GLENORCHY PLANNING AUTHORITY
ATTACHMENTS
MONDAY, 13 AUGUST 2018

TABLE OF CONTENTS:

PLANNING

5. Proposed Use and Development - Proposed Decking and Outbuilding with Retaining Walls - 8 Cutler Place West Moonah

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7. Amendment PLAM-18/01 - S.39 Report to TPC - amendment to hobart show ground specific area plan - 2 & 20 Howard Road, Glenorchy

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Map Scale: 1:1,464 Map Width: 278.1 m Date of Print: Tuesday, 7 August 2018

The graphic information on this map is produced by Glenorchy City Council.
As errors or omissions may occur please verify data before any projects are commenced.
The representation of roads or tracks is no evidence of right of way.
This map is not to be used as a site plan for making an application to council.

TasWater

Submission to Planning Authority Notice

Council Planning Permit No.	PLN-18-068	Council notice date	24/04/2018
TasWater details			
TasWater Reference No.	TWDA 2018/00626-GCC	Date of response	01/05/2018
TasWater Contact	Amanda Craig	Phone No.	03) 6345 6318
Response issued to			
Council name	GLENORCHY CITY COUNCIL		
Contact details	gccmail@gcc.tas.gov.au		
Development details			
Address	8 CUTLER PL, WEST MOONAH	Property ID (PID)	5421322
Description of development	Internal alterations, new deck with roof & shed		

Schedule of drawings/documents

Prepared by	Drawing/document No.	Revision No.	Date of Issue
Precision Design & Drafting	01 Proposed Site Plan	--	22/03/2018

Conditions

Pursuant to the *Water and Sewerage Industry Act 2008 (TAS)* Section 56P(1) TasWater does not object to the proposed development and no conditions are imposed.

Advice

General

For information on TasWater development standards, please visit http://www.taswater.com.au/Development/Development-Standards

For application forms please visit http://www.taswater.com.au/Development/Forms

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

Authorised by

Jason Taylor
Development Assessment Manager

TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au

Note:
Builder and subcontractors to verify all dimensions and levels prior to the commencement of any work. Give 24 hours minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with engineers and surveyors drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and engineers drawings shall override architectural drawings.
All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant BCA and AS codes.

Important Notice for Attention of Owner:
The owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO building technology file 18 and it is the owners responsibility to maintain the site in accordance with this document.

SOIL AND WATER MANAGEMENT NOTES:-
-Site to be vegetated and planted according to the satisfaction of the Hobart Regional soil and water management code of practice.
-Site to be disturbed as minimal as possible, (i.e. only building, drainage and immediate adjoining areas).
-Install all drainage lines prior to placement of roof and guttering. Connect immediately once dwelling is roofed.
-Apply temporary covering (eg, waterproof blankets, vegetation or mulch) to all disturbed areas where construction is only partially completed, which will remain exposed for a period of 14 days or more.
-Protect any nearby or on-site drainage pits from sediment by installing sediment traps around them.
-Limit entry/exit to one point and stabilise. Install facilities to remove dirt/mud from vehicle wheels before they leave the site.
-All soil/excavated matter to be retained on site, to be used as battered fill required for the landscaping areas.

Stabilised site entry / exit point:-
1. Strip topsoil and level.
2. Compact subgrade.
3. Cover area with needle-punched geotextile.
4. Construct 200mm thick pad over geotextile using roadbase or 40mm aggregate. Minimum length 5 metres or to building alignment. Minimum width 3 metres.
5. Construct hump immediately within boundary to divert water to a sediment fence or other sediment trap.

SURVEYORS NOTES:
1. THIS PLAN HAS BEEN PREPARED BY SURVEY PLUS FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
2. TITLE BOUNDARIES SHOWN WERE NOT VERIFIED OR MARKED AT THE TIME OF THIS SURVEY.
3. SERVICES SHOWN ON THIS PLAN WERE LOCATED WHERE POSSIBLE BY FIELD SURVEY. THEY ARE NOT A COMPLETE PICTURE OF SERVICES ON SITE. ALL SERVICE LOCATIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON SITE, IN PARTICULAR THOSE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY.
4. SURVEY PLUS CAN NOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.
5. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF SURVEY PLUS
6. HORIZONTAL DATUM IS MGA (Map Grid Australia)
7. VERTICAL DATUM IS AHD (Australian Height Datum)
8. CONTOUR INTERVAL IS 0.2 METRES, INDEX IS 1.0 METRES.
9. SURVEY BY ROBOTIC TOTAL STATION AND GPS.
10. DUE TO THE AGE OF TITLE SURVEY IF ANY CONSTRUCTION WORKS ARE TO BE UNDERTAKEN ON OR NEAR THE TITLE BOUNDARY A RE-MARK SURVEY WILL BE REQUIRED
11. BOUNDARIES ARE COMPILED ONLY FROM SP6345 AND RELEVANT SURVEY INFORMATION OBTAINED FROM LAND TITLES OFFICE AND ARE APPROXIMATE AND SUBJECT TO SURVEY
12 ALL WINDOWS WERE NOT ABLE TO BE LOCATED DUE TO OBSTRUCTION OF LINE OF SIGHT FROM TOTAL STATION.
WINDOW LOCATIONS ARE APPROXIMATE ONLY DUE TO BEING UNABLE TO BE PERPENDICULAR TO WINDOWS WHEN LOCATING WITH TOTAL STATION.
13. 3D DATA TURNED OFF IN LAYER CONTROL
- 3D TIN
- MAJOR CONTOUR 3D
- MINOR CONTOUR 3D

Site
Lot 18
Site Area : 613m²
Site Coverage : 248.92m² =000%

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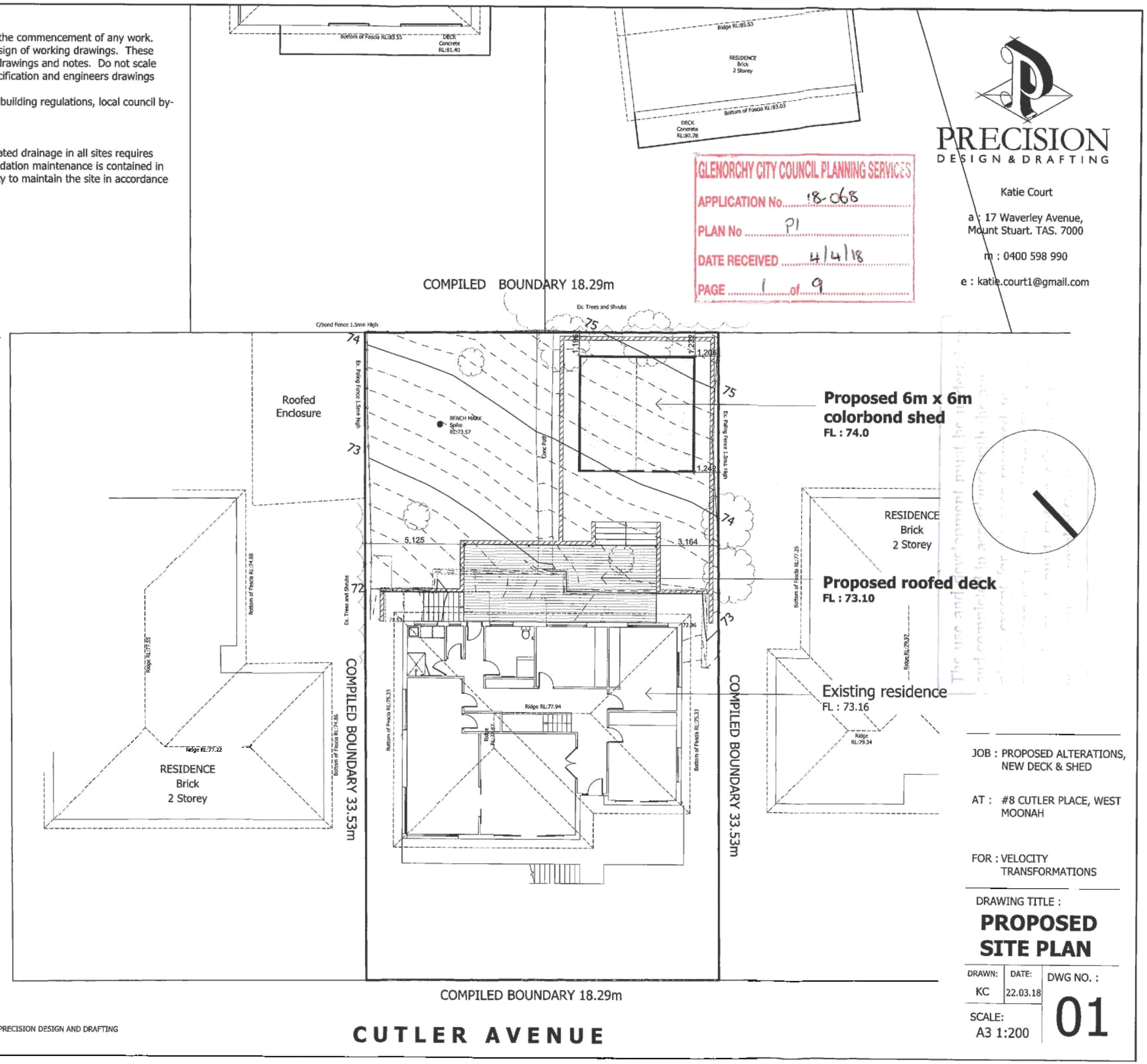

GLENORCHY CITY COUNCIL PLANNING SERVICES
APPLICATION No. 18-068
PLAN No P1
DATE RECEIVED 4/4/18
PAGE 1 of 9

PRECISION DESIGN & DRAFTING
Katie Court
a : 17 Waverley Avenue, Mount Stuart. TAS. 7000
m : 0400 598 990
e : katie.court1@gmail.com

JOB : PROPOSED ALTERATIONS, NEW DECK & SHED

AT : #8 CUTLER PLACE, WEST MOONAH

FOR : VELOCITY TRANSFORMATIONS

DRAWING TITLE :
PROPOSED SITE PLAN

DRAWN:	DATE:	DWG NO. :
KC	22.03.18	01

SCALE: A3 1:200

Note:
Builder and subcontractors to verify all dimensions and levels prior to the commencement of any work. Give 24 hours minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with engineers and surveyors drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and engineers drawings shall override architectural drawings.
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Important Notice for Attention of Owner:
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GLENORCHY CITY COUNCIL PLANNING SERVICES
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DATE RECEIVED 4/4/18
PAGE 2 of 9

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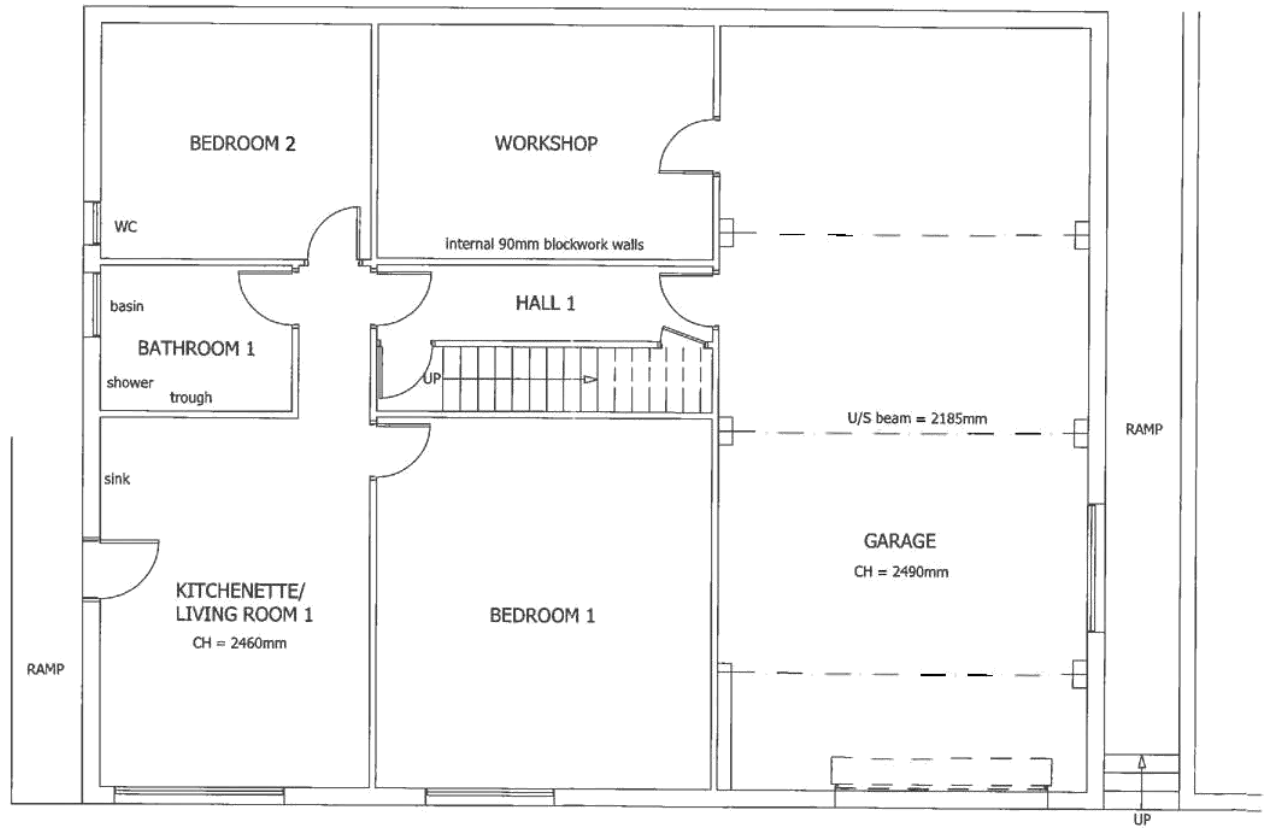

