOR PLAN

DRAWN: T.I	DATE: 18.12.2019	DRAWING No: 23.19 / DA.05
SCALE: AS SHOWN	PROJECT No: 23.19	

ACCREDITED DESIGNER:
SHANE MANN - CC1045V

Document Set ID: 2846337
Version: 1, Version Date: 13/08/2020





3D PERSPECTIVE

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PRELIMINARY - NOT FOR CONSTRUCTION

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FOR DERWENT PARK PLUMBING
9 HOWARD ROAD,
GLENORCHY, TASMANIA

3D PERSPECTIVE

T.I	18.12.2019	23.19 / DA.06
AS SHOWN	23.19	

ACCREDITED DESIGNER:
SHANE MANN - CC1045V

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No PLN-19-407

DATE RECEIVED 30/04/20

Document Set ID: 2846337
Version: 1, Version Date: 17/06/2020

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CIVIL DRAWINGS

PROPOSED DEVELOPMENT
DERWENT PARK PLUMBING SUPPLIES
9 HOWARD ROAD
GLENORCHY, 7010

SHEET	DRAWING	ISSUE	DATE
C0.01	INDEX	C	31/01/2020
C0.02	NOTES AND OVERALL PLAN	C	31/01/2020
C1.01	SITE SERVICES PLAN	C	31/01/2020
C3.01	SECTIONS & DETAILS	C	31/01/2020

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No PLN-19-407
DATE RECEIVED 15/05/20

HALF SCALE PRINT

DIG BEFORE YOU DIG

REGARD OF UNDERGROUND SERVICES
THE LOCATION OF UNDER GROUND SERVICES ARE APPROXIMATED AND THEIR EXACT LOCATION SHOULD BE PROVEN ON SITE BY THE RELEVANT AUTHORITIES. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN.

THESE DRAWINGS MUST BE APPROVED BY
COUNCIL & TASWATER PRIOR TO CONSTRUCTION

REV.	DESCRIPTION	DATE	REV.	DESCRIPTION	DATE
C	DESIGN APPROVAL	31/01/2020			
B	DESIGN APPROVAL	13/12/2019			
A	DESIGN APPROVAL	04/10/2019			

ALDANMARK CONSULTING ENGINEERS

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Hobart TAS 7000
03 6234 0505
mail@aldanmark.com.au
www.aldanmark.com.au

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ADDRESS: 9 HOWARD ROAD GLENORCHY, TAS 7010
SHEET: INDEX
PROJECT: PROPOSED DEVELOPMENT
ISSUE: DESIGN APPROVAL

DRAWN	DESIGNED	VERIFIED	DATE
CF	CF	MW	31/01/2020
SCALE	SIZE	TOTAL SHEETS	
-	A1	4	
PROJECT No.	SHEET No.	REV.	
19E82-1	C0.01	C	

Document Set ID: 2846337
Version: 1, Version Date: 12/06/2020

GENERAL NOTES:

1. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL, HYDRAULIC AND STRUCTURAL DRAWINGS AND SPECIFICATIONS. STANDARDS REFERENCED ARE TO BE THE MOST CURRENT VERSION.
2. THESE DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION UNLESS ENDORSED FOR CONSTRUCTION AND AUTHORISED FOR ISSUE ACCORDINGLY.
3. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH IPWEA/GAT STANDARD DRAWINGS AND SPECIFICATIONS, AUSTRALIAN STANDARDS, (WSA 03) SEWERAGE CODE OF AUSTRALIA & (WATER SUPPLY CODE OF AUSTRALIA) AND TO THE SATISFACTION OF COUNCILS DEVELOPMENT ENGINEER.
4. IPWEA/GAT STANDARD DRAWINGS TO BE READ IN CONJUNCTION WITH COUNCIL SPECIFICATION SHEETS TSD-S1+1 & TSD-S5+1.
5. ALL WORKS ARE TO BE MAINTAINED IN A SAFE CONDITION.
6. CONFIRM ALL LEVELS & INSTEPS PRIOR TO THE COMMENCEMENT OF WORKS.
7. CONTRACTOR TO OBTAIN APPROVALS, SERVICE CLEARANCES AND COORDINATE WORK WITH ALL RELEVANT AUTHORITIES PRIOR TO COMMENCEMENT.
8. A "START OF WORKS NOTICE" MUST BE OBTAINED FROM COUNCIL PRIOR TO ANY WORKS COMMENCING.
9. SURVEY DATA UNDERTAKEN AND PROVIDED BY NICK GRIGGS & CO. ARCHITECTURAL UNIT AND SITE LAYOUT UNDERTAKEN AND PROVIDED BY SHUMEMANN & ASSOCIATES. FLOOR LEVELS SET BY ARCHITECT. DRIVEWAY GRADING BASED ON THIS.

WORKPLACE HEALTH & SAFETY NOTES:

BEFORE THE CONTRACTOR COMMENCES WORK THE CONTRACTOR SHALL UNDERTAKE A SITE SPECIFIC PROJECT RISK/START HAZARD ANALYSIS / JOB SAFETY ANALYSIS (JSA) / JOB HAZARD IDENTIFY IN DOCUMENTED FORM.

- THE TYPE OF WORK
- HAZARDS AND RISKS TO HEALTH AND SAFETY.
- THE CONTROLS TO BE APPLIED IN ORDER ELIMINATED FIRST AND THE RISK POSED BY THE IDENTIFIED HAZARDS.
- THE MANNER IN WHICH THE RISK CONTROL MEASURES ARE TO BE IMPLEMENTED

THIS ARE TO BE SUBMITTED TO THE SUPERINTENDENT AND/OR OTHER RELEVANT OVERSEAS SAFETY OFFICERS.

FOR THIS PROJECT, POSSIBLE HAZARDS INCLUDE (BUT ARE NOT LIMITED TO):

- ENGAGED IN OF ANY TYPE & DEPTHS
- CONTAMINATED SOILS
- CONSTRUCTION IN GRD UNDER WITH HIGH WATER TABLE
- FELLING / LOPPING AND REMOVAL OF EXISTING TREES AND VEGETATION
- UNDERGROUND STRUCTURES (MANHOLES / SUMPS / ETC)
- CONFINED SPACES
- OVERHEAD POWER LINES
- UNDERGROUND STORMWATER, WATER AND SEWER PIPES
- TELECOMMUNICATION CABLES - BOTH UNDERGROUND & OVERHEAD
- ELECTRICAL POWER CABLES - BOTH UNDERGROUND & OVERHEAD
- WORKING AT HEIGHTS
- WORKING WITH GASES & TOXIC CONTAINING MATERIALS
- TRAFFIC MANAGEMENT

EARTHWORKS & DRIVEWAY NOTES:

