

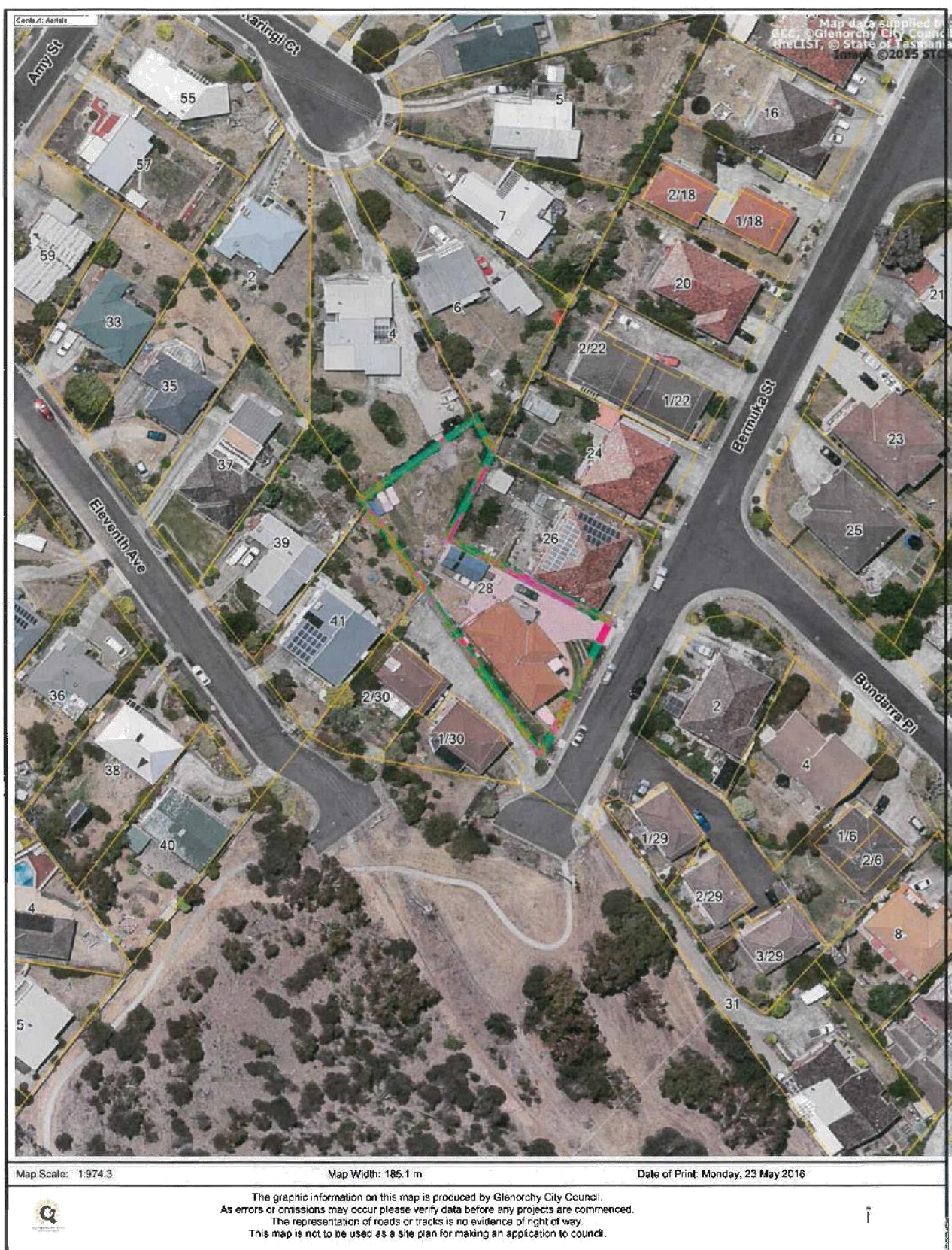
GLENORCHY PLANNING AUTHORITY
ATTACHMENTS
MONDAY, 30 MAY 2016



TABLE OF CONTENTS:

PLANNING

5. Proposed Use and Development - Outbuilding (Residential) Relying on Performance Criteria - 28 Bermuka Street, West Moonah	
1: Attachments - 28 Bermuka Street.....	2
6. Proposed One Lot Subdivision Plus Balance in a High Fire Prone Area on a Slope Greater than 1 in 4 - 29 Lesdelle Street, Claremont	
1: Attachment - Advertised Plans - 29 Lesdelle Street.....	9
2: Attachment - Local Man - 29 Lesdelle Street	12
3: Attachment - TasWater - 29 Lesdelle Street	13
7. Proposed S.43A Combined Amendment Request and Planning Permit Application - PLS43A-16/01 (PLAM 16/01) Rezone Portion of CT 167222/1 from Open Space to Low Density Residential with Removal of Biodiversity Protection Overlay and 2 Lot Subdivision and Balance - 32 Gillies Road, Claremont	
1: Attachment - Map - 32 Gillies Road	16
2: Attachment - Intrusment - Final Version - 32 Gillies Road.....	17
3: Attachment - P1 Plans - 32 Gillies Road	19
4: Attachment - Plan - 32 Gillies Road.....	20
5: Attachment - TasWater	21