JOB : PROPOSED ALTERATIONS, NEW DECK & SHED

AT : #8 CUTLER PLACE, WEST MOONAH

FOR : VELOCITY TRANSFORMATIONS

DRAWING TITLE :

EXISTING LOWER PLAN

DRAWN:	DATE:	DWG NO. :
KC	22.03.18	02

SCALE: A3 1:100

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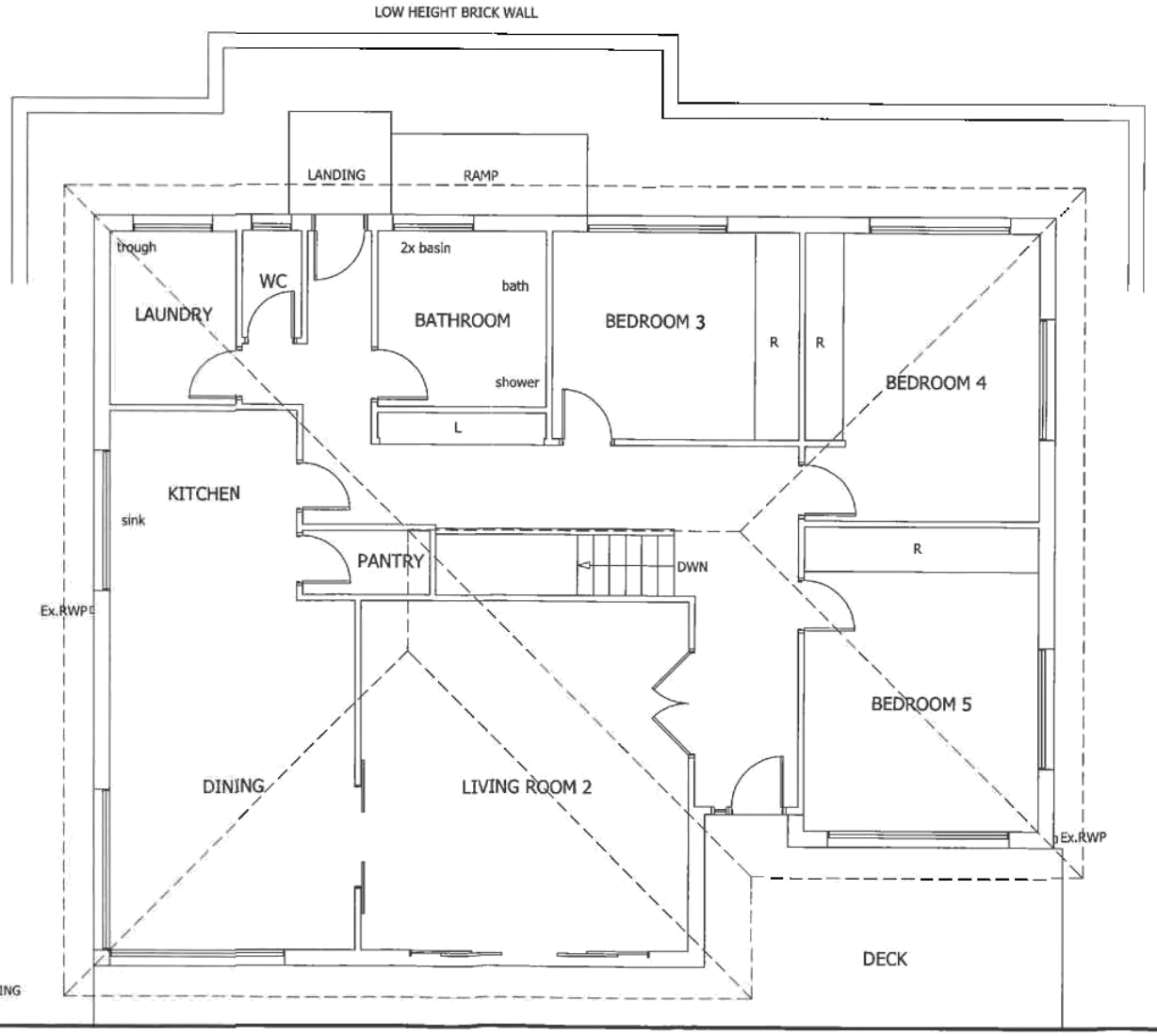

JOB : PROPOSED ALTERATIONS, NEW DECK & SHED

AT : #8 CUTLER PLACE, WEST MOONAH

FOR : VELOCITY TRANSFORMATIONS

DRAWING TITLE :
EXISTING UPPER PLAN

DRAWN:	DATE:	DWG NO. :
KC	22.03.18	03

SCALE: A3 1:100

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PRECISION
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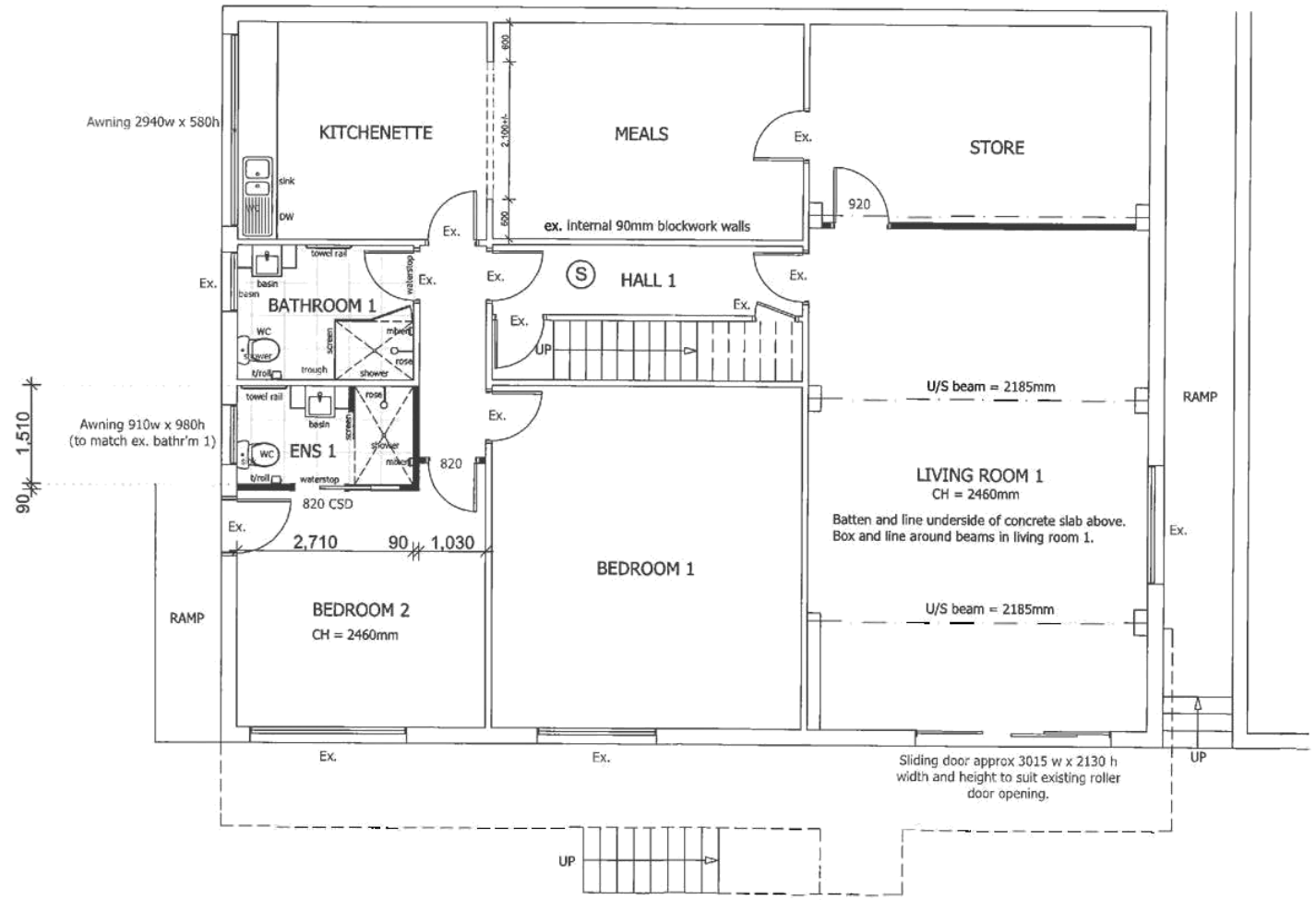
GENERAL :
ALL FLASHINGS TO BE IN ACCORDANCE WITH PART 3.3 OF THE BCA.
WEEP HOLES AND DAMP PROOF COURSING IN ACCORDANCE WITH 3.3.4.4 AND 3.3.4.5 OF THE BCA.
FIBRE CEMENT SHEET IN ACCORDANCE WITH 3.5.3.4 OF THE BCA.
BRICK CONSTRUCTION IN ACCORDANCE WITH THE BCA REQUIREMENTS.
PLASTERBOARD TO INTERNAL WALL LININGS AND CEILINGS WITH SELECTED CORNICE. (SEE BELOW FOR WET AREAS).
WHERE WINDOWS OR DOORS ARE TO BE INSTALLED DIRECTLY ON TOP OF A SLAB EDGE, A MINIMUM 20MM REBATE MUST BE PROVIDED. ALTERNATIVELY THEY MAY BE FLASHED OR A SUB SILL INSTALLED TO PREVENT WATER PENETRATION AND STRUCTURAL DAMAGE TO THE BUILDING ELEMENTS.



JOB : PROPOSED ALTERATIONS, NEW DECK & SHED

AT : #8 CUTLER PLACE, WEST MOONAH

FOR : VELOCITY TRANSFORMATIONS

DRAWING TITLE :
PROPOSED GROUND PLAN

DRAWN:	DATE:	DWG NO. :
KC	22.03.18	04
SCALE: A3 1:100		

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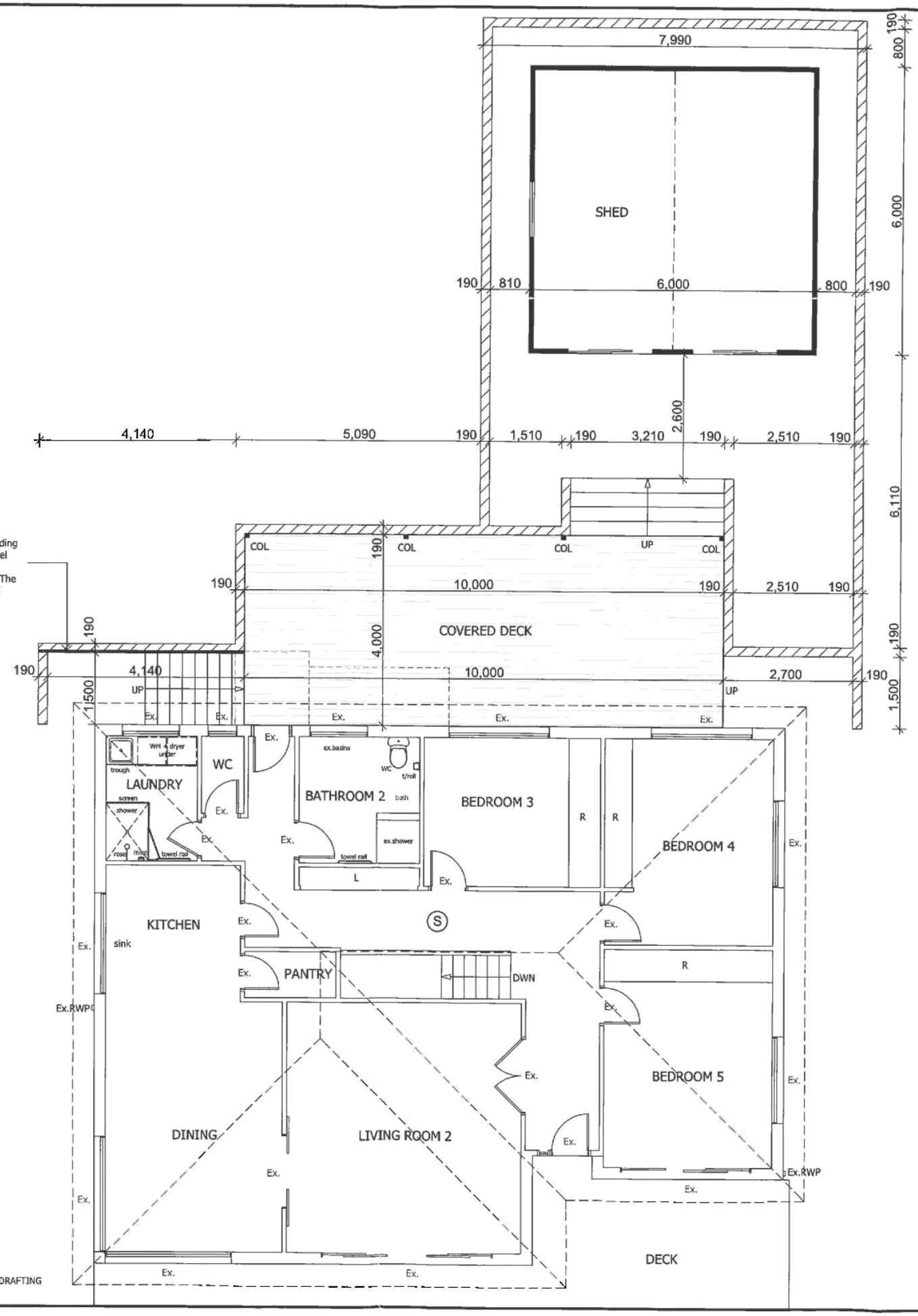
The height of any verandah/patio/landing exceeding 1000mm above ground level shall be provided with a balustrade in accordance with Part 3.9 of the BCA. The balustrade shall be 1000mm high and gaps to be no more than 125mm.