1. ALL EARTHWORKS SHALL BE IN ACCORDANCE WITH AS3798 "GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS".
2. ALL VEGETATION AND TOPSOIL SHALL BE STRIPPED AND GRUBBED IN THE AREA OF PROPOSED WORKS.
3. MID CHAINAGE GRADES OF CROSSINGS SHALL BE IN ACCORDANCE WITH HRS AS 2890 AND DRAWING TSD-R9 + 1 AND MUST BE INSPECTED AND APPROVED BY COUNCIL.
4. ENCAUNTERED AND IMPORTED MATERIAL USED AS FILL IS TO BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.
5. FILL MATERIAL SHALL BE WELL GRADED AND FREE OF BOULDERS OR COBBLES EXCEEDING 150mm IN DIAMETER UNLESS APPROVED TO BE OTHERWISE.
6. FILL REQUIRED TO SUPPORT DRIVEWAYS INCLUDING FILL IN TRANSITIONS THAT SUPPORT DRIVEWAYS SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
   - TOPSOIL AND ORGANIC MATTER SHALL BE STRIPPED TO A MINIMUM OF 100mm.
   - THE SUBGRADE SHALL HAVE A MINIMUM BEARING CAPACITY OF 100 kPa.
   - FILL INSTALLATIONS SHALL BE LAYED 150 mm INTO NATURAL GROUND.
   - THE FILL SHALL BE COMPACTED IN HORIZONTAL LAYERS OF NOT MORE THAN 300 mm.
   - EACH LAYER SHALL BE COMPACTED TO A MINIMUM DENSITY RATIO OF 95% STD. IT IS THE BUILDERS RESPONSIBILITY TO ENSURE THAT THIS IS ACHIEVED.
7. WHERE THE ABOVE REQUIREMENTS CANNOT BE ACHIEVED THE ENGINEER SHALL BE CONSULTED AND THE FORMATION SHALL BE PROOF ROLLED UNDER SUPERVISION OF THE ENGINEER TO CONFIRM MAKE PROVISIONS MADE.
8. CONCRETE PAVEMENTS SHALL BE CURED FOR A MINIMUM OF 3 DAYS USING ACCURRENT BEST PRACTICE METHOD.
9. SAFETY CONTROL JOINTS SHALL BE CONTRACTED AS SOON AS POSSIBLE WITHOUT SAWCUTTING THE JOINT, GENERALLY THIS SHALL BE WITHIN 24 HOURS.
10. KERBS SHALL RESET TO A SAFE ANGLE OF REPOSE IN ACCORDANCE WITH THE BCA VOL 2 AS INDICATED BELOW

SOIL TYPE (* REFER BCA 3.2.4)		EMBANKMENT SLOPES H:L	
		COMPACTED FILL	CUT
STABLE ROCK (A*)		0.5	0.1
SAND (A*)		1:2	1:2
SILT (P)		1:4	1:4
CLAY	FIRM CLAY	1:2	1:1
	SOFT CLAY	NOT SUITABLE	2:3
SOFT SOILS (P)		NOT SUITABLE	NOT SUITABLE

NOTE: WHERE SITE CONDITIONS ARE UNSUITABLE FOR A NATURAL BANK CONSULT THE ENGINEER FOR A SUITABLE RETAINING WALL DESIGN. EMBANKMENTS THAT ARE TO BE LEFT EXPOSED MUST BE STABILISED BY VEGETATION OR SIMILAR WORKS TO PREVENT SOIL EROSION.

DRAINAGE AND SERVICES NOTES:

1. ALL WORKS ASSOCIATED WITH PUBLIC STORMWATER INFRASTRUCTURE IS TO BE CARRIED OUT IN ACCORDANCE WITH IPWEA (TAS) LGAT STANDARD DRAWINGS AND SPECIFICATION AND TO THE SATISFACTION OF COUNCIL.
2. ALL WORKS ASSOCIATED WITH PUBLIC SEWER AND WATER IS TO BE CARRIED OUT IN ACCORDANCE WITH THE WSA PARTS 02 & 03 (WATER AND SEWERAGE CODES OF AUSTRALIA) AND TO THE SATISFACTION OF TASWATER.
3. ALL CONNECTIONS TO EXISTING MAINS TO BE CARRIED OUT BY THE RELEVANT AUTHORITY AT COST TO BUILDER UNLESS APPROVED OTHERWISE.
4. HYDRAULIC LAYOUT TO BE COORDINATED WITH OTHER SERVICES. HYDRAULIC SHOWN IS NOTIONAL LAYOUT TO BE CONFIRMED ON SITE.
5. ALL EXISTING SERVICES TO BE LOCATED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.
6. GENERAL MATERIALS, INSTALLATION & TESTING SHALL COMPLY WITH AS3500 AND THE NCC VOL 3 (PCA).
7. INSTALL ALL AS DRAWN TO THE REQUIREMENTS OF AS3500 AND PARTS 1.2 OF THE BCA
8. PAVEMENT AND HARDSTANDS AREAS SHALL FALL AT A MINIMUM OF 1%(1:100) TO GRAND AN APPROVED DISCHARGE POINT.
9. ALL PIPE WORK UNDER TRAFFIC AND CARPARKS, INCLUDING DRIVEWAYS, IS TO BE BACKFILLED TO ENSURE COMPACTED FOR.
10. DRAINAGE PIPES TO BE MIN 4 PVC CLASS SN8, PIPES UNDER TRAFFICABLE AREAS TO BE SN8 U.N.O.
11. MINIMUM GRADES FOR DRAINAGE PIPES SHALL BE 1% FOR STORMWATER AND 1.67% FOR SEWER U.N.O.
12. MINIMUM COVER FOR DRAINAGE PIPES SHALL BE 300mm FOR STORMWATER AND 500mm FOR SEWER U.N.O.
13. WATER PIPES TO BE MIN DN20 POLY PIPE AND FITTINGS TO BE MIN CLASS 16 U.N.O.
14. WATER CONNECTIONS SHALL BE PROVIDED WITH METERAGE AND BACKFLOW PREVENTION AS PER TASWATER STANDARD DRAWING TDS-W-1002.
15. ALL PIPE WORK TO BE INSPECTED BY COUNCIL PRIOR TO BACKFILL.
16. PIT SIZES HAVE BEEN DESIGNED BY PIT CAPACITY TABLES. THESE PITS MAY NEED TO BE INCREASED IN MINIMUM INTERNAL SIZE DUE TO THE DEPTH AS PER AS3500.3 AS PER TABLE BELOW. CHECK IS THE CONTRACTORS RESPONSIBILITY TO ENSURE COMPLIANCE TO AS3500.

DEPTH TO INVERT OF OUTLET	MINIMUM INTERNAL DIMENSIONS mm	
	WIDTH	LENGTH
0-900	450	450
>900 - 1200	600	600
>900 - 1200	600	900
>1200	900	900

THE DRAWING MUST ONLY BE DISTRIBUTED IN FULL COLOUR. ALDANMARK CONSULTING ENGINEERS NO LIABILITY ARISING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.

OVERALL PLAN
SCALE 1:250 (A1)

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No PLN-19-407
DATE RECEIVED 15/05/20

HALF SCALE PRINT

DIAL BEFORE YOU DIG

ISSUE OF UNDERGROUND SERVICES
THE LOCATION OF UNDER GROUND SERVICES ARE APPROXIMATED ONLY AND THEIR EXACT LOCATION SHOULD BE PROVEN ON SITE BY THE RELEVANT AUTHORITIES. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN.