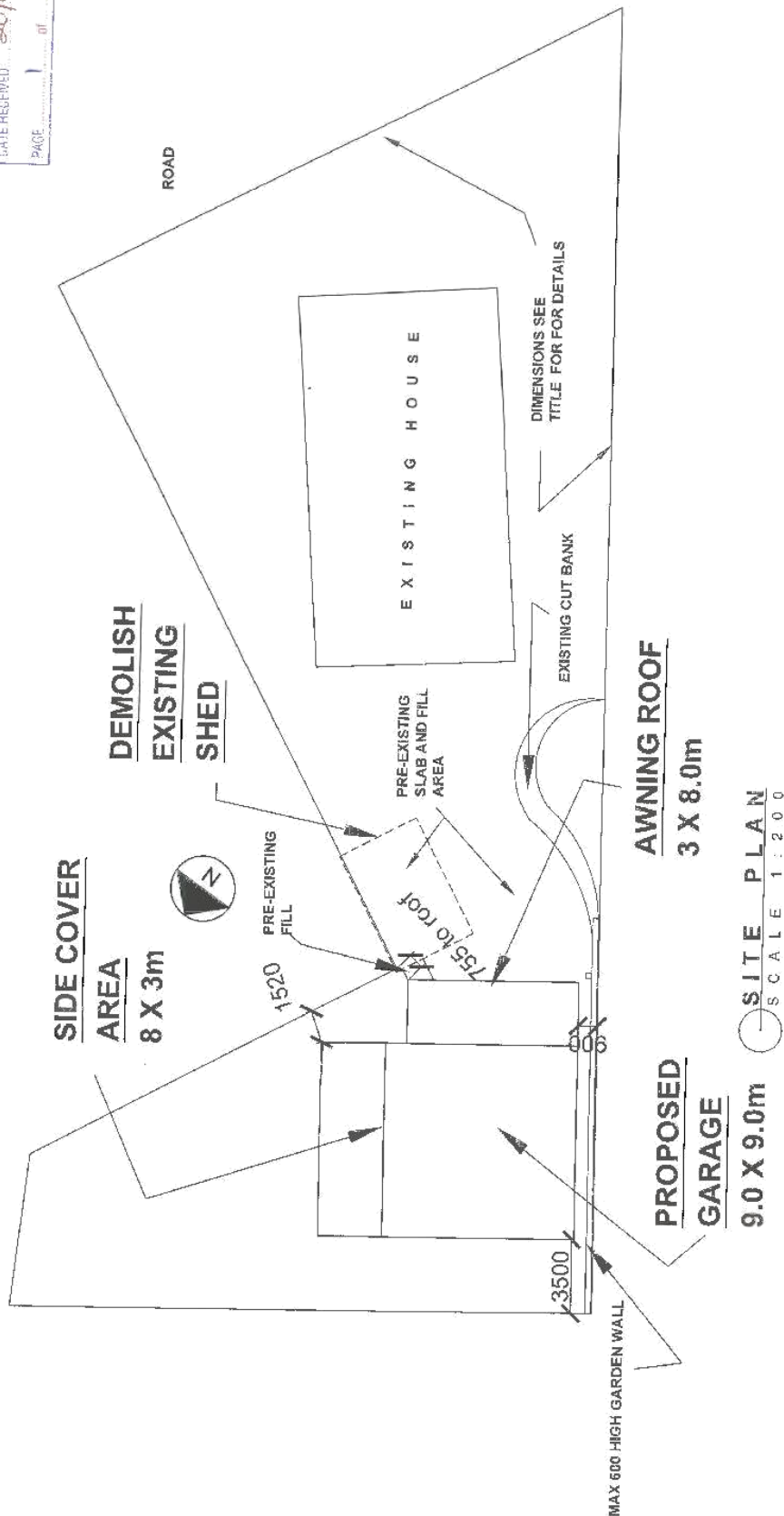




Submission to Planning Authority Notice

Council Planning Permit No.	PLN-16-075	Council notice date	29/04/2016
TasWater details			
TasWater Reference No.	TWDA 2016/00547-GCC	Date of response	4 May 2016
TasWater Contact	Greg Clausen	Phone No.	{03} 6237 8242
Response issued to			
Council name	GLENORCHY CITY COUNCIL		
Contact details	gccmail@gcc.tas.gov.au		
Development details			
Address	28 BERMUKA ST, WEST MOONAH	Property ID (PID)	3327228
Description of development	Shed		
Schedule of drawings/documents			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
Conditions			
Pursuant to the <i>Water and Sewerage Industry Act 2008 (TAS)</i> Section 56P(2)(a) TasWater does not object to the proposed development and no conditions are imposed.			
Advice			
For information on TasWater development standards, please visit http://www.taswater.com.au/Development/Development-Standards			
For information regarding headworks, further assessment fees and other miscellaneous fees, please visit http://www.taswater.com.au/Development/Fees---Charges			
For application forms please visit http://www.taswater.com.au/Development/Forms			
Declaration			
The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.			
Authorised by			
 Jason Taylor Development Assessment Manager			
TasWater Contact Details			
Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au