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JOB : PROPOSED ALTERATIONS, NEW DECK & SHED

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FOR : VELOCITY TRANSFORMATIONS

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PROPOSED UPPER PLAN

DRAWN:	DATE:	DWG NO. :
KC	22.03.18	05

SCALE: A3 1:100

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FRAMING PART 3.4 BCA

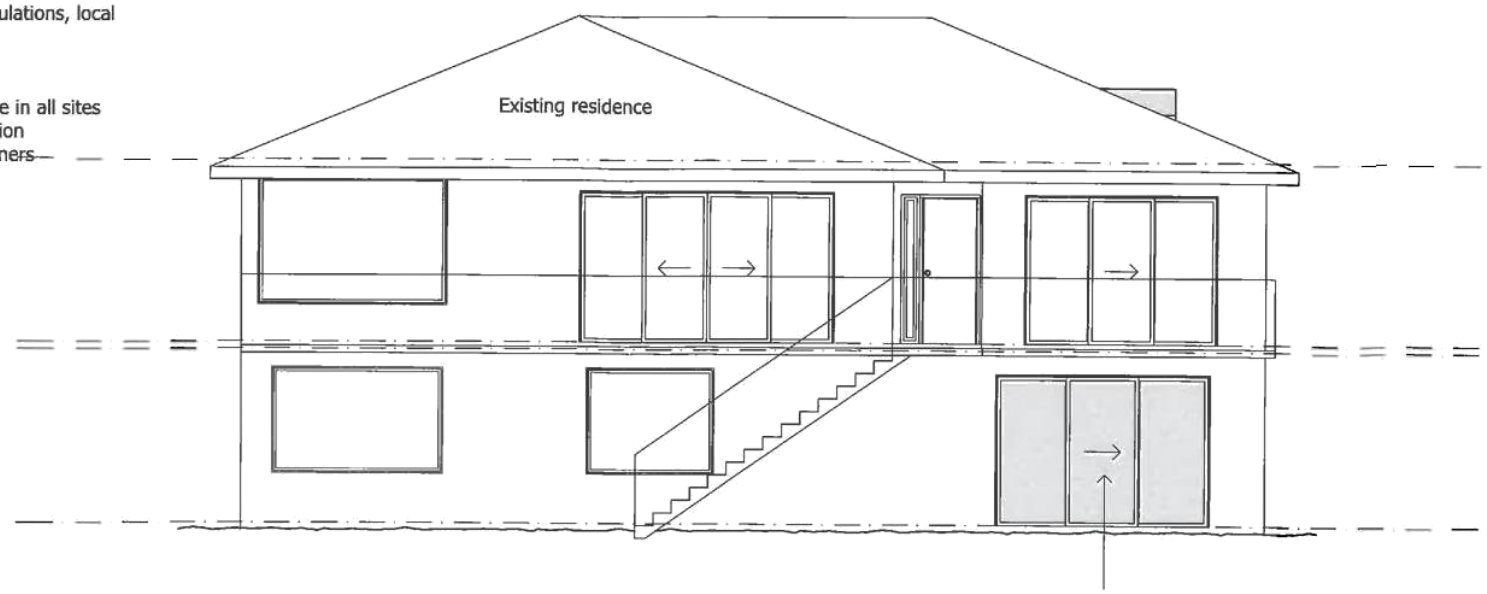
ALL TIMBER FRAMING, FIXINGS AND BRACING SHALL COMPLY WITH AS 1684 AND
THE REQUIREMENTS OF BCA PART 3.4.3. MANUFACTURED SIZES MUST NOT BE UNDERSIZED TO THOSE SPECIFIED. FOR ALL TIMBER SIZES, STRESS GRADES, SPACINGS AND WALL BRACING REFER TO ENGINEERS DETAILS. TIE -DOWN DETAILS SHALL COMPLY WITH THE REQUIREMENTS OF TABLES 3.4.3.8 AND 3.4.3.9

STRUCTURAL STEEL MEMBERS SHALL COMPLY WITH THE REQUIREMENTS OF CLAUSES
IN PART 3.4.4. REFER TO ENGINEERS DETAILS WHERE PROVIDED

GLAZING PART 3.6 BCA

ALL NEW WINDOWS TO BE ALUMINIUM AWNING OR FIXED STYLE, DOUBLE GLAZED.
ALL GLAZING SHALL COMPLY WITH THE REQUIREMENTS OF AS 2047 - AS 1288 AND BCA CLAUSES IN PART 3.6

HUMAN IMPACT SAFETY REQUIREMENTS SHALL COMPLY WITH BCA CLAUSES 3.6.4. PANE WITHIN 500mm FROM FINISHED FLOOR LEVEL & GLAZED FULL HEIGHT.



NORTH-EAST ELEVATION

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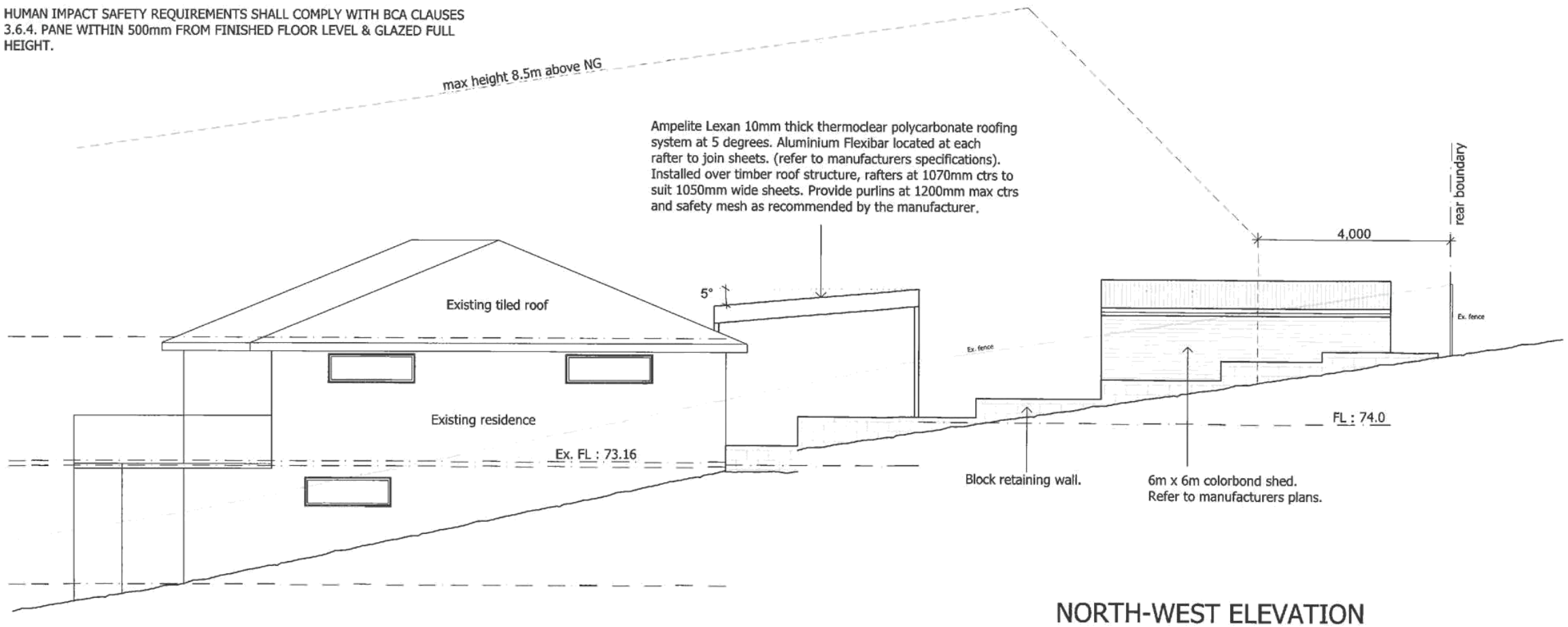

NORTH-WEST ELEVATION

JOB : PROPOSED ALTERATIONS, NEW DECK & SHED

AT : #8 CUTLER PLACE, WEST MOONAH

FOR : VELOCITY TRANSFORMATIONS

DRAWING TITLE :

PROPOSED ELEVATIONS

DRAWN:	DATE:	DWG NO. :
KC	22.03.18	06

SCALE: A3 1:100

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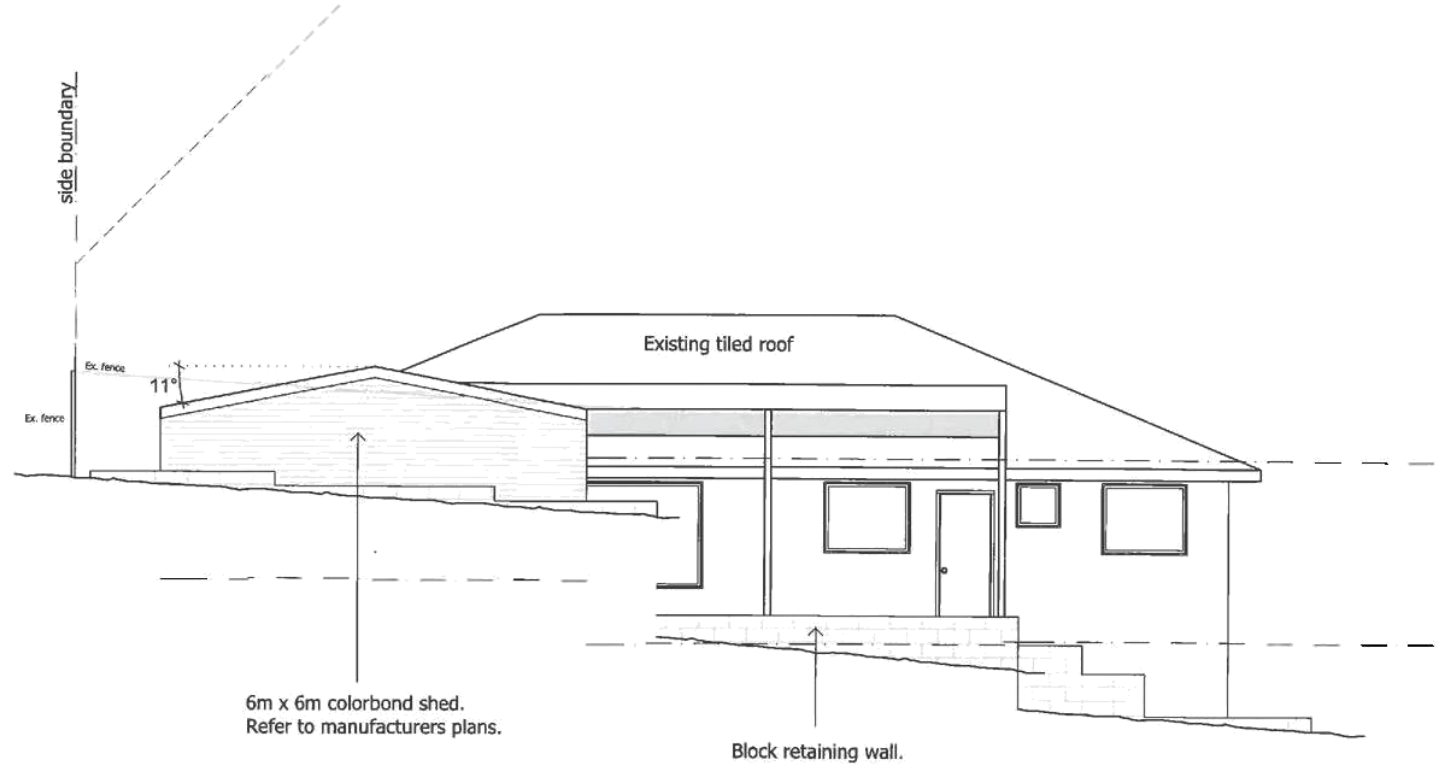