THESE DRAWINGS MUST BE APPROVED BY COUNCIL & TASWATER PRIOR TO CONSTRUCTION

	DESCRIPTION	DATE	REV.	DESCRIPTION	DATE
C	DESIGN APPROVAL	31/01/2020			
B	DESIGN APPROVAL	13/12/2019			
A	DESIGN APPROVAL	04/11/2019			

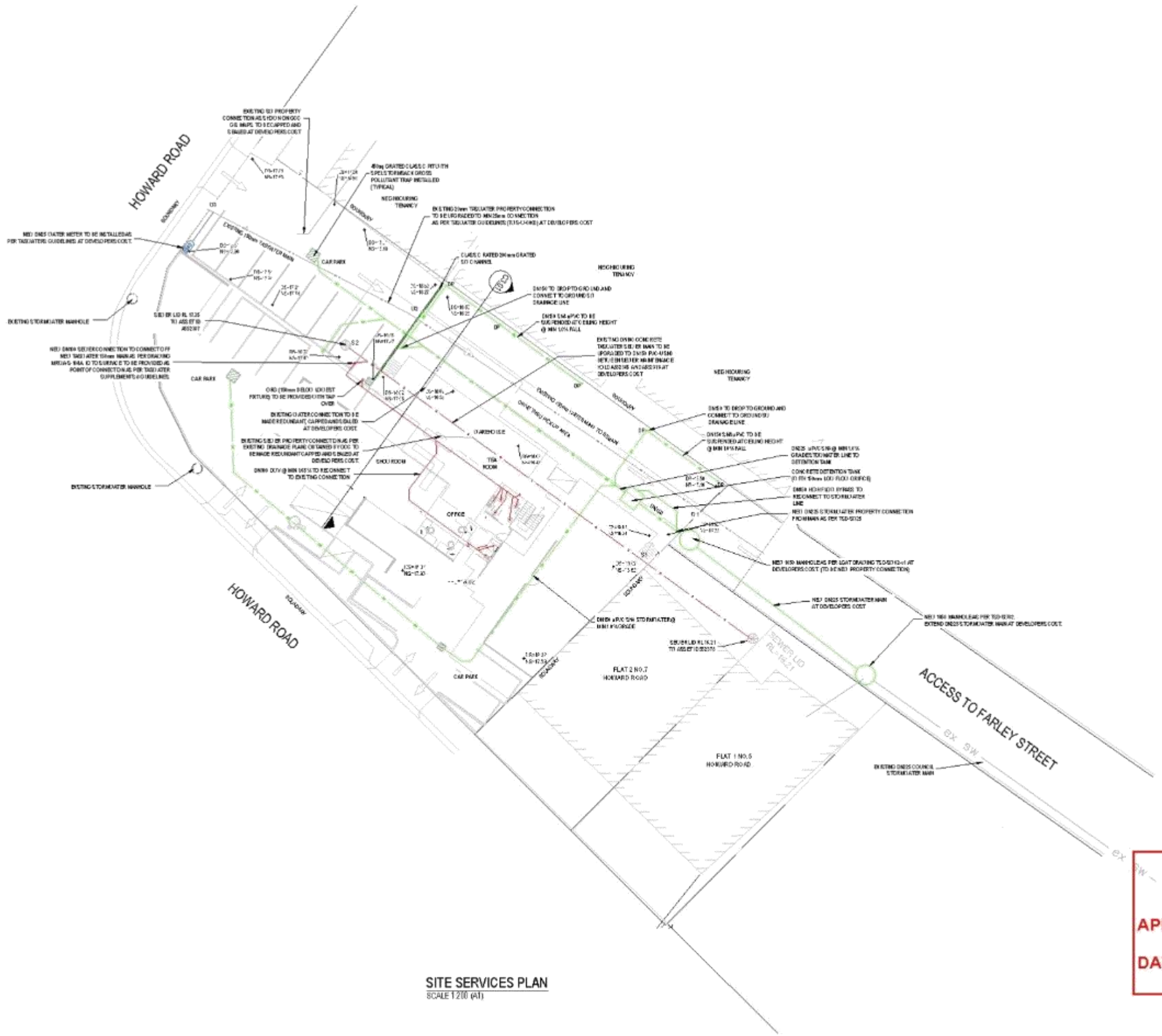
ALDANMARK CONSULTING ENGINEERS

Level 1 Grand
159 Macquarie Street
Hobart TAS 7000
ph 6234 0505
mail@aldanmark.com.au
www.aldanmark.com.au

CLIENT: DERWENT PARK PLUMBING SUPPLIES
ADDRESS: 9 HOWARD ROAD GLENORCHY, 7010
SHEET: NOTES AND OVERALL PLAN
PROJECT: PROPOSED DEVELOPMENT
ISSUE: DESIGN APPROVAL

DRAWN	DESIGNED	VERIFIED	DATE
CF	CF	MW	31/01/2020
SCALE 1:250		SIZE A1	TOTAL SHEETS 4
PROJECT No. 19E82-1		SHEET No. C0.02	REV No. C

Document Set ID: 2846337
Version: 1, Version Date: 12/06/2020



THIS DRAWING MUST ONLY BE DISTRIBUTED IN FULL COLOUR. ALDANMARK CONSULTING ENGINEERS DO NOT ACCEPT NO LIABILITY ARISING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.

SITE SERVICES PLAN

SCALE 1:200 (A1)

THESE DRAWINGS MUST BE APPROVED BY COUNCIL & TASWATER PRIOR TO CONSTRUCTION

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No PLN-19-407

DATE RECEIVED 15/05/20

HALF SCALE PRINT

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REV	DESCRIPTION	DATE	REV.	DESCRIPTION	DATE
C	DESIGN APPROVAL	3/06/2020			
B	DESIGN APPROVAL	13/12/2019			
A	DESIGN APPROVAL	04/10/2019			

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Level 1 Ground
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Hobart TAS 7000
03 6264 6606
mail@aldanmark.com.au
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CLIENT: DERWENT PARK PLUMBING SUPPLIES
ADDRESS: 9 HOWARD ROAD GLENORCHY, 7010

SHEET: SITE SERVICES PLAN
PROJECT: PROPOSED DEVELOPMENT
ISSUE: DESIGN APPROVAL

DRAWN	DESIGNED	VERIFIED	DATE
CF	CF	MW	31/01/2020
SCALE 1:200	SIZE A1	TOTAL SHEETS 4	
PROJECT No. 19E82-1	SHEET No. C1.01	REV No. C	