GLENORCHY CITY COUNCIL PLANNING PROGRAM
 APPLICATION No. 16-075
 PLAN No. P1
 DATE RECEIVED 20/04/16
 PAGE 1 of 5

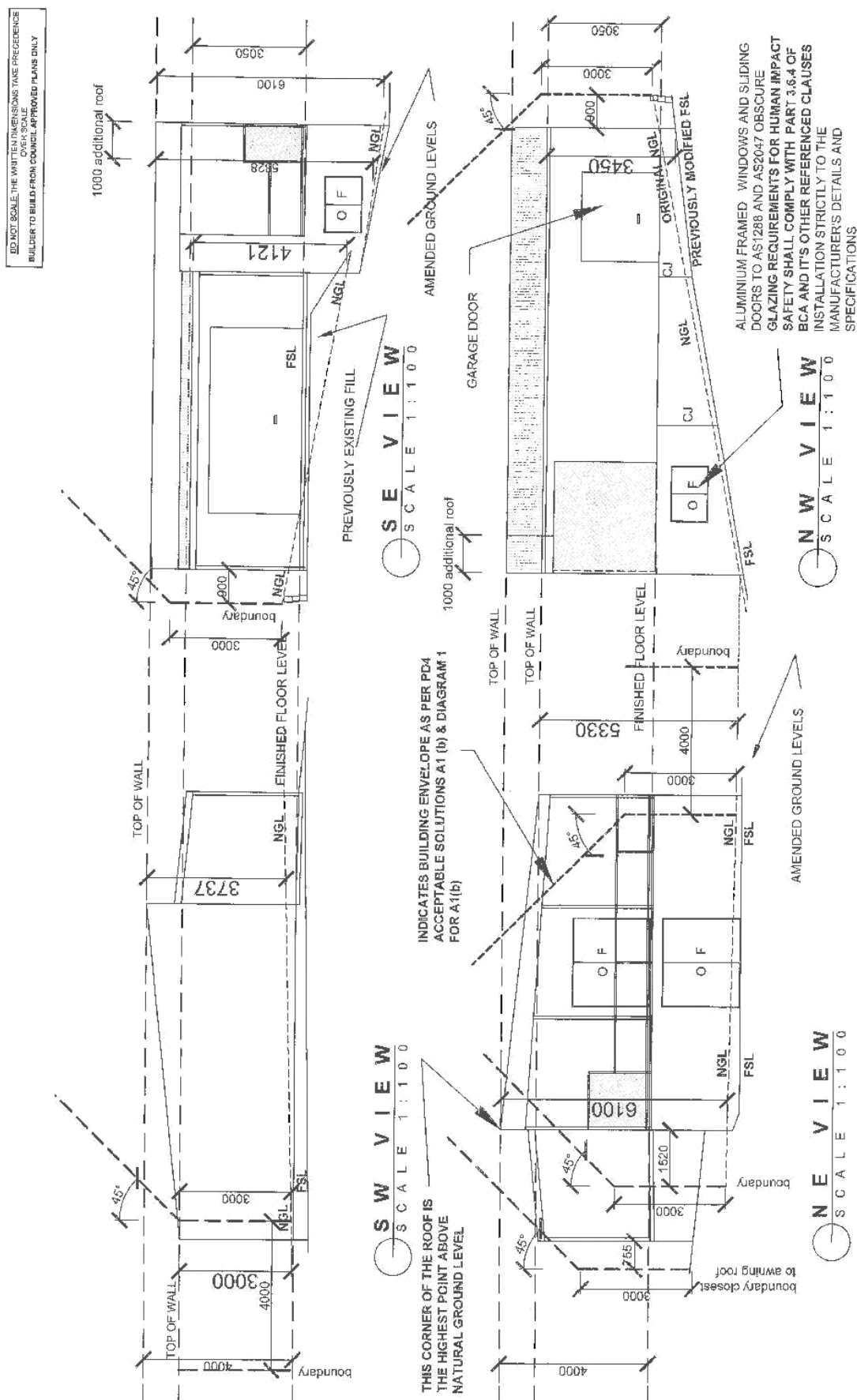


Revisions: 07Apr16
 LAYOUT CHANGED AND
 GROUND LINES AMENDED

Revisions: 14Apr18
 GROUND LINES CLARIFIED

SKIZZE building design 98 New Town Road New Town Phone: 08 8228 7782 Email: info@skizze.co.nz	Proposed: Garage Client: B & H Wojcik At: 28 Bermuka Street West Moanah	JOB: 15030 Sheet: 2 of 8	Revisions: Drawn: RV Date: June 2015 Issue Date 14Apr18
	Revisions: 14Apr18 GROUND LINES CLARIFIED		

DO NOT SCALE THE WRITTEN DIMENSIONS TAKE PRECEDENCE
 OVER DIMENSIONS SHOWN ON THE PLAN
 BUILDER TO BUILD FROM COUNCIL APPROVED PLANS ONLY



**NB- THE GROUND LINES SHOWN REFLECTS MEASUREMENTS
TAKEN ON SITE BY SKIZZE BUILDING DESIGN**

NB- ALL OTHER DETAILS OF ELEVATIONS TO ORIGINAL PILING

SKIZZE
building design
interior • exterior • landscape

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NEW TOWN ROAD NEW TOWN, PA 17234-7762

Proposed: Garage	JOB:15030
Client: B & H Wojcik	Sheet : 4 of 8

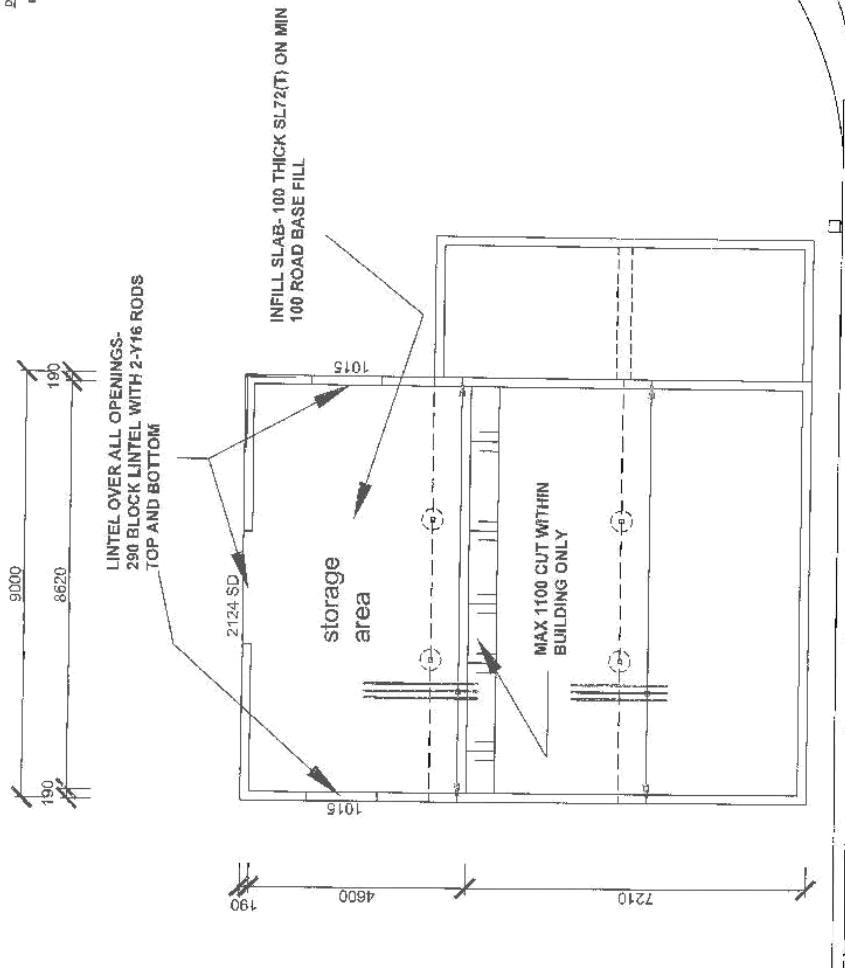
Revisión:
Drawn:RV
Date: June 2015 ©
Issue Date 14Apr16