SOUTH-WEST ELEVATION

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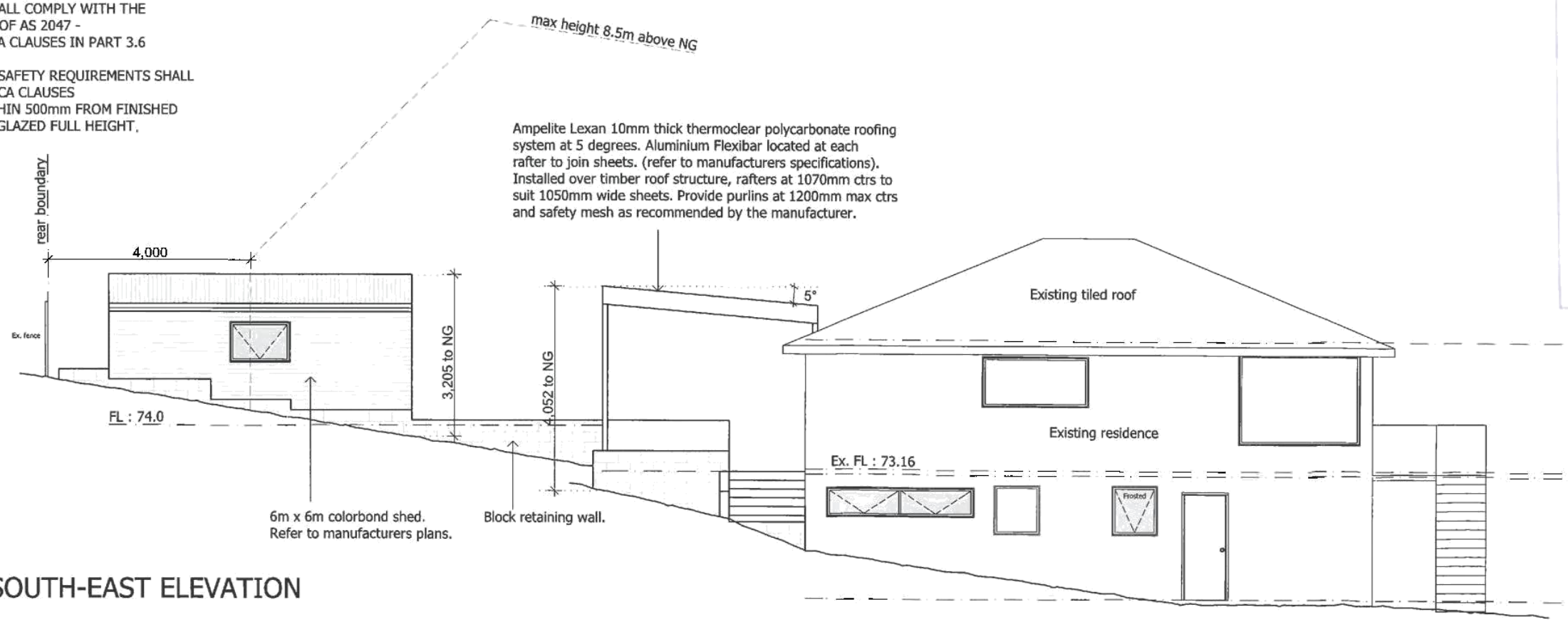

SOUTH-EAST ELEVATION

JOB : PROPOSED ALTERATIONS, NEW DECK & SHED

AT : #8 CUTLER PLACE, WEST MOONAH

FOR : VELOCITY TRANSFORMATIONS

DRAWING TITLE :

PROPOSED ELEVATIONS

DRAWN:	DATE:	DWG NO. :
KC	22.03.18	07

SCALE:
A3 1:100

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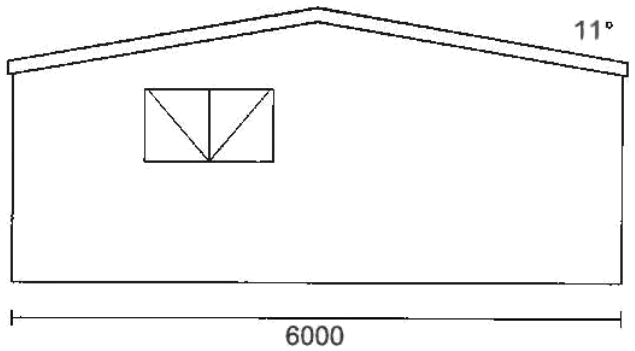
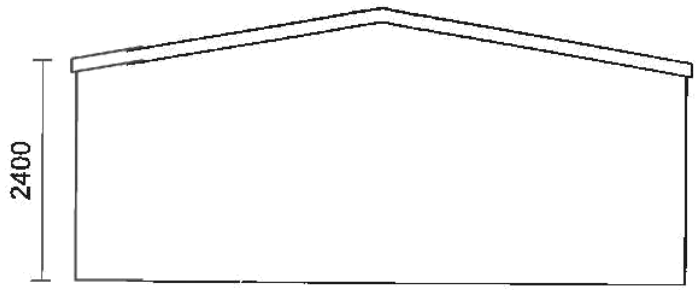
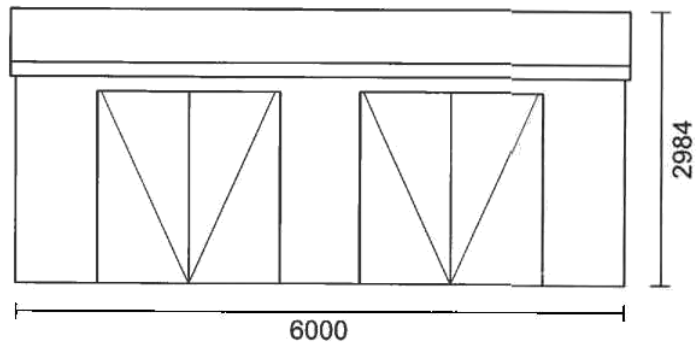


FRONT ELEVATION

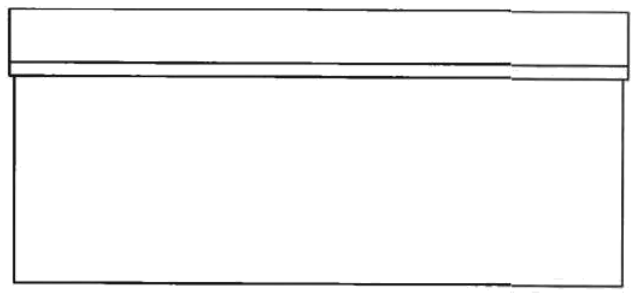


REAR ELEVATION

GLENORCHY CITY COUNCIL PLANNING SERVICES
APPLICATION No. 18-068
PLAN No. P1
DATE RECEIVED 4/4/18
PAGE 8 of 9



RIGHT ELEVATION



LEFT ELEVATION

QUOTATION NO.LEG1270-1
QUOTATION FOR
MARK POTTER

SITE ADDRESS: 8 CUTLER STREET WEST MOONAH 7008

PREMIUM CLASS 10a GABLE GARAGE
ROOF: 0.42 BMT (0.47 TCT) TRIMDEK - COLORBOND
WALLS: 0.35 BMT (0.40 TCT) MULTICLAD - COLORBOND
CORNERS: FLASHINGS SUPPLIED
GUTTER: HI-FRONT QUAD GUTTER - COLORBOND
DOWNPIPE: 100x50 RECT. - COLORBOND
COLOUR TBA 2100H 1800W GSD TO RH BAY 1
COLOUR TBA 2100H 1800W GSD TO RH BAY 2
COLOUR TBA 790H 1274W WIN TO LH FRT GBL
4 OFF OPAL FIBREGLASS ROOF SHEETS
C SECTION PORTAL FRAMES WITH APEX & KNEE PLATES
TOPHAT PURLINS/GIRTS WITH C SECTION EAVE PURLINS
DELIVERY CHARGE: DELIVERY TO SITE INCLUDED

Assumed Design Loadings
Region A to Terrain Category 2.5
Regional Wind Speed - 45 m/s
Design Wind Speed - 39 m/s

KIT MATERIALS AS DETAILED **$7,673.00**

GST OF $697.55 INCLUDED IN THE ABOVE AMOUNT

QUOTE VALID FOR 30 DAYS FROM THE 28/2/2018. SUBJECT TO ACCEPTANCE OF OUR TRADING TERMS AND CONDITIONS OF SALE.

SHEDCORPTAS
23 DALMATION CRT LEGANA TAS 7277
PH: 1800 750 649 FAX:1800 750 649
ANY SHED, ANY SIZE
Furm PEB Software Concepts Software Version 6.74

All our buildings are made from BlueScope® materials
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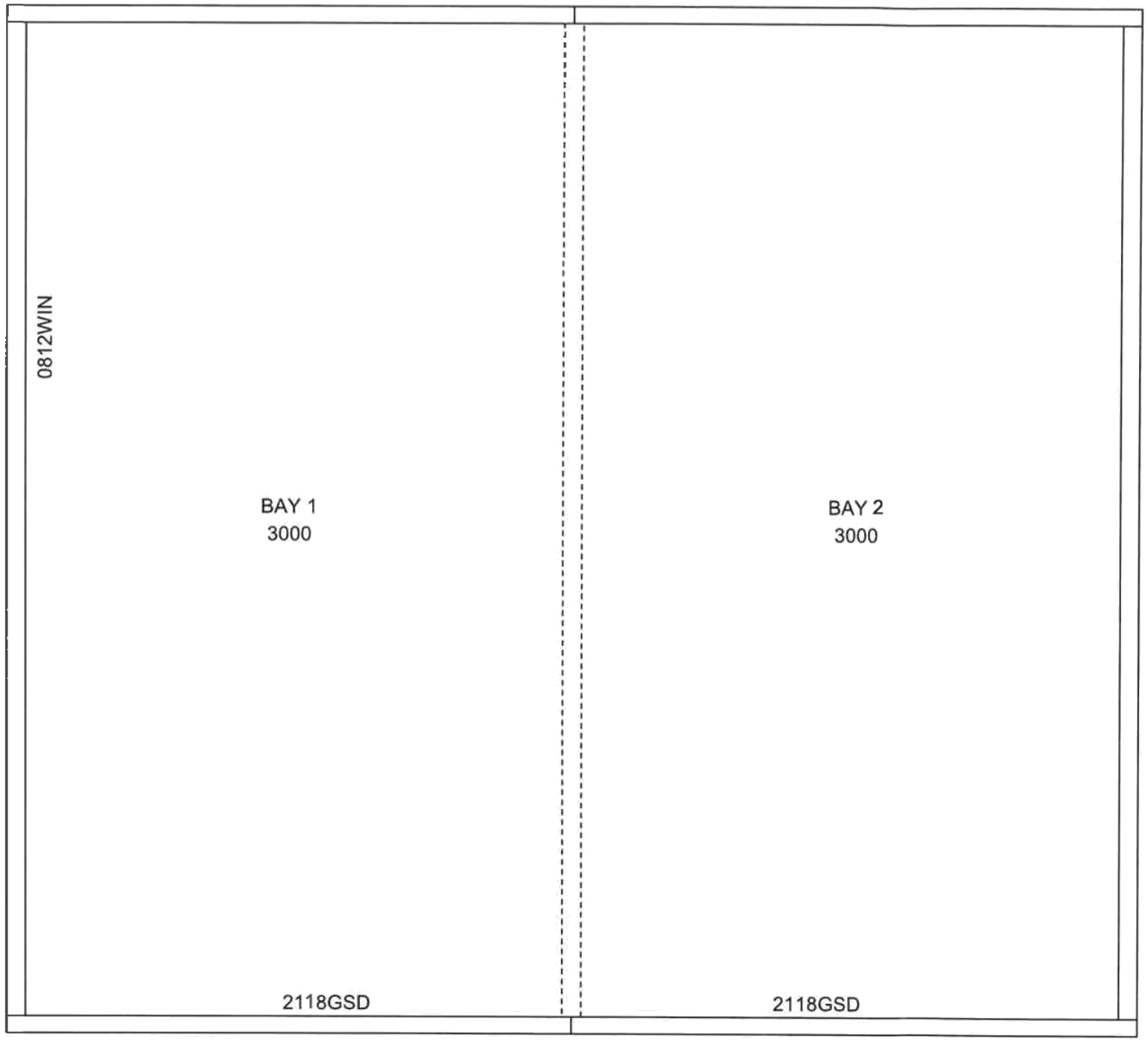

FLOOR PLAN

QUOTATION NO.LEG1270-1

QUOTATION FOR

MARK POTTER

SITE ADDRESS: 8 CUTLER STREET WEST MOONAH 7008

GLENORCHY CITY COUNCIL PLANNING SERVICES
APPLICATION No. 18-068
PLAN No P1
DATE RECEIVED 4/4/18
PAGE 9 of 9

We only use industry leading Australian Manufacturers

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ISO 9001 Quality Management Systems
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ANY SHED, ANY SIZE