Document Set ID: 2846337
Version: 1, Version Date: 12/06/2020

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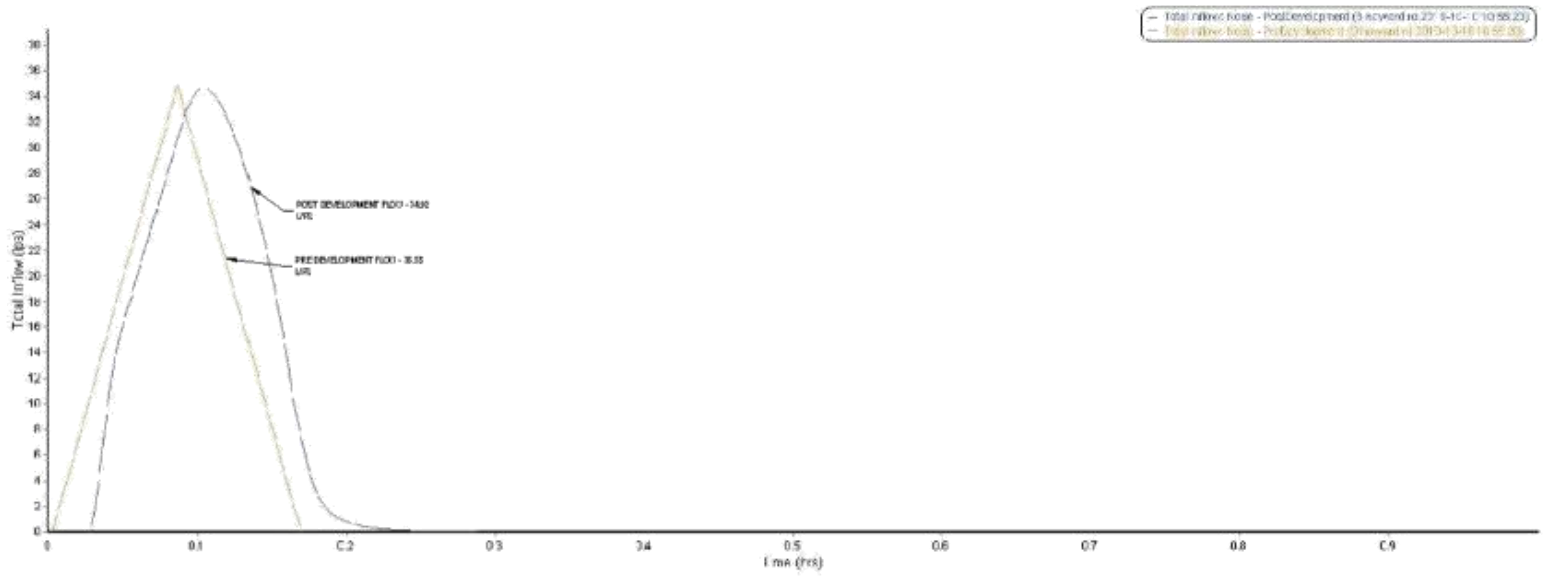
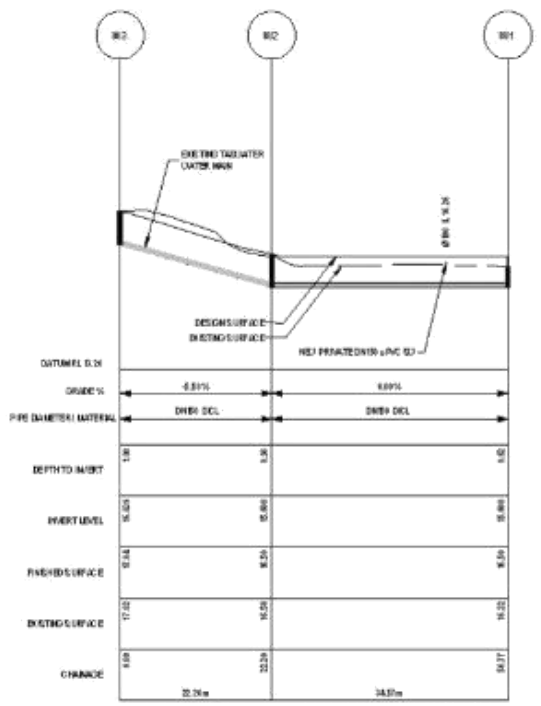


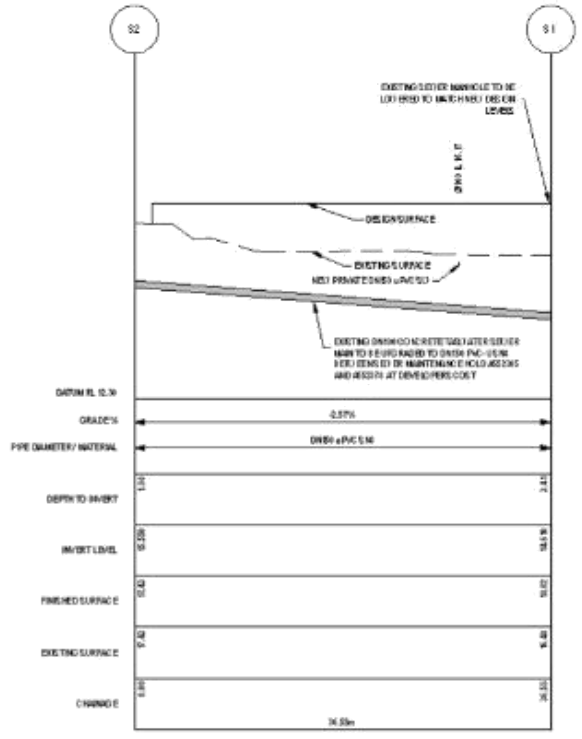
STORMWATER PRE AND POST DEVELOPMENT DISCHARGE

NTS



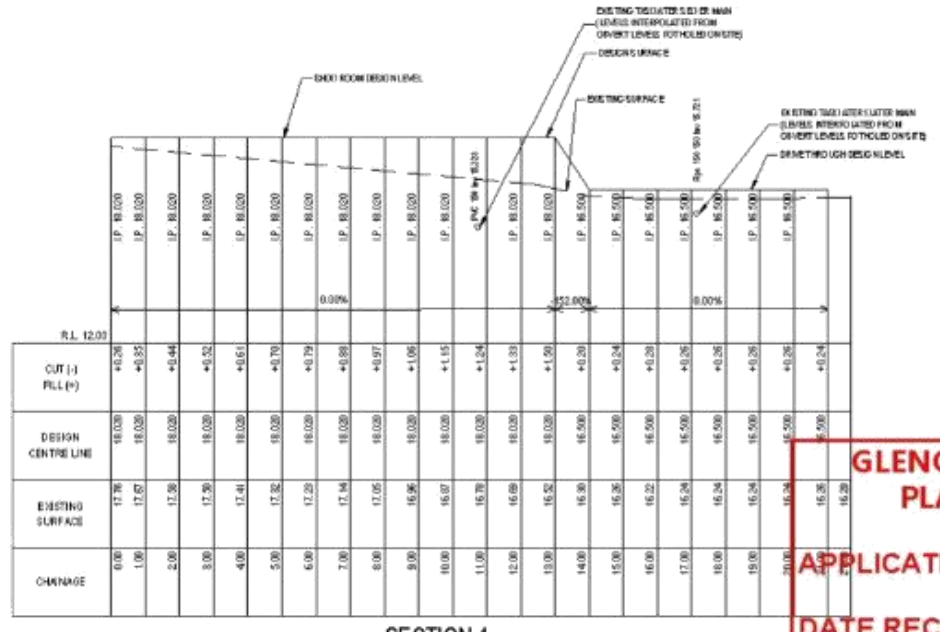
EXISTING TASWATER WATER MAIN LONGSECTION

SCALE 1:500 (A1) HORIZ
SCALE 1:100 (A1) VERT



TASWATER SEWER MAIN LONGSECTION

SCALE 1:300 (A1) HORIZ
SCALE 1:100 (A1) VERT



SECTION 1

SCALE 1:100 (A1) HORIZ
SCALE 1:100 (A1) VERT

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No PLN-19-407
DATE RECEIVED 15/05/20