Revisions: 07Apr16
LAYOUT CHANGED AND
GROUND LINES AMENDED
Revisions: 14Apr16
GROUND LINES CLARIFIED

APPLICATION
 PLAN No. P1
 DATE RECEIVED 20/04/16

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OVER SCALE
BUILDER TO BUILD FROM COUNCIL APPROVED PLANS ONLY

GLENORCHY CITY COUNCIL PLANNING PROGRAM
APPLICATION No 16-075
PLAN No P1
DATE RECEIVED 20/04/16
PAGE 3 of 5



FOOTING/BASEMENT PLAN

S C A L E 1 : 1 0 0

NB- ALL OTHER DETAILS OF
THE UNDERFLOOR TO
ORIGINAL PLANS

Revisions: 14Apr16
GROUND LINES CLARIFIED

Revisions: 07Apr16
LAYOUT CHANGED AND
GROUND LINES AMENDED

CONCRETE GRADES
FOOTINGS N25
EXPOSED SLABS N32
INTERNAL SLABS N26
CONCRETE SUPPLY TO BE MAX 80mm SLUMP
Curing:
Protection: Protect concrete from premature drying
and from excessive hot, cold and/or windy
conditions by a suitable approved method.
Minimum Curing Time:
• In-ground footings: 3 days.
• Fully encased internal surfaces: 3 days
• Exposed footings, beams and slabs: 7 days.
• Other surfaces: 7 days

SKIZZE building design 94 New Town Road New Town NSW 1560 Ph: 02 9338 7752 Email: info@skizze.com.au	Proposed: Garage Client: B & H Wojcik At: 28 Bermuka Street West Moonah	JOB: 15030 Sheet : 5 of 8	Revisions: Drawn: RV Date: June 2015 @ Issue Date 14Apr16
	Revisions: 14Apr16 GROUND LINES CLARIFIED Revisions: 07Apr16 LAYOUT CHANGED AND GROUND LINES AMENDED		