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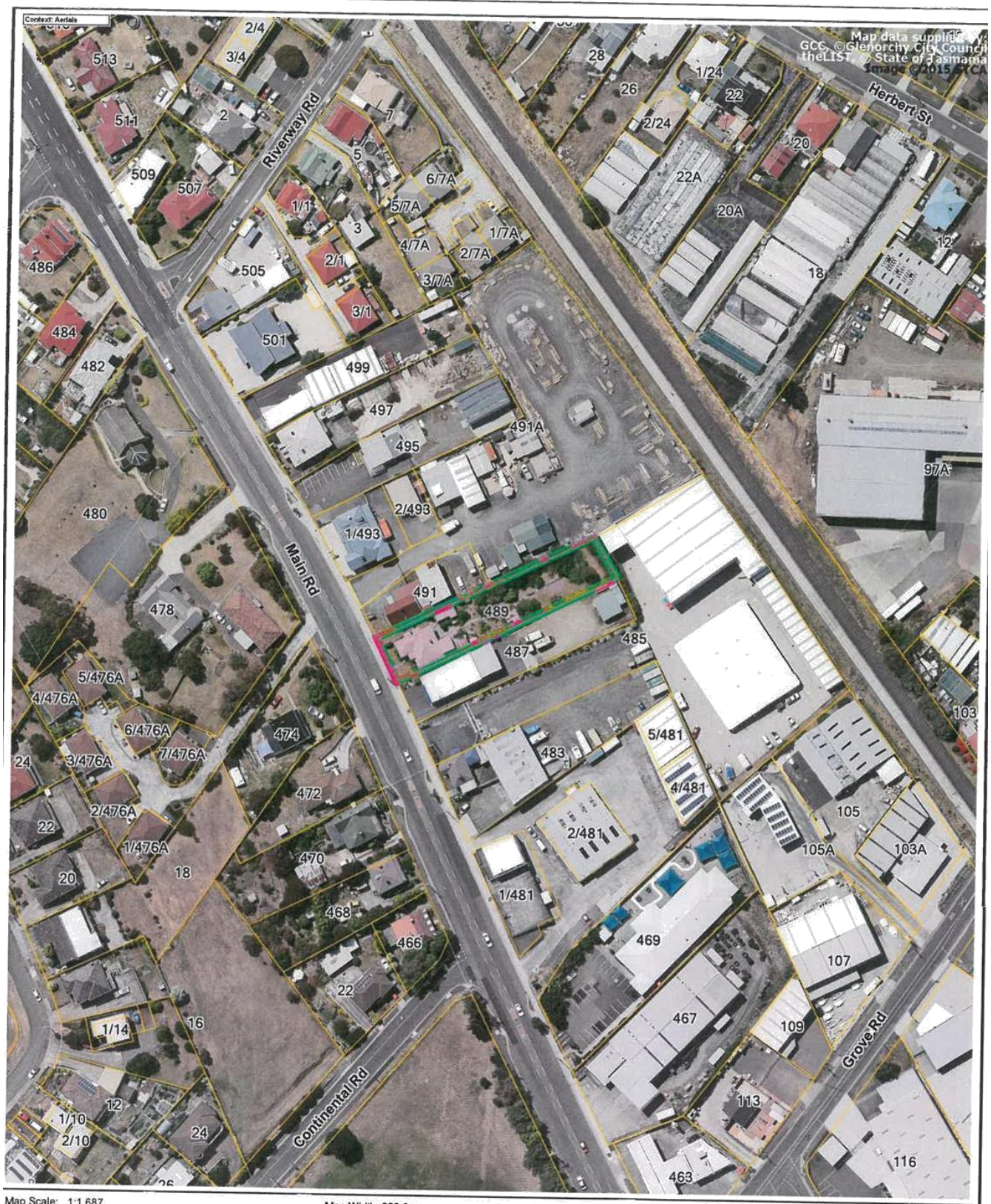
489 Main Road, Montrose



Map Scale: 1:1,687 Map Width: 320.6 m Date of Print: Friday, 3 August 2018

The graphic information on this map is produced by Glenorchy City Council.
As errors or omissions may occur please verify data before any projects are commenced.
The representation of roads or tracks is no evidence of right of way.
This map is not to be used as a site plan for making an application to council.

PROPOSED MEDICAL CENTRE at. 489 MAIN ROAD, MONTROSE for HOBART MEDICAL SERVICES		MCA JOB # 18022
ARCHITECTURAL - PLANNING JUNE 2018 REVISION B		
DWG. No.	DRAWING	ISSUE
18022-A01	DRAWING INDEX & LOCATION PLAN	B
18022-A02	SITE PLAN	B
18022-A03	FLOOR PLANS	B
18022-A04	ELEVATIONS - SHEET 1	B
18022-A05	ELEVATIONS - SHEET 2	B

GLENORCHY CITY COUNCIL PLANNING SERVICES
APPLICATION No. 18-094
PLAN No P3
DATE RECEIVED 25/6/18
PAGE 1 of 5

LOCATION PLAN

REVISIONS

Rev.	Description	By:	Date:

GENERAL NOTES

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- ALL GLAZING TO COMPLY WITH AS 1288.
- NO SMOKING ON SITE.
- NO DOGS ON SITE.

NORTH

SHEET No. 1 OF 5

Member Australian Institute of Architects

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FAX (03) 6224 1823 admin@mcaarchitects.com.au

PROJECT TITLE
PROPOSED MEDICAL CENTRE
at. 489 MAIN ROAD, MONTROSE
for HOBART MEDICAL SERVICES

ISSUE
APPROVAL ISSUE

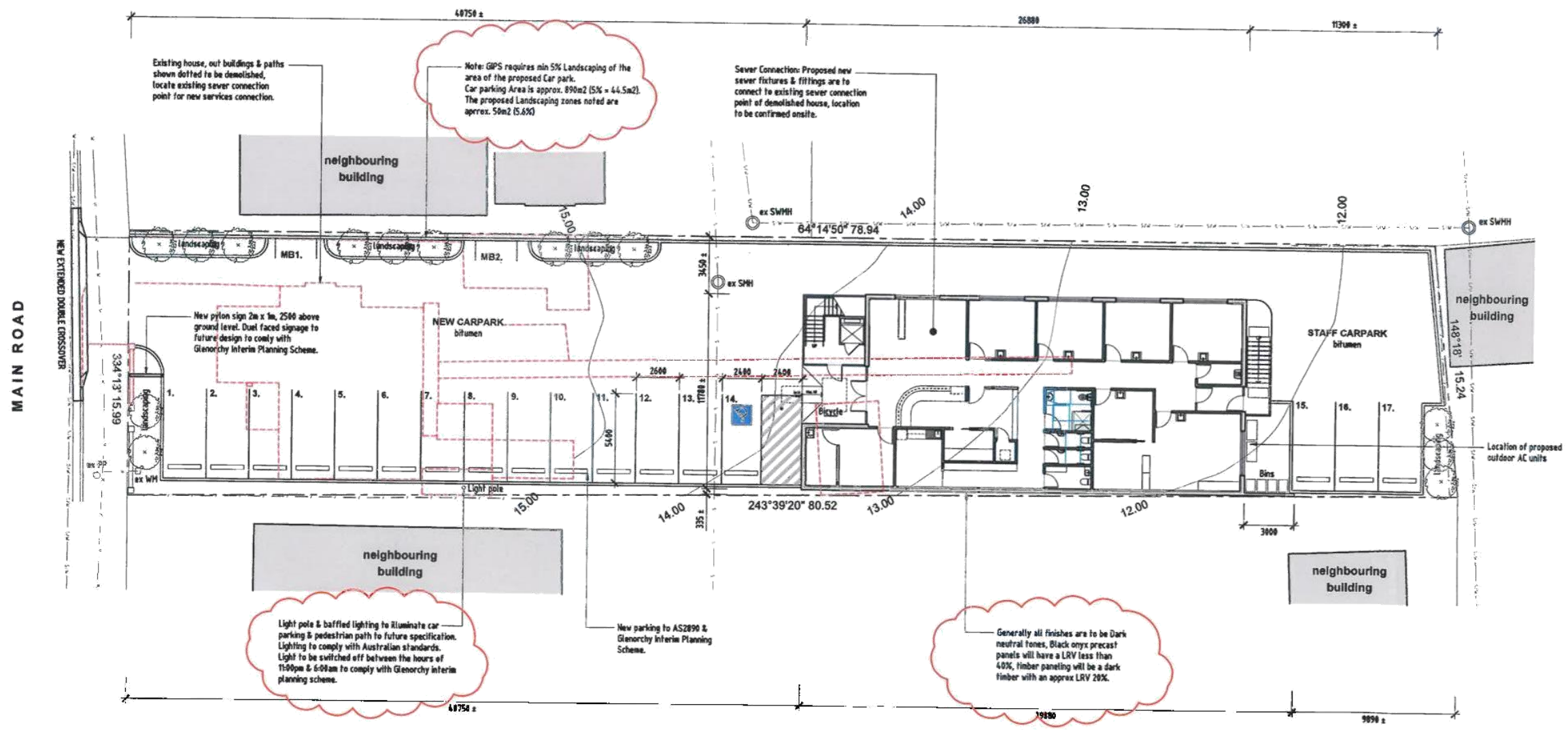
DRAWING TITLE
DRAWING INDEX & LOCATION PLAN

Scale:	Drawn:	Checked:	Approved:	Date:
1:100 @ A2	JJE			22.06.2018

REVISION: B
File: -
PROJECT No: 18022
A01

01. DRAWING INDEX & LOCATION PLAN

GLENORCHY CITY COUNCIL PLANNING SERVICES
APPLICATION No. 18-094
PLAN No. P3
DATE RECEIVED 25/6/18
PAGE 2 of 5



02. SITE PLAN

REVISIONS

Rev.	Description	By:	Date:
A	NOTES ADDED AS REQUESTED BY GCC RFI	JJE	29.05.18

GENERAL NOTES

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0 2 4 10
METRES
1 centimetre on this drawing represents 2 metres on the ground (i.e. 1:200).

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SHEET No. 2 OF 5

DRAFT
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PROJECT TITLE
PROPOSED MEDICAL CENTRE
at. 449 MAIN ROAD, MONTROSE
for HOBART MEDICAL SERVICES

ISSUE
APPROVAL ISSUE

DRAWING TITLE
SITE PLAN

Scale:	Drawn:	Checked:	Approved:	Date:
1:200 @ A2	JJE			22.06.2018

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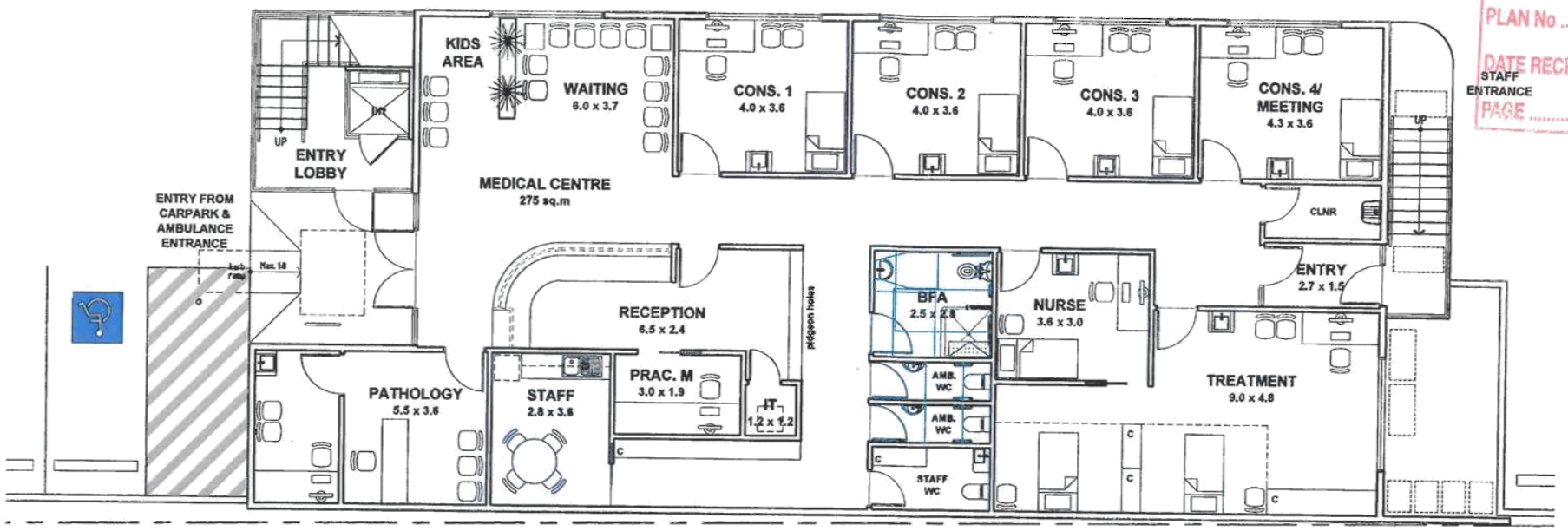
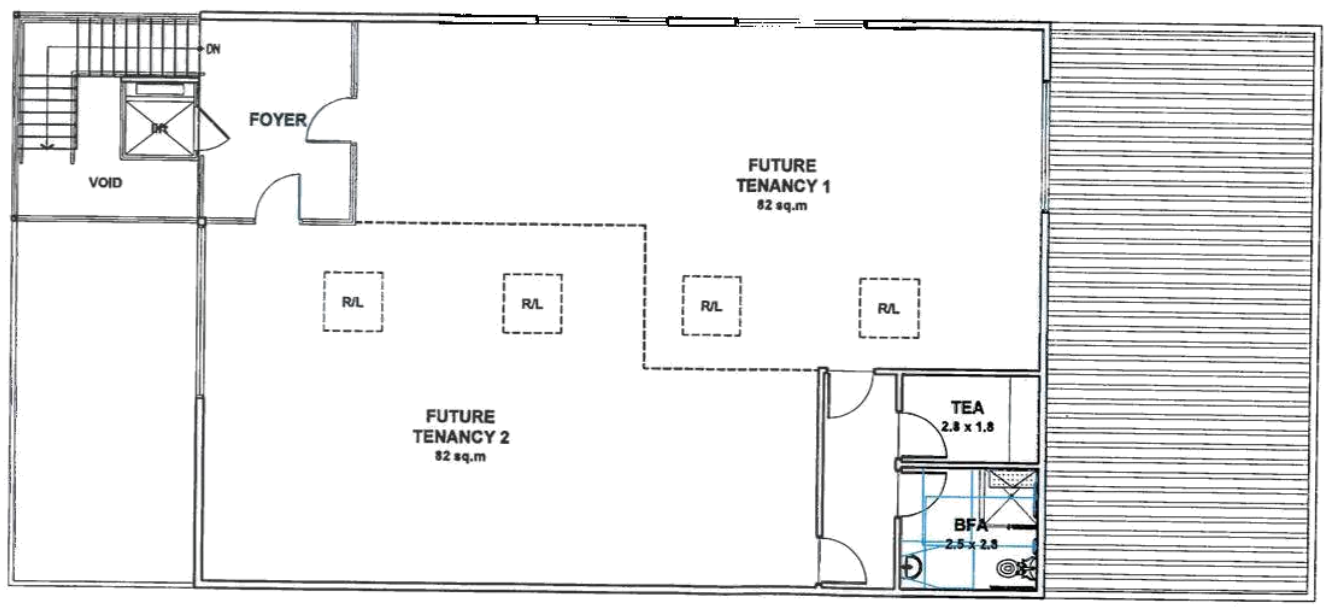
PROJECT No: 18022
A02