HALF SCALE PRINT

DIAL BEFORE YOU DIG

DISCLAIMER OF UNDERGROUND SERVICES
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THESE DRAWINGS MUST BE APPROVED BY
COUNCIL & TASWATER PRIOR TO CONSTRUCTION

C	DESIGN APPROVAL	3/06/2020			
B	DESIGN APPROVAL	12/12/2019			
A	DESIGN APPROVAL	12/12/2019			
REV.	DESCRIPTION	DATE	REV.	DESCRIPTION	DATE

ALDANMARK CONSULTING ENGINEERS

Level 1 Grants
199 Macquarie Street
Hobart TAS 7000
03 6234 0505
mail@aldanmark.com.au
www.aldanmark.com.au

CLIENT: DERWENT PARK PLUMBING SUPPLIES
ADDRESS: 9 HOWARD ROAD, DERWENT PARK GLENORCHY, 7010
SHEET: SECTIONS
PROJECT: PROPOSED DEVELOPMENT
ISSUE: DESIGN APPROVAL

DRAWN	DESIGNED	VERIFIED	DATE
CF	CF	MW	31/01/2020
SCALE		SIZE	TOTAL SHEETS
-		A1	4
PROJECT No.		SHEET No.	REV No.
19E82-1		C3.01	C

Document Set ID: 2846337
Version: 1, Version Date: 12/06/2020

Amended Submission to Planning Authority Notice

Council Planning Permit No.	PLN-19-407		Council notice date	15/01/2020
TasWater details				
TasWater Reference No.	TWDA 2020/00045-GCC		Date of response Amendment date	13/02/2020 10/06/2020
TasWater Contact	Daria Rech	Phone No.	(03) 6237 8222	
Response issued to				
Council name	GLENORCHY CITY COUNCIL			
Contact details	gccmail@gcc.tas.gov.au			
Development details				
Address	9 HOWARD RD, GLENORCHY		Property ID (PID)	7243224
Description of development	Demolition, New Showroom and Warehouse			

Schedule of drawings/documents

Prepared by	Drawing/document No.	Revision No.	Date of Issue
Shane Mann & Associates	Proposed Site Plan / 23.19 / DA.02	B	01/04/2020
Aldanmark Consulting Engineers	Site Services Plan / 19E82-1 / C1.01	D	27/05/2020

Conditions

Pursuant to the *Water and Sewerage Industry Act* 2008 (TAS) Section 56P(1) TasWater imposes the following conditions on the permit for this application:

CONNECTIONS, METERING & BACKFLOW

1. A suitably sized water supply with metered connections to service the proposal and meet water supply demands for general and fire fighting requirements must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit.
2. A suitably sized sewerage system and connections to the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit.
3. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost.
4. The property water connection / water meter assembly must be located so as to provide unfettered access to enable reading, testing, inspection, maintenance and exchange without impediment, and be clear of obstructions.
5. Prior to commencing construction of the development, any water connection utilised for construction must have a backflow prevention device and water meter installed, to the satisfaction of TasWater.

ASSET CREATION & INFRASTRUCTURE WORKS

6. Plans submitted with the application for Engineering Design Approval must, to the satisfaction of TasWater show, all existing, redundant and/or proposed property services and mains.
   a. The existing DN100mm concrete sewer main must be replaced as DN150mm PVC-U SN8 between sewer maintenance hole Asset ID A552387 and sewer maintenance hole Asset ID

A552378.

7. Prior to applying for a Permit to Construct to construct new infrastructure the developer must obtain from TasWater Engineering Design Approval for new TasWater infrastructure. The application for Engineering Design Approval must include engineering design plans prepared by a suitably qualified person showing the hydraulic servicing requirements for water and sewerage to TasWater's satisfaction.

8. Prior to works commencing, a Permit to Construct must be applied for and issued by TasWater. All infrastructure works must be inspected by TasWater and be to TasWater's satisfaction.

9. In addition to any other conditions in this permit, all works must be constructed under the supervision of a suitably qualified person in accordance with TasWater's requirements.

10. Prior to the issue of a Certificate of Water and Sewerage Compliance (Building and/or Plumbing) all additions, extensions, alterations or upgrades to TasWater's water and sewerage infrastructure required to service the development, generally as shown on the concept servicing plan as per the schedule of drawings, are to be constructed at the expense of the developer to the satisfaction of TasWater, with live connections performed by TasWater.

11. After testing, to TasWater's requirements, of newly created works, the developer must apply to TasWater for connection of these works to existing TasWater infrastructure, at the developer's cost.

12. At practical completion of the water and sewerage works and prior to applying to TasWater for a Certificate of Water and Sewerage Compliance (Building and/or Plumbing), the developer must obtain a Certificate of Practical Completion from TasWater for the works that will be transferred to TasWater. To obtain a Certificate of Practical Completion:

    a. Written confirmation from the supervising suitably qualified person certifying that the works have been constructed in accordance with the TasWater approved plans and specifications and that the appropriate level of workmanship has been achieved;

    b. A request for a joint on-site inspection with TasWater's authorised representative must be made;

    c. Security for the twelve (12) month defects liability period to the value of 10% of the works must be lodged with TasWater. This security must be in the form of a bank guarantee;

    d. As constructed drawings must be prepared by a suitably qualified person to TasWater's satisfaction and forwarded to TasWater.

13. After the Certificate of Practical Completion has been issued, a 12 month defects liability period applies to this infrastructure. During this period all defects must be rectified at the developer's cost and to the satisfaction of TasWater. A further 12 month defects liability period may be applied to defects after rectification. TasWater may, at its discretion, undertake rectification of any defects at the developer's cost. Upon completion, of the defects liability period the developer must request TasWater to issue a "Certificate of Final Acceptance". The newly constructed infrastructure will be transferred to TasWater upon issue of this certificate and TasWater will release any security held for the defects liability period.

14. The developer must take all precautions to protect existing TasWater infrastructure. Any damage caused to existing TasWater infrastructure during the construction period must be promptly reported to TasWater and repaired by TasWater at the developer's cost.

15. Ground levels over the TasWater assets and/or easements must not be altered without the written approval of TasWater.

16. A construction management plan must be submitted with the application for TasWater Engineering Design Approval. The construction management plan must detail how the new TasWater

infrastructure will be constructed while maintaining current levels of services provided by TasWater to the community. Prior to the issue of Engineering Design Approval by TasWater, the applicant must submit to TasWater written confirmation from the property owner of 7 HOWARD RD, GLENORCHY (C.T. 60304/2) that they have been briefed on the development application to modify TasWater's infrastructure relative to their property, and to demonstrate that the property owner is in agreement with the designer's construction management approach.

17. The construction plan must also include a risk assessment and contingency plans covering major risks to TasWater during any works. The construction plan must be to the satisfaction of TasWater prior to TasWater's Engineering Design Approval being issued.

EASEMENTS & ENDORSEMENTS

18. Prior to the issue of a Certificate of Practical Completion / Certificate of Water & Sewerage Compliance (Building and/or Plumbing) pipeline easements, to TasWater's satisfaction, must be created over any existing or proposed TasWater infrastructure and be in accordance with TasWater's standard pipeline easement conditions.

    It is understood that any easements will be created by way of Transfer in accordance with Section 58 of the Land Titles Act 1980.