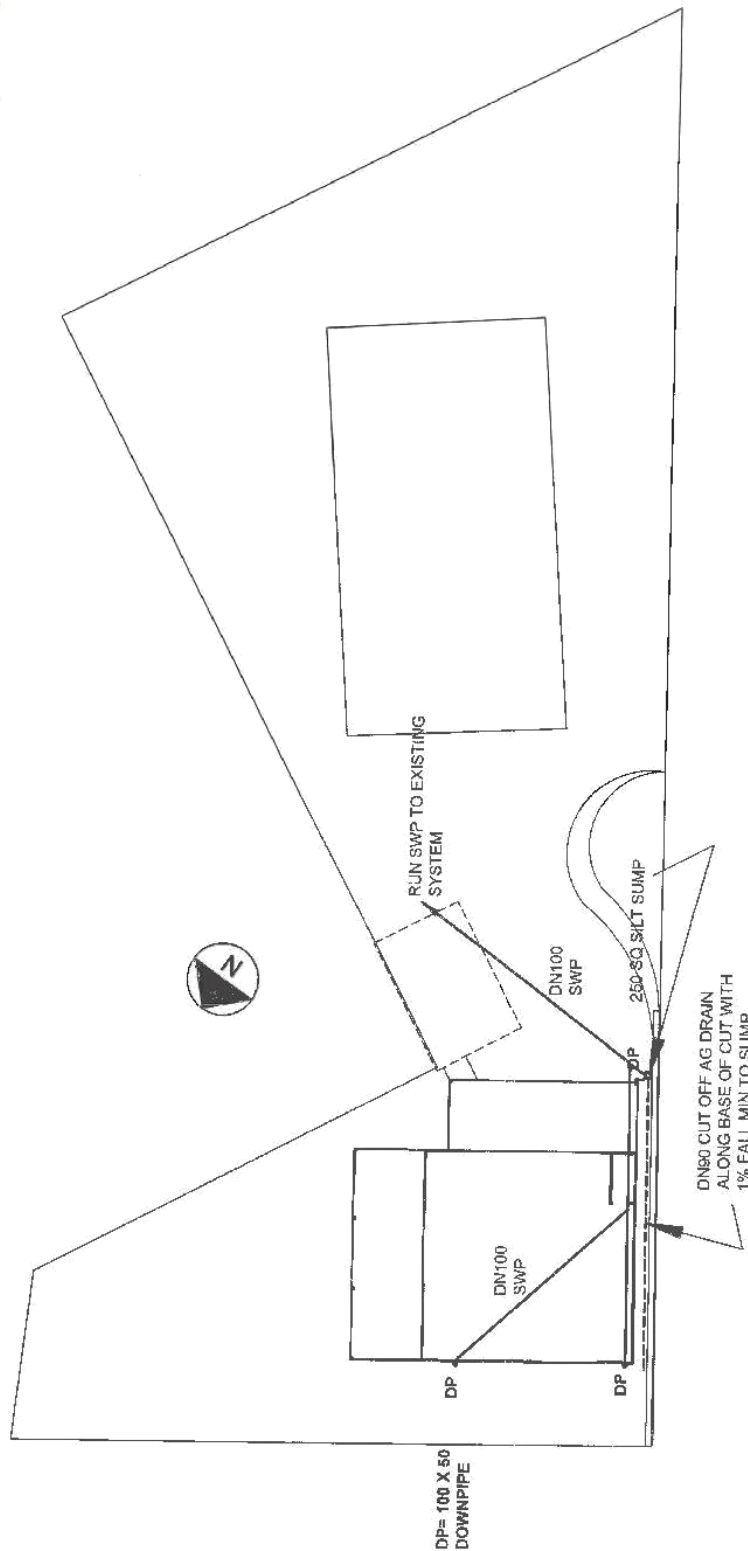
GLENORCHY CITY COUNCIL PLANNING PROJECT

APPLICATION No. 16-075

PLAN No. P1

DATE RECEIVED: 20/04/16

PAGE 4 of 5



SITE PLAN
STORMWATER DRAINAGE
SCALE 1:200

Revisions: 14Apr16
GROUND LINES CLARIFIED

SKIZZE
building design

38 New Town Road New Town T8228 7782
Accreditation Number: CC646J

Proposed: Garage

Client: B & H Wojcik

JOB: 15030

Sheet: 6 OF 8

Revisions:
Drawn: PV
Date: June 2015 @
Issue Date: 14Apr16

At: 28 Bermuka Street West Moongah

DO NOT SCALE THE WRITTEN DIMENSIONS TAKE PRECEDENCE
OVER SCALE
BUILDER TO BUILD FROM COUNCIL APPROVED PLANS ONLY

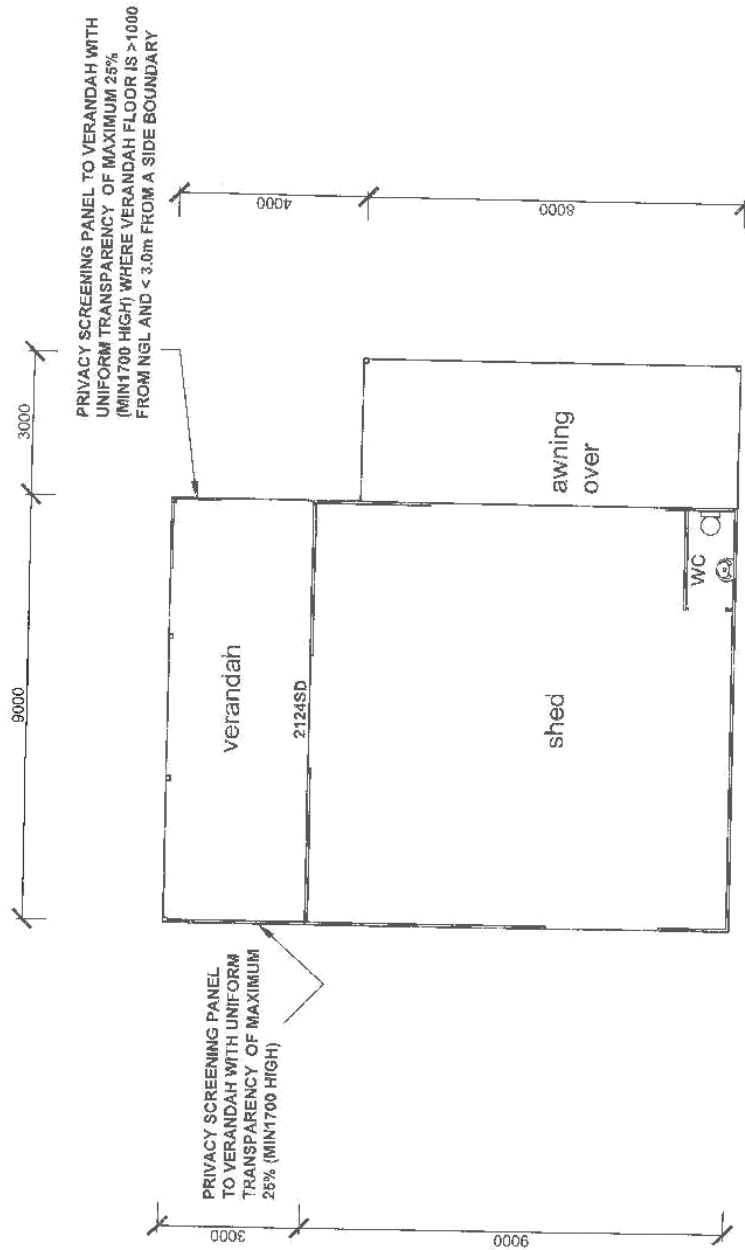
GLENORCHY CITY COUNCIL PLANNING PROGRAM

APPLICATION No 16- C75

PLAN No P1

DATE RECEIVED: 20/04/16

PAGE 5 of 5



Revisions: 14Apr16
GROUND LINES CLARIFIED

Revisions: 07Apr16
LAYOUT CHANGED AND
GROUND LINES AMENDED

FLOOR PLAN
SCALE 1:100

NB- ALL OTHER DETAILS OF
PLANS TO ORIGINAL PLANS

SKIZZE building design 98 New Town Road New Town Auckland 1013 Tel: 09 228 7782 Fax: 09 228 7783 Email: info@skizze.co.nz Website: www.skizze.co.nz	Proposed: Garage Client: B & H Wojcik At: 28 Bermuka Street West Moanah	JOB: 15030 Sheet : 3 of 8	Revisions: Drawn: RV Date: June 2015 © Issue Date 14Apr16
	07Apr16 LAYOUT CHANGED AND GROUND LINES AMENDED		





1. HAZARD MANAGEMENT AREA (HMA)

- 1.1 Development of habitable buildings must include the establishment and maintenance of the prescribed HMA for the relevant allotment.
- 1.2 Land within the HMA is to be maintained in a minimum fuel condition by implementing the following:

- Avoid storage of flammable objects (e.g., firewood);
- Avoid locating flammable garden materials (e.g., plants and mulches) near vulnerable building elements, such as windows, doors, decks and eaves.

- Non-flammable fixtures such as doors, drapery and covered dress are encouraged against the roadside building.
 - Remove tree canopy separation of 2.0m.
 - Remove tree branches 15m above ground level.
 - Locate any new tree plantings 15 x their mature height from house.
 - Avoid planting trees with loose, stringy or ribbon bark.
 - Moisten ground c. 400mm below.
 - Shrubs should be maintained 2m height and not placed under trees.
 - Periodically remove dead leaves, bark and branches from underneath trees and around the house.
13. In the event that Lot 1 is developed with a roadside building prior to Lot 2, the owner of Lot 1 must provide a 230mm clearance to adjoining vegetation on Lot 2. Until such time that Lot 2 is developed with a roadside building and associated FMA,

2. CONSTRUCTION STANDARD - AS 3959-2009

- 2.1 A habitable building under construction on this plan must be constructed to BAL-19 standard (unless an alternative BAL rating is certified by an Accredited Person for a specific building design).
- 2.2 Reductions in construction standard for non-exposed elevations are allowable if in accordance with clause 3.5 of AS 3959-2009.