GLENORCHY CITY COUNCIL PLANNING SERVICES
APPLICATION No. 18-094
PLAN No P3
DATE RECEIVED 25/6/18
PAGE 3 of 5



GROUND FLOOR
FLOOR AREA = 275 sq.m



FIRST FLOOR
FLOOR AREA = 195 sq.m

REVISIONS

Rev.	Description	By	Date

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0 1 2 5
METRES
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SHEET No. 3 OF 5

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FAX (03) 6224 1523 admin@mcsarchitects.com.au

PROJECT TITLE
PROPOSED MEDICAL CENTRE at. 489 MAIN ROAD, MONTROSE for HOBART MEDICAL SERVICES

ISSUE
PLANNING ISSUE

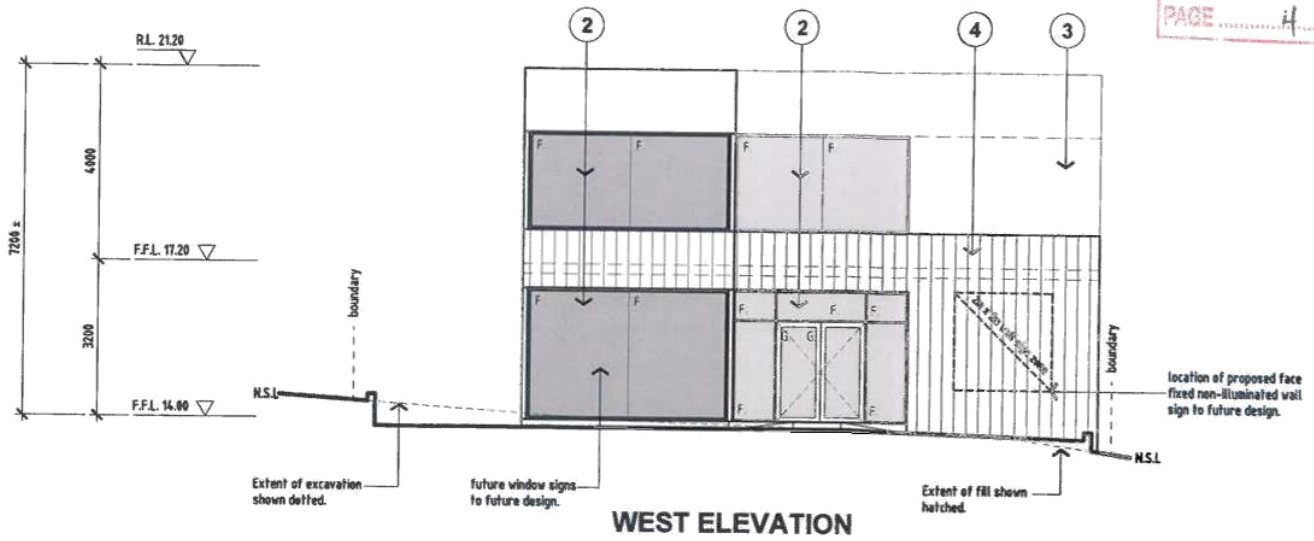
DRAWING TITLE
FLOOR PLANS

Scale:	Drawn:	Checked:	Approved:	Date:
1:100 @ A2	JJE			07.05.2018

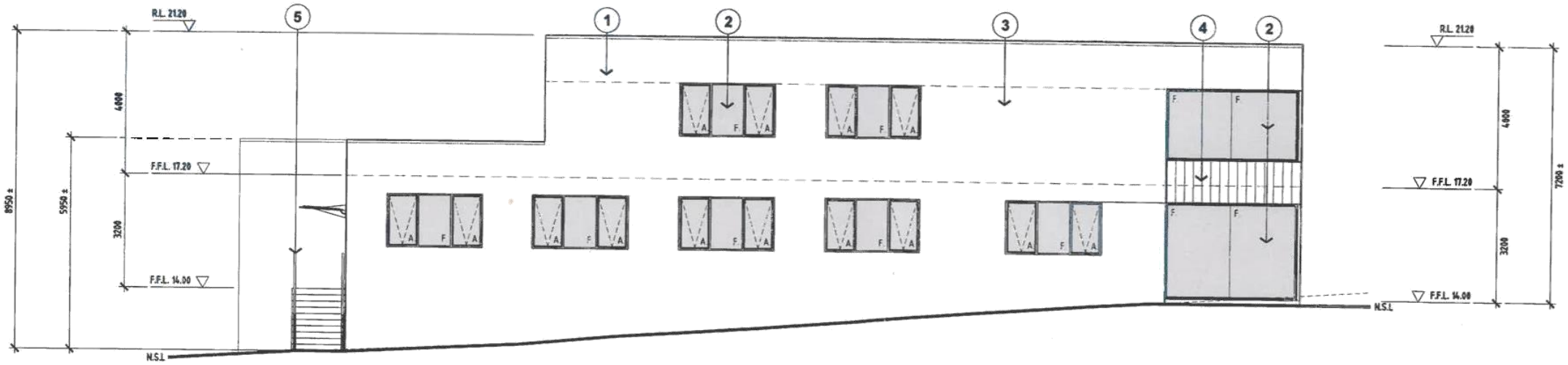
REVISION: B
File: -
PROJECT No: 18022
A03

03. FLOOR PLANS

GLENORCHY CITY COUNCIL PLANNING
APPLICATION No. 18-094
PLAN No. P3
DATE RECEIVED 25/6/18
PAGE 4 of 5



WEST ELEVATION



NORTH ELEVATION

EXTERNAL FINISHES

1. TRIMDEK ROOF SHEETING BEHIND PARAPET. COLORBOND FINISH AS SELECTED.
2. ALUMINIUM WINDOW & DOOR FRAMES. POWDER COAT FINISH AS SELECTED.
3. PRECAST CONCRETE PANEL - BLACK OXIDE FINISH.
4. TIMBER PANELING/BATTENS OVER PRECAST CONCRETE PANELS - AS SELECTED
5. PAINTED STEEL STAIRCASE & DECK.

ELEVATION KEY

MARK	DESCRIPTION
A	AWNING WINDOW.
F.	FIXED WINDOW.
S.	SLIDING WINDOW.
SD.	SLIDING / STACKING DOOR.
G.	GLAZED DOOR.
RD.	ROLLER DOOR.

REVISIONS

Rev.	Description.	By.	Date

GENERAL NOTES

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METRES
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PROJECT TITLE
PROPOSED MEDICAL CENTRE
at. 489 MAIN ROAD, MONTROSE
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ISSUE
APPROVAL ISSUE

DRAWING TITLE
ELEVATIONS
SHEET 1

Scale:	Drawn:	Checked:	Approved:	Date:
1:100 @ A2	JJE			22.06.2018

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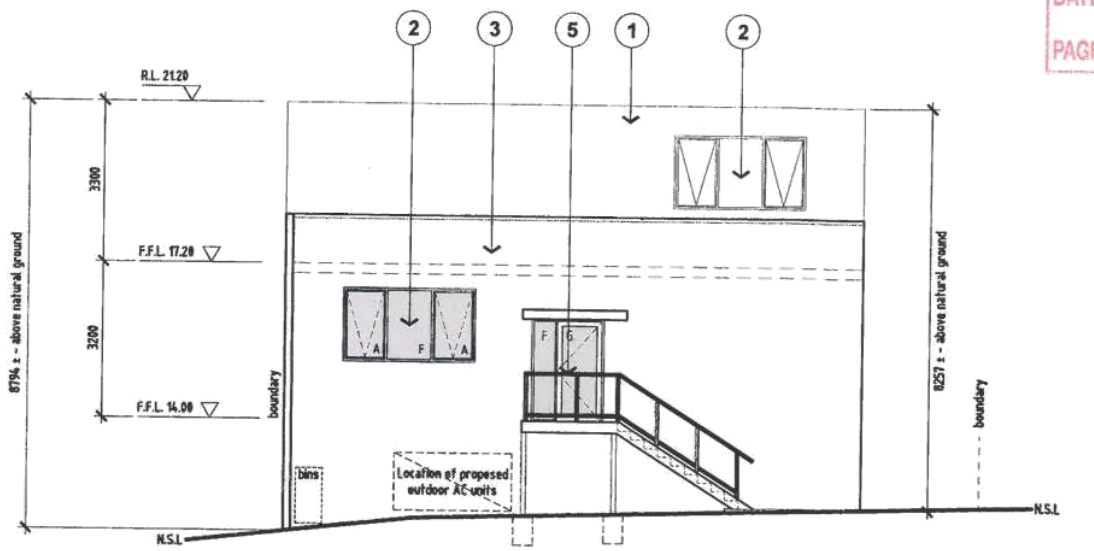
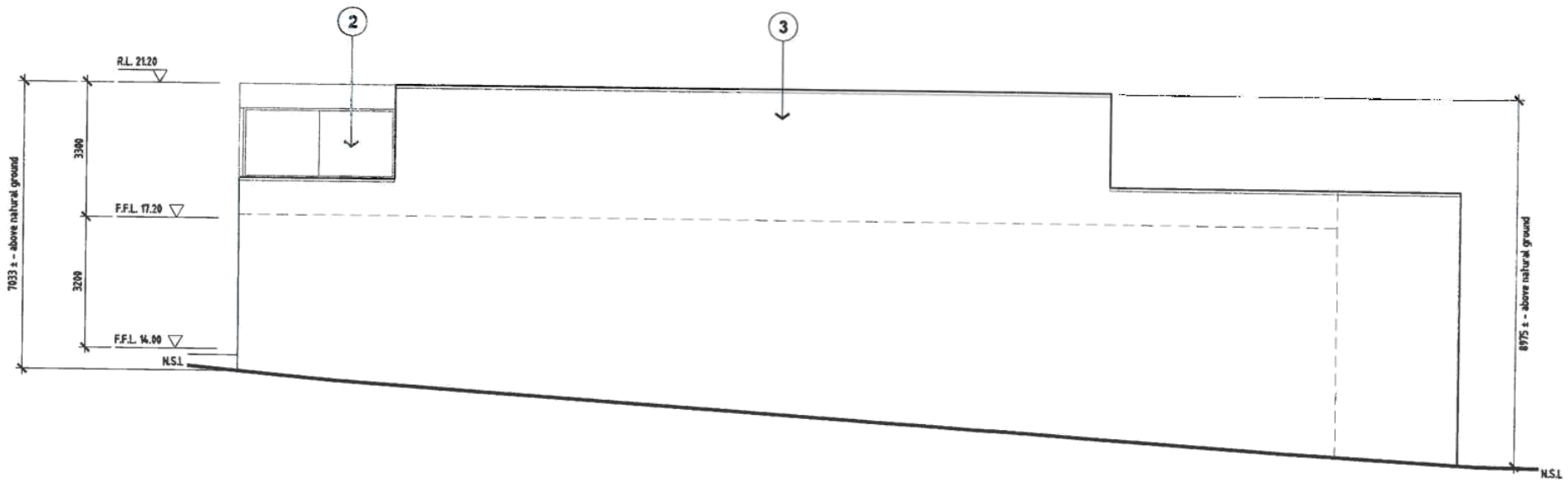
File: -
PROJECT No: 18022
A04

04. ELEVATIONS - SHEET 1

GLENORCHY CITY COUNCIL PLANNING SCHEME
APPLICATION No. 18-094
PLAN No P2
DATE RECEIVED 25/6/18
PAGE 5 of 5



EAST ELEVATION



SOUTH ELEVATION

EXTERNAL FINISHES

1. TRIMDEK ROOF SHEETING BEHIND PARAPET. COLORBOND FINISH AS SELECTED.
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3. PRECAST CONCRETE PANEL - BLACK OXIDE FINISH.
4. TIMBER PANELING/BATTENS OVER PRECAST CONCRETE PANELS - AS SELECTED
5. PAINTED STEEL STAIRCASE & DECK.