56W CONSENT

19. Prior to the issue of the Certificate for Certifiable Work (Building) and/or (Plumbing) by TasWater the applicant or landowner as the case may be must make application to TasWater pursuant to section 56W of the Water and Sewerage Industry Act 2008 for its consent in respect of that part of the development which is built within a TasWater easement or over or within two metres of TasWater infrastructure.

    The plans submitted with the application for the Certificate for Certifiable Work (Building) and/or (Plumbing) must show footings of proposed buildings located over or within 2.0m from TasWater pipes and must be designed by a suitably qualified person to adequately protect the integrity of TasWater's infrastructure, and to TasWater's satisfaction, be in accordance with AS3500 Part 2.2 Section 3.8 to ensure that no loads are transferred to TasWater's pipes. These plans must also include a cross sectional view through the footings which clearly shows;

    a. Existing pipe depth and proposed finished surface levels over the pipe;
    b. The line of influence from the base of the footing must pass below the invert of the pipe and be clear of the pipe trench and;
    c. A note on the plan indicating how the pipe location and depth were ascertained.

20. The Drive-Through Collection Area must remain to be an open-ended structure and must not be fully enclosed at any time, so as to ensure TasWater can maintain unfettered access to the DN150mm water main to enable inspection, maintenance and exchange without impediment.

DEVELOPMENT ASSESSMENT FEES

21. The applicant or landowner as the case may be, must pay a development assessment fee of $211.63 to TasWater, as approved by the Economic Regulator and the fees will be indexed, until the date paid to TasWater.

    The payment is required by the due date as noted on the statement when issued by TasWater.

Advice

General

For information on TasWater development standards, please visit

https://www.taswater.com.au/Development/Technical-Standards

For application forms please visit http://www.taswater.com.au/Development/Forms

Service Locations

Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.

- A permit is required to work within TasWater's easements or in the vicinity of its infrastructure. Further information can be obtained from TasWater
- TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit www.taswater.com.au/Development/Service-location for a list of companies
- TasWater will locate residential water stop taps free of charge
- Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

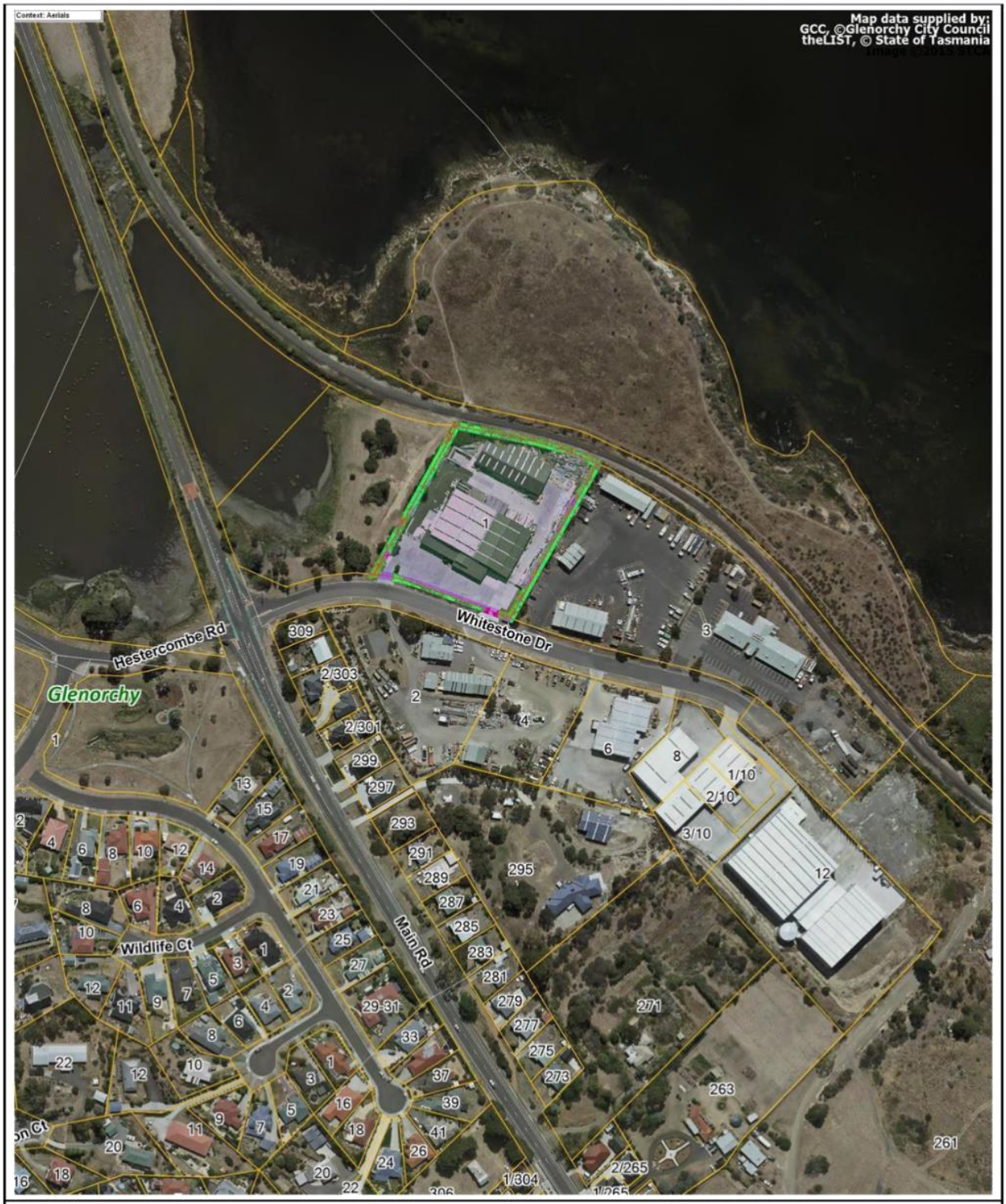
Authorised by

Jason Taylor
Development Assessment Manager

TasWater Contact Details

Email	development@taswater.com.au	Web	www.taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001		

1 Whitestone Drive, Granton



Map Scale: 1:3,275 Map Width: 622.3 m Date of Print: Monday, 6 July 2020

The graphic information on this map is produced by Glenorchy City Council.
As errors or omissions may occur please verify data before any projects are commenced.
The representation of roads or tracks is no evidence of right of way.
This map is not to be used as a site plan for making an application to council.

Steeline
ROOFING TASMANIA
Service over and above

27th May 2020

Sylvia Jeffreys
Planning Officer
Glenorchy City Council
374 Main Road
Glenorchy TAS 7010

Dear Sylvia,

PLN-20-041 – 1 WHITESTONE DRIVE, GRANTON – INCREASE TO HOURS OF OPERATION

In response to your letter dated 21st February 2020, we provide the attached report from Noise Vibration Consulting regarding their Noise Assessment.

As noted in their report they suggest "the extended operations are therefore deemed to comply with the Acceptable Solution at 24.3.2 A1 of the scheme during the day, and the Performance Criteria at 24.3.2. P1 during the early morning."

Based on the report, we request that our revised operating hours are as follows:

Monday to Friday	0545 hrs – 1845 hours
Saturday	0700 hrs – 1800 hours
Sunday	1000 hrs – 1800 hours
Public Holidays	1000 hrs – 1800 hours

If you require any further information, please do not hesitate to contact me.