3. ACCESS

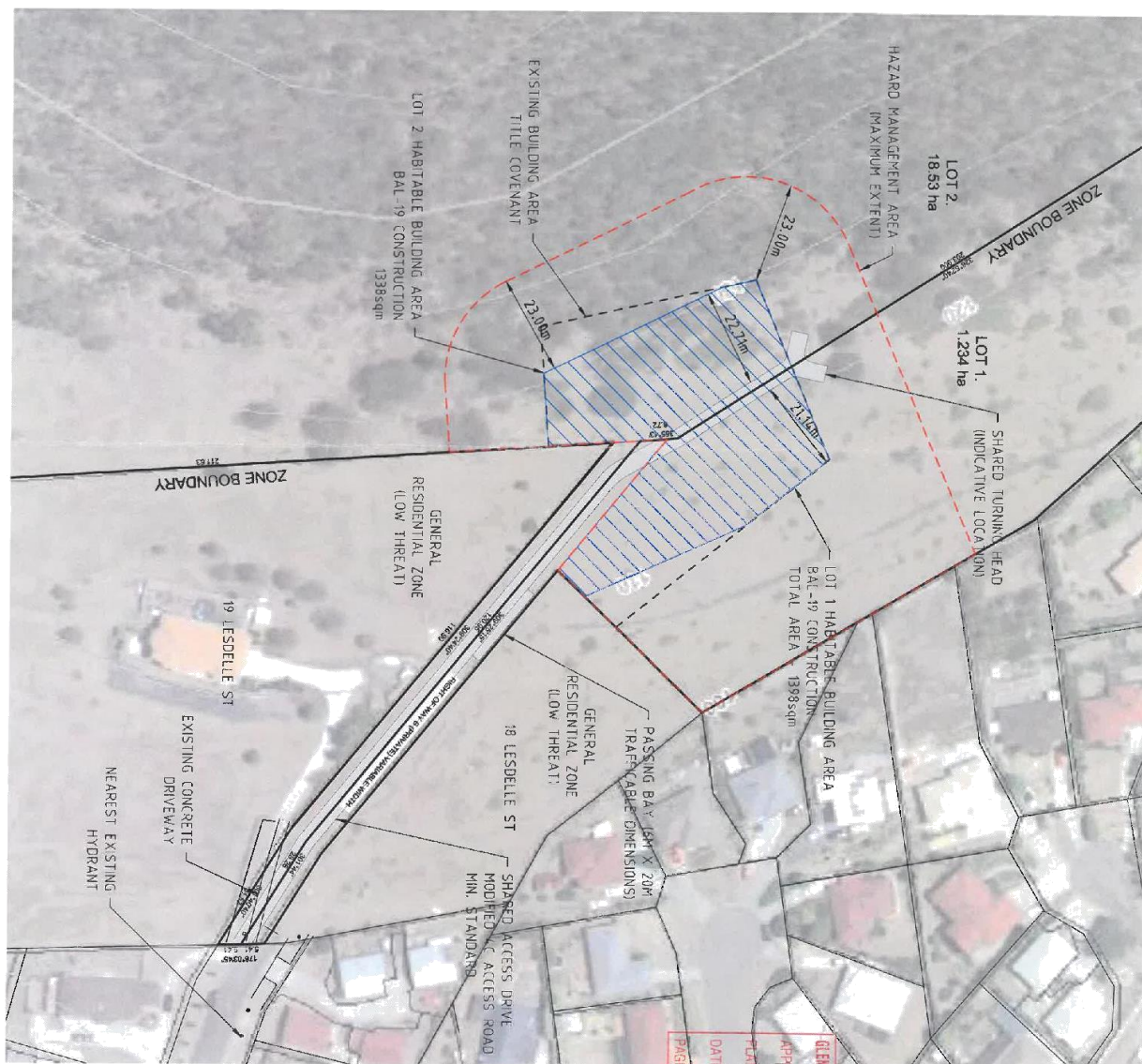
- Access driveway must be not less than a modified Class A Access Road.
- Vegetation clearance must be maintained around access drive forming a clearing 12m either side of carriageway, stated with a height of 2.5m.
- One vehicle passing bay is required as specified on this plan.
- Private access to be provided within 30m of furthest part of a habitable building.
- Provision for emergency vehicle maneuvering is required no. 0.8m x 4.0m dimensioned (7' turning head) with intractable dimension of 5.0m x 4.0m

WATER

- [illegible]

Tests

- A. Land to be subdivided is 29 Lescalle St., Claremont (CT 06284).
- B. Certifying Butcher Hazard Pictogram is Tom O'Connor (860-107), scope 1, 2, 30, 31, 32.
- C. This plan should be read in conjunction with JMG BuShine Report, Project No. 150203P March 2016.
- D. This plan has been prepared to satisfy planning requirements of the Glencliff Planning Scheme 1992.



GLENDHROFT CITY COUNCIL PLANNING PROGRAM

APPLICATION NO. 15-041

PLAN NO. P4

DATE RECEIVED 22/3/16

PAGE 3 of 3

REV	DATE	REMARK
A	20/01/16	Revised LOI 2 HMA & text edit



Jing
Engineers & Planners

Johnstone McGee & Gandy Pky. Ltd.
Incorporating **Dale P Luck & Associates**
ACN 009 547 139 ABN 78 473 634 85

117 Hixington Street, Hobart, Tas (03) 6231 255
48-51 Elizabeth Street, Launceston, Tas (03) 6331 704
www.jag-net.au info@jag.net.au info@jag.net.au

PROJECT _____

20 LESDELL STREET

CLAREMONT
SUBDIVISION

TITLE
BUSHFIRE HAZARD
MANAGEMENT PLAN

Accepted M. CLARK (Chairman Board)	Date
---------------------------------------	------

Accepted T. O'Connor (Team Leader)	Date
Approved: 11.01.2012	

APPROVED: M. CLARK
(Grand Manager)

DATE: _____

This document must be signed "Approved" by AGU to authorize its use. Use without AGU's authorization is considered an abuse of AGU.