ELEVATION KEY

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REVISIONS

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PH. (03) 6224 1322 MOBILE 0418 124 355
FAX (03) 6224 1823 admin@mcaarchitects.com.au

PROJECT TITLE
PROPOSED MEDICAL CENTRE
at. 489 MAIN ROAD, MONTROSE
for HOBART MEDICAL SERVICES

ISSUE
APPROVAL ISSUE

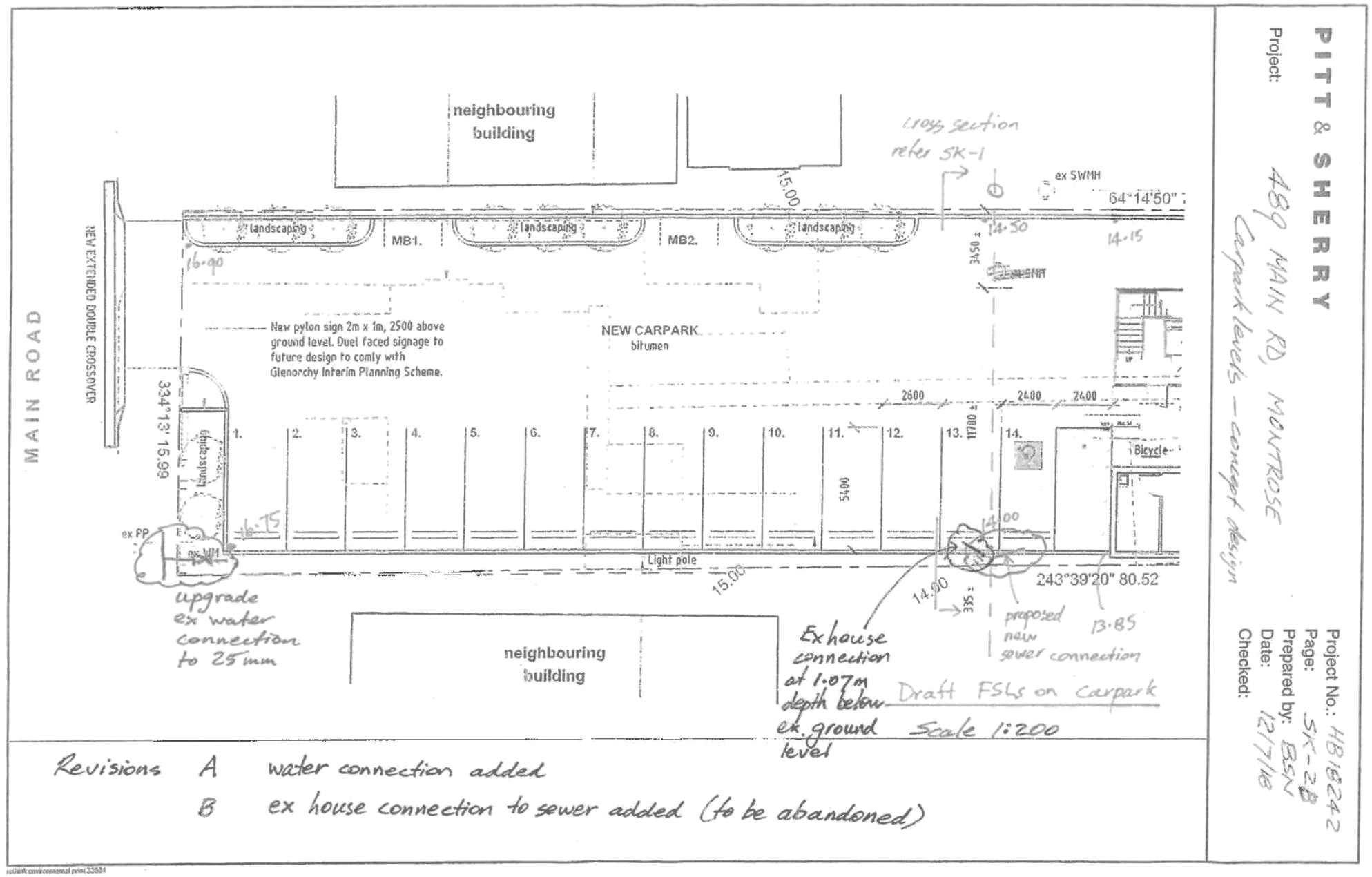
DRAWING TITLE
ELEVATIONS
SHEET 2

Scale:	Drawn:	Checked:	Approved:	Date:
1:100 @ A2	AEC			22.06.2018

REVISION: B
File: -
PROJECT No: 18022
A05

05. ELEVATIONS - SHEET 2

GLENORCHY CITY COUNCIL
APPLICATION No. PLN-18-094
PLAN No. P4
DATE RECEIVED 12/07/2018
PAGE 1 1



TasWater

Submission to Planning Authority Notice

Council Planning Permit No.	PLN-18-094	Council notice date	22/05/2018
TasWater details			
TasWater Reference No.	TWDA 2018/00803-GCC	Date of response	19/07/2018
TasWater Contact	Anthony Cengia	Phone No.	(03) 6237 8243
Response issued to			
Council name	GLENORCHY CITY COUNCIL		
Contact details	gccmail@gcc.tas.gov.au		
Development details			
Address	489 MAIN RD, MONTROSE	Property ID (PID)	5382976
Description of development	Demolition and Medical Centre		

Schedule of drawings/documents

Prepared by	Drawing/document No.	Revision No.	Date of Issue
Michael Cooper Architects	18022 Sheets A01 to A05	A	07/05/2018
Pitt & Sherry	HB18242 Sheet SK-2B		12/07/2018

Conditions

SUBMISSION TO PLANNING AUTHORITY NOTICE OF PLANNING APPLICATION REFERRAL

Pursuant to the *Water and Sewerage Industry Act* 2008 (TAS) Section 56P(1) TasWater imposes the following conditions on the permit for this application:

CONNECTIONS, METERING & BACKFLOW

1. A suitably sized water supply with metered connection / sewerage system and connection to the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit.

   NOTE: TasWater deems that the boundary backflow hazard rating of the site is considered as being 'High'.

2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost.

DEVELOPMENT ASSESSMENT FEES

3. The applicant or landowner as the case may be, must pay a development assessment fee of $351.28 to TasWater, as approved by the Economic Regulator and the fees will be indexed, until the date paid to TasWater.

   The payment is required within 30 days of the issue of an invoice by TasWater.

TasWater

Advice

General

For information on TasWater development standards, please visit http://www.taswater.com.au/Development/Development-Standards

For application forms please visit http://www.taswater.com.au/Development/Forms

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

Authorised by

Jason Taylor
Development Assessment Manager

TasWater Contact Details			
Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au

GLENORCHY CITY COUNCIL

CERTIFICATION OF DRAFT AMENDMENT UNDER SECTION 35, FORMER PROVISIONS, OF THE LAND USE PLANNING AND APPROVALS ACT 1993

The Planning Authority has prepared the attached draft amendment, Amendment PLAM-18/01, to the Glenorchy Interim Planning Scheme 2015.

The Planning Authority:

- has determined that it is satisfied that the draft amendment meets the requirements specified in Section 32, former provisions, of the Land Use Planning and Approvals Act 1993 ("the Act"); and
- in accordance with Section 35(1)(a), former provisions, of the Act, certifies that the draft amendment so meets those requirements.

GLENORCHY CITY COUNCIL - TASMANIA 1864

In witness whereof the common seal of Glenorchy City Council has been affixed on the

13 **day of** JUNE **2018**

as authorised by Council in the presence of:

Council Delegate

Land Use Planning and Approvals Act 1993

GLENORCHY INTERIM PLANNING SCHEME 2015
AMENDMENT PLAM-18/01

The Glenorchy Interim Planning Scheme 2015 is amended as follows:

Land affected by this amendment: 2 and 20 Howard Road, Glenorchy.

The Planning Scheme Ordinance is amended by:

1. Deleting the Hobart Show Ground Specific Area Plan at Clause F7 and replacing it with the modified Hobart Show Ground Specific Area Plan in Annexure 1.

GLENORCHY CITY COUNCIL - TASMANIA 1864

In witness whereof the common seal of Glenorchy City Council has been affixed on the 13 day of JUNE 2018 as authorised by Council in the presence of:

Council Delegate

ANNEXURE 1

F7 Hobart Show ground Specific Area Plan

F7.1 Purpose of Specific Area Plan

F7.1.1 Purpose Statements

The purpose of this specific area plan is to enhance the functionality and design of the Hobart Show Ground as a major event facility and give effect to the Hobart Show Ground Master Plan.

F7.1.2 Local Area Objectives

Local Area Objectives
Hobart Showground Specific Area
(a) To recognise the sites current role as a major event facility for the Hobart Show and for other community events that serve the City of Glenorchy.
(b) To encourage the flexible use of the site by allowing additional use and development provided it does not compromise the operation of the Hobart Show or other community events, while protecting residential amenity in the local area.
(c) To create opportunity for additional development and site enhancement to support the Hobart Show provided it does not compromise or distort the operation of Glenorchy's activity centres.
(d) To encourage wider community use of the site through the provision of pedestrian and cycle links.

F7.2 Application of Specific Area Plan

This specific area plan applies to an area of land designated as "F07" on the planning scheme maps.

F7.3 Application Requirements

In addition to any other application requirements, the planning authority may require any of the following information:

(a) A landscape plan which demonstrates a coordinated landscaping response across the site, and

(b) A design response that accommodates the widening of Howard Road and the treatment of Howard Road accesses if not complete.

F7.4 Use Table

No Permit Required	
Use Class	**Qualification**
Community meeting and entertainment	If for the purpose of the Hobart Show event
Passive Recreation	
Utilities	If for minor utilities
Permitted	
Use Class	**Qualification**
Community Meeting and Entertainment	If (a) Not listed as No Permit Required; or (b) For a place of worship, cinema, public hall, theatre, clubhouse or function centre.
Domestic animal breeding, boarding or training	If for training domestic animals.
General retail and hire	If for (a) a clearance sales outlet which must not be in operation more than 60 days, whether consecutive or not consecutive, in any one year; or (b) a market.
Sports and recreation	Only If for outdoor recreation facility and not a firing range
Storage	If for a warehouse.
Vehicle parking	
Discretionary	
Use Class	**Qualification**
Bulky goods sales	If not for motor vehicle, boat or caravan sales, or a timber yard.
Business and professional services	If for veterinary centre.
Community meeting and entertainment	If (a) not listed as No Permit Required; and (b) not a library, museum, or public art gallery
Education and occasional care	If for an employment training centre.
Emergency services	
Food services	If not for a takeaway food premises, or a

	premises with a drive through facility.
General retail and hire	If: (a) not listed as Permitted; and (b) if located within the area nominated for Building 6 in Figure F7.1 Hobart Showground Master Plan (c) each single tenancy is no less than 500m2; and (d) not for a supermarket.
Hotel industry	If not for a bottleshop
Manufacturing and processing	
Motor racing facility	If for go-kart track
Service industry	if (a) not for motor repairs, auto-electrical repairs, or panel beating; and (b) each single tenancy is no more than 200 m² in gross floor area.
Sports and recreation	If not listed as Permitted.
Tourist operation	
Utilities	
Visitor accommodation	If : (a) a camping and caravan park or overnight camping area; or (b) a backpacker hostel
Prohibited	
Use Class	**Qualification**
All other uses	

F7.5 Use Standards

F7.5.1 Discretionary Uses

Objective	
To ensure that: (a) discretionary uses within the specific area provide for the intended mix of activities on the site; (b) discretionary uses do not compromise the operation of the Hobart Show or opportunities for other community events; (c) impacts to adjoining residential properties are mitigated; and (d) discretionary uses do not significantly impact on the existing retail hierarchy of Glenorchy.	
Acceptable Solution	**Performance Criteria**

A1 The following uses must not, in aggregate, occupy a gross floor area greater than 30,000 m2: (a) Bulky goods sales; (b) Business and professional services (c) Food services; (d) General retail and hire; (e) Hotel industry; (f) Service industry.	**P1** No performance criteria.
A2 No acceptable solution.	**P2** The use must not have an unreasonable impact on the amenity or operation of other uses on the site, or adjacent residential uses, having regard to: (a) the appearance of the buildings and any outdoor areas; (b) the emission of noise, smoke odour, dust or illumination; and (c) traffic generation and parking location.
A3 No acceptable solution	**P3** A use listed as Discretionary must be consistent with the local area objectives of this Specific Area Plan.
A4 The following uses must not be located in Buildings 2, 3 or 4 or areas designated for these buildings, as shown on Figure F7.1 Hobart Showground Master Plan: (a) Bulky Goods Sales (b) Business and Professional Services (c) Education and Occasional Care (d) Emergency Services (e) General Retail and Hire	**P4** Uses are located to ensure adequate area is available for the Show Event, having regard to: (a) The areas designated for Open Space and Piazzas on Figure F7.2 Hobart Showground Urban Design Plan; (b) The area, including gross floor area and open areas, required for the operation of the Show Event as shown in Table F7.1 Area required for operation of the

(f) Manufacturing and Processing (g) Motor Racing Facility (h) Service Industry (i) Sports and Recreation (j) Visitor Accommodation.	Hobart Show; (c) Vehicular and pedestrian movement though the site, and (d) Parking and access requirements of the proposed use and existing uses on site.
A5 No acceptable solution	**P5** Manufacturing and Processing activities have a limited adverse impact on other uses in the vicinity in respect to all of the following: (a) the appearance of the buildings and unscreened storage areas; (b) the emission of noise, odours, steam, smoke, vapour, or any other form of pollution; (c) the escape of any liquid or solid wastes from the land; (d) the emission of electro-magnetic radiation or potentially damaging vibrations, whether audible or inaudible; (e) the generation of vehicular traffic; (f) the hours of operation; and (g) the potential for an industrial accident.