Yours faithfully,

John Erends
Director/Owner
Steeling Roofing Tasmania

HOBART BRANCH:
1 Whitestone Drive, Austins Ferry, TAS 7011 PO Box 14, Claremont TAS 7011 Phone: 03 6249 4988 Fax 03 6249 3838
43 251 rends Pty Ltd trading as Steeline Roofing Hobart ABN 75 009 543 506 email tasroofing@steeline.com.au
www.steeline.com.au

Document Set ID: 2843251
Version: 1, Version Date: 04/06/2020

NVC
NOISE VIBRATION CONSULTING

Steeline
1 Whitestone Drive
Austins Ferry TAS 7011

25 May 2020

Doc 6148

Attention: John Erends

STEELINE — NOISE ASSESSMENT

Steeline Roofing Hobart operate a profiled metal roofing manufacture and distribution business at 1 Whitestone Drive, Austins Ferry. They are seeking to extend their hours of operation, and thus Council have requested a noise assessment of the site operations against clause 24.3.2 of the Planning Scheme. This letter presents the results of this assessment, conducted by NVC in April/May 2020.

1. BACKGROUND

1.1. Site and Surrounds

Figure 1, below shows an overview of the site and the surrounding area. The site is located at 1 Whitestone Drive, with its boundary outlined in the figure. The site is within a Light Industrial zone (pink overlay in figure), with other industrial uses on its eastern boundary. Whitestone Drive bounds the southern side of site, beyond which are further industrial uses. Adjacent the northern boundary is a (currently disused), rail line, beyond which is an Environmental Management zone, encompassing the banks of the River Derwent and the river itself. To the west of site is Goulds Lagoon, within the Environmental Management zone.

FIGURE 1: SITE AND SURROUNDING AREA

NVC PTY. LTD. ABN 53 626639 521 PO BOX 476, ROSNY PARK, TAS 7018
T. 6244 5556 bill@nvc.com.au

Document Set ID: 2843251
Version: 1, Version Date: 04/06/2020

The nearest residential dwellings are located within a General Residential zone (red overlay in figure) to the south-west of site, with the nearest boundary marked A in the figure. Beyond the Light Industrial zone to the south of site is a Rural Living zone, the nearest boundary of which is marked B in the figure. Further residential area is located further to the south, beyond Main Road.

1.2. Site Operations

Site operations comprise the fabrication, storage and distribution of profiled metal products, primarily for roofing and cladding. The site comprises two buildings, a carpark adjacent Whitestone Drive, and outdoor storage/loading areas surrounding the site buildings. The larger, southern building, houses the primary production area in the northern part of the building and a large section of offices in the southern part of the building. The main external access to the production area is via roller doors on the northern side of the shed, with roller doors also on the eastern and western facades. The northern building is used for production of smaller products (guttering, etc.), and has roller doors on its southern and eastern facades. The main building is constructed from a combination of masonry and profiled metal on steel framing. The southern part of the building is masonry and houses the offices, and thus noise emissions through this section of the building are minimal in comparison to other sections. The northern building is constructed from profiled metal on steel framing.

Raw product arrives on site as steel sheet on a roll, delivered via truck through the entrance on the south-western corner of site, which is then unloaded by forklift. These rolls are moved via forklift into the buildings for pressing into the required profiled shape, and trimming. The profiled products are then stored either between the two buildings (for products to be imminently transported offsite), or to the west of the buildings for longer term storage. Finished product is then loaded onto the trucks for transport offsite. This occurs predominantly between the two buildings, but also in the longer-term storage area to the west of the main building.

The site currently operates under two permits; permit PLN-14-168 for the rear manufacturing building, which states operating hours between 7:00AM and 5:00PM Monday to Saturday, and PLN-17-028 for the front office building, which states operating hours between 7:30AM and 5:00PM, Monday to Friday.

The operators are seeking to operate between the hours of 5:45AM and 6:00PM, Monday to Saturday inclusive. It is intended that these new operating hours will cover the entire site, although in practise it is likely that the office operating hours will remain unchanged.

Early morning operations (prior to 7:00AM) are able to be largely conducted with the roller doors closed. Mid-sized trucks are used for transportation of finished product which are stored within the northern shed overnight for security. These trucks must be moved from inside the shed to the driveway, after which the roller doors may be closed for the commencement of production. The roller doors would then be opened after 7:00AM.

Occasional loading of product from the outside stockpiles may also occur prior to 7:00AM. This may occur either between the two buildings, or in the storage area adjacent the eastern side of the main building. This has the potential to generate noise via truck idling and movements, forklift engine and reversing beacon noise, and product handling noise.

It is noted that the forklifts on site are fitted with broad-band reversing beacons.

NVC has been informed that delivery of raw product occurs after 7:00AM only.

2. NOISE MEASUREMENTS

2.1. Site Noise Emissions

Noise measurements were made on site on the 29th April 2020 to assess noise emissions from the equipment and processes used. Measurements used a Type 1 sound level meter, logging overall levels and spectral and statistical data at 10-minute intervals.

The site was operating as usual during the measurement period, with production underway in both buildings, and loading and unloading of product occurring in the driveway between the two buildings.

Document Set ID: 2843251
Version: 1, Version Date: 04/06/2020

Due to the large number of noise sources within the shed associated with production, measurements were made over a period of nominally 15 minutes at the various roller doors in order to quantify the noise emissions through the openings. Measurements of noise emissions from truck loading in the driveway were made separately, during the loading of one truck.

The effective sound power level of each roller door was then calculated in order to predict noise emissions from each facade of the shed.

Overall noise emissions from the site were predicted using an iNoise software model, which employs the ISO9613 algorithm, accounting for attenuation due to distance, ground reflections, air absorption, topographical contours and screening due to the various buildings in the area. The noise sources used in the model are:

- Roller doors on both the main and northern buildings. The sound power levels applied at each roller door assume normal operation within the shed, and that the roller doors are open.
- Truck loading in the laneway between the two buildings. Modelling here comprises truck engine idling, forklift engine noise, and product handling noise as measured on site during truck loading.
- Truck loading to the east of the main site building. Modelled as above.

The sound power levels of each of these sources are shown in Table 1.

TABLE 1: SOURCE SOUND POWER LEVELS

Source	Sound Power Level, Leq (dBA)
Roller doors	87 to 96
Truck idling	91
Forklift working	96
Product loading	83

2.2. Ambient Noise levels

Measurements have previously been made to assess the ambient noise noise experienced by the residential dwellings in the area. These measurements were made over a period of 7 days in July 2014, with the data between 5:45AM and 7:00AM summarised in Table 2.

TABLE 2: MEASURED AMBIENT NOISE LEVELS

	Sound Pressure Level (dBA)		
Time Period	**L10**	**L90**	**Leq**
Early Morning (5:45AM to 7:00AM)	46	38	44

3. CRITERIA

Section 24 of the Glenorchy Interim Planning Scheme 2015 (the Scheme), contains criteria for a Light Industrial zone.