SCALE @ A3 DESIGNED BY DRAWN BY
T. O'CONNOR T. O'CONNOR

1:1600	12/03/2016
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Services is on his strong as indicative of, COMPLETION is also
Asbestos & other project drawings by co-ordination between silicate, fibre
burns, things, surfaces etc. COMPLETION to this check at dimensions and
exact heights of all items. JMS accepts no responsibility for dimensions

PLOT DETAILS B01 - REV A 29 LESDELL ST 6HMP.DWG

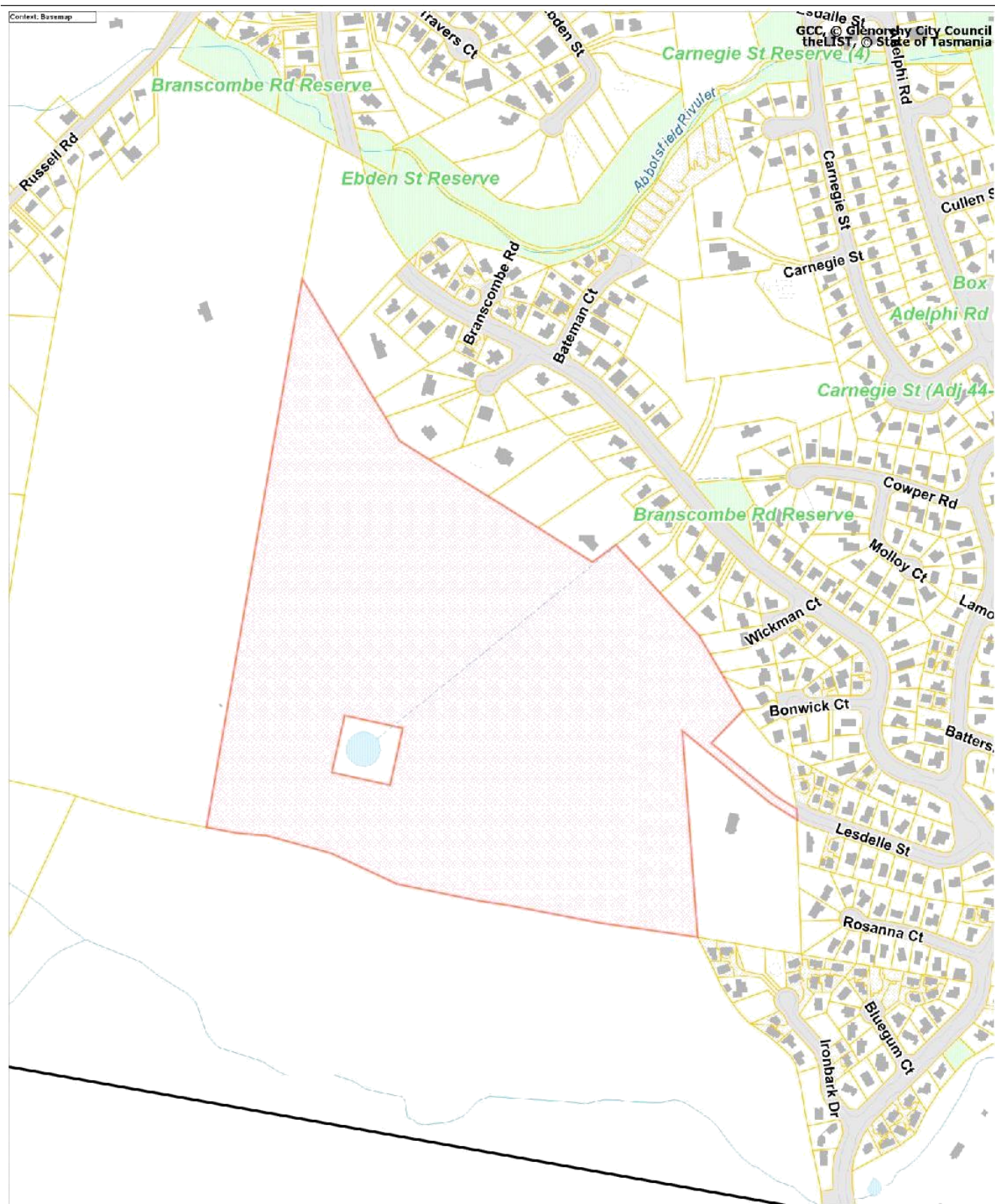
PROJECT NO. J153023PH

CLASSIFICATION	CONTROL
B01	A

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29 Lesdelle Street, Claremont



Map Scale: 1:5,303

Map Width: 1007 m

Date of Print: Friday, 20 May 2016



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 As errors or omissions may occur please verify data before any projects are commenced.
 The representation of roads or tracks is no evidence of right of way.
 This map is not to be used as a site plan for making an application to council.

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Phone: 13 6992
 Fax: 1300 862 066
 Web: www.taswater.com.au

TasWater

Submission to Planning Authority Notice

Council Planning Permit No.	PLN-15-041	Council notice date	26/02/2015
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TasWater details			
TasWater Reference No.	TWDA 2015/00274-GCC	Date of response	10/03/2015
TasWater Contact	Phil Papps	Phone No.	(03) 6237 8246

Response issued to	
Council name	GLENORCHY CITY COUNCIL
Contact details	gccmail@gcc.tas.gov.au

Development details			
Address	29 LESDELLE ST, CLAREMONT	Property ID (PID)	3114134
Description of development	One Lot subdivision plus balance		

Schedule of drawings/documents			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
Nick Griggs & Co.	Plan of Subdivision / 3639/05	--	12/02/2015

Conditions

Pursuant to the *Water and Sewerage Industry Act 2008* (TAS) Section 56P(1) TasWater imposes the following conditions on the permit for this application:

CONNECTIONS, METERING & BACKFLOW

1. In the event the Planning Authority require the lots to be serviced for water a minimum 20mm ID water property connection to each lot of the development in accordance with TasWater's standards.
2. In the event the Planning Authority require the lots to be serviced for sewerage a minimum 100mm diameter sewerage property connection to each lot of the development in accordance with TasWater's standards.
3. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost.