F7.6 Development Standards for Buildings and Works

F7. 6.1 Building Height and Siting

Objective	
To ensure that development is: (a) Consistent with the Site Master Plan and Urban Design Plan. (b) Sympathetic to the amenity of nearby residential properties.	
Acceptable Solution	**Performance Criteria**
A1 Buildings must be consistent with the envelopes defined in Figure F7.1 Hobart Showground Master Plan.	**P1** Buildings must be consistent with all of the following: (a) building height and siting must protect

	the operation of the Hobart Show Event and must have regard to all of the following: (i) the spatial needs of the Hobart Show event as indicated in Table F7.1 Area required for operation of the Hobart Show Event, Figure F7.1 Hobart Showground Master Plan and Figure F7.2 Hobart Showground Urban Design Plan; (ii) vehicular and pedestrian movement across the site; (iii) parking needs; (iv) site access; (v) emergency public safety requirements (b) the building's siting must protect the amenity of surrounding residential uses and must have regard to all of the following: (i) the height and setback of the building to the boundaries to prevent unreasonable impacts on the amenity, solar access and privacy of habitable room windows and the private open space of adjoining dwellings; (ii) the level and effectiveness of physical screening by fences and/or vegetation; (iii) the location and impacts of traffic circulation and parking and the need to locate parking away from residential boundaries; (iv) landscaping to integrate development with the local area. (c) building siting must not prevent pedestrian and cycle access across the site.

F7.6.2 Building Facade Design

Objective
To ensure significant building facades: (a) are designed to signify the use of the showgrounds to the Brooker Highway and the intercity cycleway or to provide a level of articulation to enhance the

amenity of adjacent residential areas. (b) facing the Brooker Highway contribute positively to the streetscape.	
Acceptable Solution	**Performance Criteria**
A1 Facades identified as Significant Facades, Highway Facades and Entry Facades in Figure F7.2 Hobart Showground Urban Design Plan must not: (a) contain blank walls that are wider than 5.0m.	**P1** Building facade design must comply with all of the following: (a) facades identified as Entry Facades in Figure F7.2 Hobart Showground Urban Design Plan must satisfy all of the following: (i) have a legible connection with the use of the site as an agricultural show; (ii) be highly articulated and coloured to attract attention. (b) facades identified as Significant Facades in Figure F7.2 Hobart Showground Urban Design Plan must be articulated to reduce the perceived height and bulk of the buildings. Design features used to achieve this may include articulation, fenestration, use of colours and materials and other devices. (c) facades identified as Highway Facades in Figure F7.2 Hobart Showground Urban Design Plan must be articulated and landscaped to avoid large expanses of blank wall. Design features used to achieve this may include articulation, fenestration, use of colours and materials and other devices.

F7.6.3 Crime Prevention through Environmental Design

Objective	
To ensure buildings are designed and sited to minimise opportunities for crime and anti-social behaviour.	
Acceptable Solution	**Performance Criteria**
A1 Buildings that have Passive Surveillance Facades in Figure F7.2	**P1** Buildings that have Passive Surveillance Facades in Figure F7.2

Hobart Showground Urban Design Plan must be designed and sited in accordance with all of the following: (a) the envelopes defined in Figure F7.1 Hobart Showground Master Plan; (b) Passive Surveillance Facades identified in Figure F7.2 Hobart Showground Urban Design Plan must include ground floor windows capable of viewing either pedestrian/cycle routes or roads within or adjacent to the site boundary.	Hobart Showground Urban Design Plan must be designed to minimise opportunities for crime and anti-social behaviour and must satisfy all of the following: (a) be designed and sited to provide natural surveillance of pedestrian routes and car parks; (b) avoid concealment and entrapment spots; (c) building access and egress points must be visible from the public domain.

F7.6.4 Internal Access Roads

Objective	
To provide safe and efficient internal access roads and pedestrian links within the site.	
Acceptable Solution	**Performance Criteria**
A1 Internal road layout is in accordance with Figure F7.2 Hobart Showground Urban Design Plan	**P1** The layout of access roads must have regard to: (a) pedestrian safety and amenity; (b) traffic safety; (c) residential amenity on adjoining land; and (d) the impact on the streetscape, and (e) compatibility with Figure F7.2 Hobart Showground Urban Design Plan.

F7.6 Development Standards for Subdivision

F7.6.1 Subdivision

Objective:	
To ensure that subdivision is suitable for the intended use and development.	
Acceptable Solution	**Performance Criteria**
A1 Subdivision must be only by way of a lease of land containing an approved separate development and/or use for a	**P1** Subdivision is limited to: (a) that for the purpose of a Public

term not exceeding 30 years.	Utility which must have sufficient area, suitable proportions, adequate services and reasonable vehicular access to satisfy its intended use and development; (b) subdivision by way of a lease of land containing an approved separate development and/or use for a term in excess of 30 years.

Table F7.1 Area required for operation of the Hobart Show

Element	Area (m^2)
Total building area required for the show	20,259
Total open area required for the show	15,700
Total area within Buildings 1-4 shown in Figure F7.1 - Hobart Showground Master Plan	26,900
Total open area (open space and piazzas) allocated for the show use shown in Figure F7.1 Hobart Showground Master Plan and Figure F7.2 Hobart Showground Urban Design Plan	16,980

Figure F7.1 Hobart Showground Master Plan

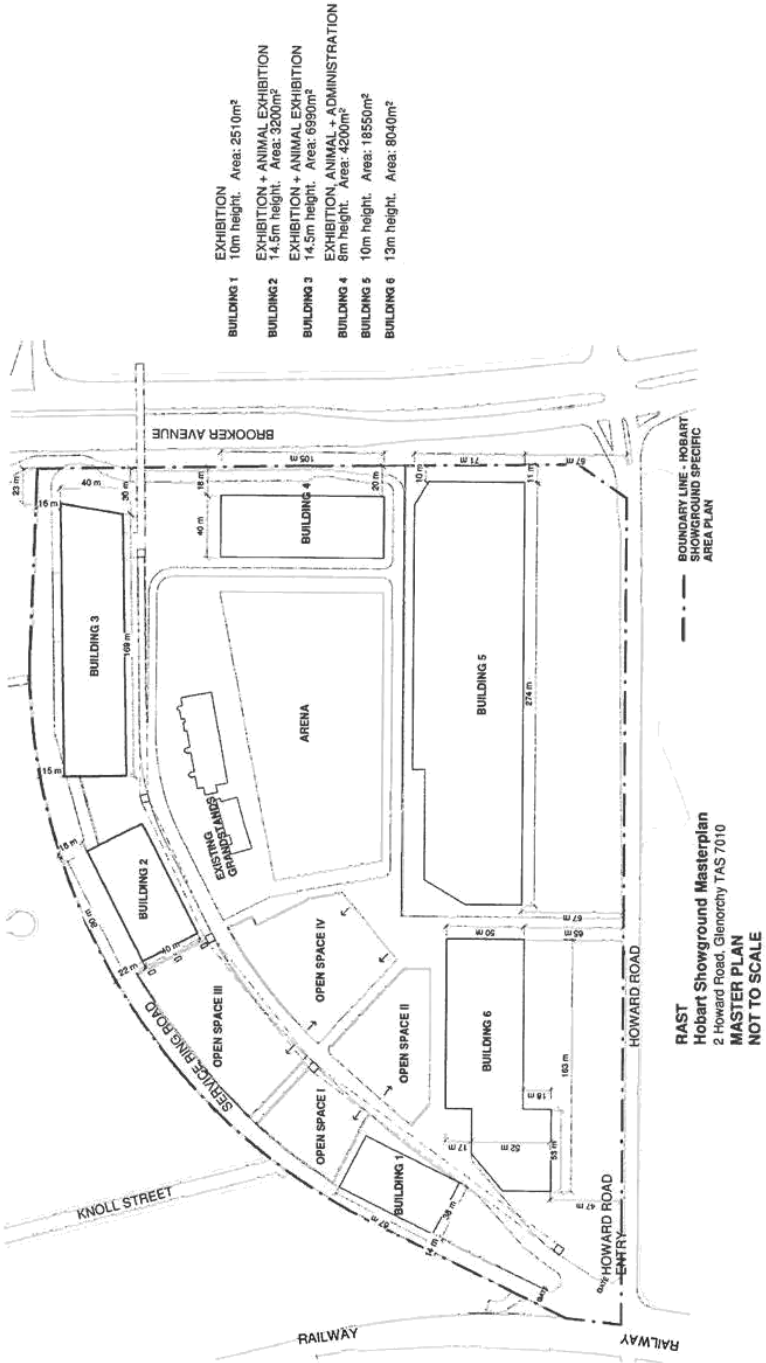
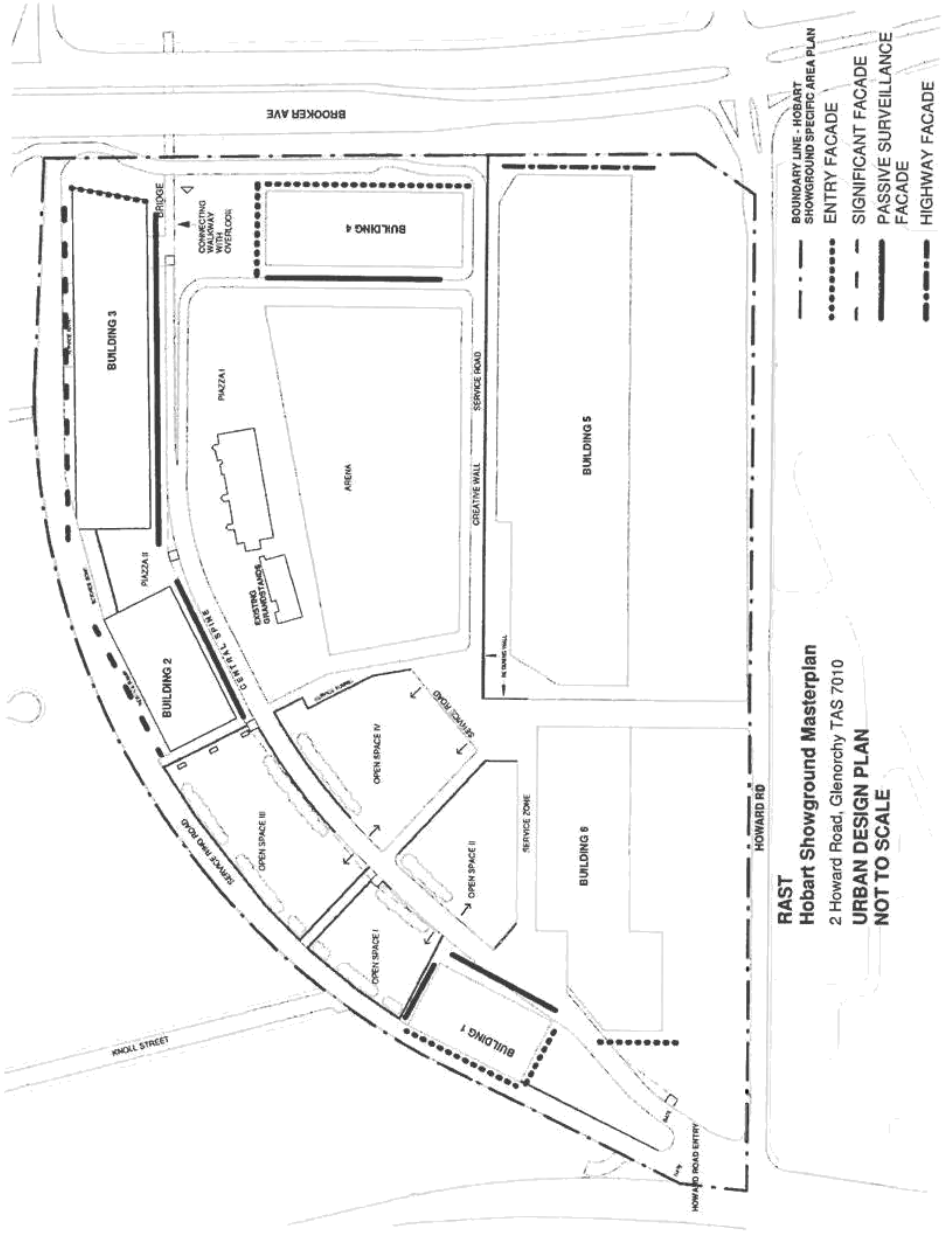


Figure F7.2 Hobart Showground Urban Design Plan



PLAM-18/01 - 2 and 20 Howard Road				
Rep. No.	**Name & Address of Submitter**	**Date Rcd**	**Summary**	**Comments**
1	TasWater GPO Box 1393 Hobart Tas 7001 development@taswater.com.au	22 January 2018	TasWater does not object and has no formal comments for the Tasmanian Planning Commission in relation to this matter and does not require to be notified of nor attend any subsequent hearings.	Noted
2	State Growth GPO Box 536, Hobart TAS 7001	18 July 2018	State Roads has no objections to the changes proposed to the Hobart Showground Specific Area Plan under Draft Amendment PLAM-18/10. Please note that, as advised to Glenorchy City Council previously, State Roads does not have any plans to construct a pedestrian overpass over the Brooker Highway and has not been allocated funds to undertake, or contribute towards, such a project. Recent upgrades in this area have improved the road environment for pedestrians and the existing traffic signals at Howard Road and Goodwood Road provide facilities for pedestrians to cross the highway. It is also noted that the Hobart Showground Urban Design Plan attached to the proposal shows a drop off zone / taxi zone along the Brooker Highway. State Roads manages the Brooker Highway to maximise capacity and safety for through traffic and this is not compatible with a drop off zone / taxi rank zone at the side of the road.	Recommend Figure F7.1 and F7.2 of the SAP be modified to remove references to the pedestrian overpass