In particular, clause 24.3.2 details criteria specific to noise emissions, the objective of which is:

> "*To ensure that noise emissions do not cause environmental harm and do not have unreasonable impact on residential amenity on land within a residential zone.*"

To satisfy this objective, the following Acceptable Solutions criteria are stated under clause 24.3.2-A1

> "*Noise emissions measured at the boundary of the residential zone must not exceed the following:*
>
> *a. 55 dB(A) (LAeq) between the hours of 7:00 am to 7:00 pm;*

Document Set ID: 2843251
Version: 1, Version Date: 04/06/2020

b. *5 dB(A) above the background (LA90) level or 40 dB(A) (LAeq), whichever is the lower, between the hours of 7:00 pm to 7:00 am;*

c. *65 dB(A) (LAmax) at any time…"*

If these Acceptable Solutions criteria are not met, the following Performance Criteria are stated under 24.3.2-P1:

"Noise emissions measured at the boundary of a residential zone must not cause environmental harm within the residential zone."

Additionally, the Tasmanian Environmental Protection Policy (Noise) 2009 is referred to, which details indicator noise levels for both annoyance (during the day time) and sleep disturbance (during the night time). These levels are reproduced in Table 3, below.

TABLE 3: ACOUSTIC ENVIRONMENT INDICATOR LEVELS, TAS EPP (NOISE) 2009

Specific Environment	Critical Health Effect(s)	Leq, [dBA]
Outdoor living areas	Serious annoyance, daytime and evening	55, Leq 16hr
	Moderate annoyance, daytime and evening	50, Leq 16hr
Outside bedrooms	Sleep disturbance, window open (outside values)	45, Leq 8hr

It is taken that if noise emissions do not exceed these indicator levels, then noise levels are unlikely to adversely effect the amenity of the nearby sensitive uses, and thus clause 24.3.2-P1 of the Scheme is satisfied. It is noted that the TAS EPP criteria apply outside the residential dwelling, rather than at the boundary of the residential zone.

4. NOISE PREDICTIONS

Predictions are made for four separate scenarios:

- Internal operations in both buildings. Two scenarios are modelled here: all roller doors open, and with the roller doors on the western and eastern facades of the main building closed (the others remaining open).
- Truck loading in both locations simultaneously (comprising a truck idling, working forklift, and product handling noise).
- The above scenarios combined (with all roller doors open).

The following comments are relevant:

- Predicted levels are for the worst affected part of the residential boundary for each location. For the Rural Living zone, this is not the nearest part of the boundary to site (i.e. the northern corner), as this particular area is well screened from site by buildings on the southern side of Whitestone Drive. The worst affected location is as indicated by B in Figure 1.
- It is assumed that trucks in both locations are being loaded simultaneously - this is conservative, particularly during the early morning period, as it is atypical.
- It is assumed a forklift is operating continuously at each truck loading location - this is conservative as product is often loaded by hand.
- It is assumed that full-scale production operations are underway in both sheds.
- Light vehicle movements (i.e. employees coming to work and parking) are excluded from the predictions.

The predicted noise levels at the nearest residential boundaries for the four operating scenarios are shown in Table 4.

TABLE 4: PREDICTED SOUND PRESSURE LEVELS

	Sound Pressure Level, dBA			
	Internal operations only		Truck loading only	All operations combined
	Roller doors open	East/west doors closed		
Location A	44	22	35	45
Location B	35	32	42	42

It is noted that for location A, the dominant noise source is the roller door on the western facade of the main building. For location B, the dominant source is truck loading on the eastern side of site.

5. ASSESSMENT

In assessing the noise emissions from the proposal, the following points are noted:

- Predicted noise emissions are deemed worst-case, and in practise are likely to be lower.
- The character of expected noise emissions is similar to neighbouring uses, which defines the character of the existing ambient noise expected in the area.
- The predictions are at the worst affected part of the residential boundary. For location B in particular, the actual residence is significantly further from site, and thus noise there will be lower than at the boundary.
- The residential ambient noise has previously been measured in 2014 and showed a background noise level of 38 dBA, and an ambient noise level of 44 dBA. Due to further development in the area, these levels are likely to have increased somewhat.
- Predicted noise levels at the residential receivers are therefore likely to be at a similar or lower level than the existing ambient level.

During the day time, noise emissions on site are well below the Acceptable Solutions criterion of 55 dBA under the Scheme.

Prior to 7AM, noise emissions from truck loading have the potential to exceed the Acceptable Solutions criterion of 40 dBA at both location A and B, depending on the operations being conducted. In assessing these emissions, the following is considered:

Location A:

- Truck loading noise here is below the Acceptable Solutions criterion of 40 dBA.
- If the western roller door is closed, noise from internal operations is also well below 40 dBA.
- If the western roller door is open, and full-scale manufacture is being conducted within the shed (unlikely during the early morning period), the predicted level remains below the Tas EPP criterion of 45 dBA, and so is unlikely to cause sleep disturbance. It is thus unlikely to impact residential amenity, and therefore will not cause environmental harm.

Location B:

- Noise from internal operations here is below the Acceptable Solutions criterion of 40 dBA, regardless of the roller doors being open or closed.
- Truck loading noise is predicted to be a maximum of 42 dBA, due to the direct line of site between the loading area on the eastern side of site and the residential boundary. This is again well below 45 dBA, and thus unlikely to impact residential amenity or cause environmental harm.

The noise levels during the early morning period are then expected to be largely below 40 dBA at the nearest residential boundaries. On occasions when they exceed this level, they are still predicted to be below 45 dBA, and thus are unlikely to impact residential amenity. This worst-case scenario then complies with the Performance Solution under clause 24.3.2-P1 of the Scheme.

The extended operations are therefore deemed to comply with the Acceptable Solution at 24.3.2 A1 of the Scheme during the day, and the Performance Criteria at 24.3.2 P1 during the early morning.

Should you have any queries, please do not hesitate to contact me directly.

Kind regards,

Jack Pitt

NOISE VIBRATION CONSULTING

Document Set ID: 2843251
Version: 1, Version Date: 04/06/2020

GLENORCHY INTERIM PLANNING SCHEME 2015

1. AMENDMENT PLAM-20/01

The Glenorchy Interim Planning Scheme 2015 is amended as follows:

Land affected by this amendment: 52 Albert Road Moonah

The Planning Scheme Ordinance is amended by:

1. **At Clause 21.2 Use Table to the General Business Zone, in the Discretionary uses section of the table, insert the following Use Class and qualification after 'Sports and Recreation':**

Storage	**Only if on land described in CT 229113/1 (52 Albert Road, Moonah), and if for self-storage facility**

In witness whereof the common seal of Glenorchy City Council has been affixed on the day of 20 as authorised by Council in the presence of:

Council Delegate

GLENORCHY CITY COUNCIL

CERTIFICATION OF DRAFT AMENDMENT UNDER SECTION 35, FORMER PROVISIONS, LAND USE PLANNING AND APPROVALS ACT 1993

The Planning Authority has prepared the attached draft amendment, Amendment PLAM-20/01, to the Glenorchy Interim Planning Scheme 2015.

The Planning Authority:

- has determined that it is satisfied that the draft amendment meets the requirements specified in Section 32, former provisions, of the Land Use Planning and Approvals Act 1993 ("the Act"); and
- in accordance with Section 35(1)(a), former provisions, of the Act, certifies that the draft amendment so meets those requirements.

In witness whereof the common seal of Glenorchy City Council has been affixed on the

day of

20 as authorised by Council in the presence of:

_____

Council Delegate

2