ASSET CREATION & INFRASTRUCTURE WORKS

4. In the event the Planning Authority require the lots to be serviced for sewerage the existing 100mm diameter service main (Asset No. CBZ30SEG41559) must be upgraded to 150mm diameter to service the proposed development.
5. Plans submitted with the application for Engineering Design Approval must show all existing, redundant and/or proposed property services and mains, to the satisfaction of TasWater.
 Prior to applying for a Permit to Construct to construct new infrastructure the developer must obtain from TasWater Engineering Design Approval. The application for Engineering Design Approval must include engineering design plans prepared by a registered professional engineer/suitably qualified person showing the hydraulic servicing requirements for water and sewerage to TasWater's satisfaction.
6. Prior to works commencing, a Permit to Construct must be applied for and issued by TasWater. All infrastructure works must be inspected by TasWater and be to TasWater's satisfaction.
7. All works must be constructed under the supervision of a qualified engineer in accordance with TasWater's requirements.
8. Prior to the issue of a Consent to Register a Legal Document/Certificate of Compliance all additions, extensions, alterations or upgrades to TasWater's water and sewerage infrastructure required to service the development, are to be at the expense of the developer and performed by a contractor approved by TasWater,

Phone: 13 6992
 Fax: 1300 862 066
 Web: www.taswater.com.au

TasWater

to the satisfaction of TasWater.

9. After testing, to TasWater's requirements, of newly created works, the developer must apply to TasWater for connection of these works to existing TasWater infrastructure, at the developer's cost.
10. At practical completion of the water and sewerage works and prior to TasWater issuing a Consent to a Register Legal Document the developer must obtain a Certificate of Practical Completion from TasWater for the works that will be transferred to TasWater. After the Certificate of Practical Completion has been issued, a 12 month defects liability period applies to this infrastructure. During this period all defects must be rectified at the developer's cost and to the satisfaction of TasWater. A further 12 month maintenance period may be applied to defects after rectification. TasWater may, at its discretion, undertake rectification of any defects at the developer's cost. To obtain a Certificate of Practical Completion:
 - a) Written confirmation from the supervising qualified engineer certifying that the works have been constructed in accordance with the TasWater approved plans and specifications and that the appropriate level of workmanship has been achieved;
 - b) A request for a joint on-site inspection with TasWater's authorised representative must be made;
 - c) Security for the twelve (12) month defects liability period to the value of 10% of the works must be lodged with TasWater. This security must be in the form of a bank guarantee;
 - d) As constructed drawings must be prepared by a qualified surveyor to TasWater's satisfaction and forwarded to TasWater.
11. Upon completion, to TasWater's satisfaction, of the defects liability period the developer must request TasWater to issue a "Certificate of Final Acceptance". The newly constructed infrastructure will be transferred to TasWater upon issue of this certificate and TasWater will release any security held for the defects liability period.
12. The developer must take all precautions to protect TasWater infrastructure. Any damage caused to TasWater infrastructure during the construction period must be promptly reported to TasWater and repaired by TasWater at the developer's cost.
13. Ground levels over the TasWater assets and/or easements must not be altered without the written approval of TasWater.
14. A construction management plan must be submitted with the application for TasWater Engineering Design Approval. The construction management plan must detail how the new TasWater infrastructure will be constructed while maintaining current levels of services provided by TasWater. The construction plan must also include a risk assessment and contingency plans covering major risks to TasWater during any works. Subject to TasWater being satisfied, the construction plan will form part of TasWater's Engineering Design Approval.

FINAL PLANS, EASEMENTS & ENDORSEMENTS

15. Prior to the Sealing of the Final Plan of Survey, the developer must obtain a Consent to Register a Legal Document from TasWater and the certificate must be submitted to the Council as evidence of compliance with these conditions when application for sealing is made.

HEADWORKS

16. Prior to TasWater issuing a Certificate(s) for Certifiable Work (Building) and/or (Plumbing), the applicant or landowner as the case may be, must pay a headworks charge totalling \$1,096.00 to TasWater for water infrastructure for 1.0 additional Equivalent Tenements, indexed as approved by the Economic Regulator from the date of this Submission to Planning Authority Notice until the date it is paid to TasWater.
17. Prior to TasWater issuing a Certificate(s) for Certifiable Work (Building) and/or (Plumbing), the applicant or landowner as the case may be, must pay a headworks charge totalling \$3,351.00 to TasWater for sewerage infrastructure for 1.0 additional Equivalent Tenements, indexed as approved by the Economic Regulator from the date of this Submission to Planning Authority Notice until the date it is paid to TasWater.

Advice: If the Final Plan of Survey has been lodged with Council and a Certificate of Practical Completion is issued in the period 1 April 2014 to 31 March 2016, then the above headworks amount(s) will be waived in line with the prevailing State Government Policy. Please visit www.development.tas.gov.au for further information.

Phone: 13 6992
Fax: 1300 862 066
Web: www.taswater.com.au

TasWater

DEVELOPMENT ASSESSMENT FEES

18. The applicant or landowner as the case may be, must pay a development assessment and Consent to Register a Legal Document fee to TasWater for this proposal of:

1. \$305.70 for development assessment; and;
2. \$152.85 for Consent to register a Legal Document;

as approved by the Economic Regulator and the fees will be indexed as approved by the Economic Regulator until the date they are paid to TasWater. The payment is required within 30 days of the issue of an invoice by TasWater which will be when the Consent to Register a Legal Document is issued is made.

Advice

For information on TasWater development standards, please visit
<http://www.taswater.com.au/Development/Development-Standards>

For information regarding headworks, further assessment fees and other miscellaneous fees, please visit
<http://www.taswater.com.au/Development/Fees---Charges>

For detailed information on how headworks have been calculated for this development please contact the TasWater contact as listed above.

For application forms please visit <http://www.taswater.com.au/Development/Forms>

The developer is responsible for arranging to locate existing TasWater infrastructure and clearly showing it on any drawings. Existing TasWater infrastructure may be located by TasWater (call 136 992) on site at the developer's cost, alternatively a surveyor and/or a private contractor may be engaged at the developers cost to locate the infrastructure.

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

If you need any clarification in relation to this document, please contact TasWater. Please quote the TasWater reference number. Phone: 13 6992, Email: development@taswater.com.au

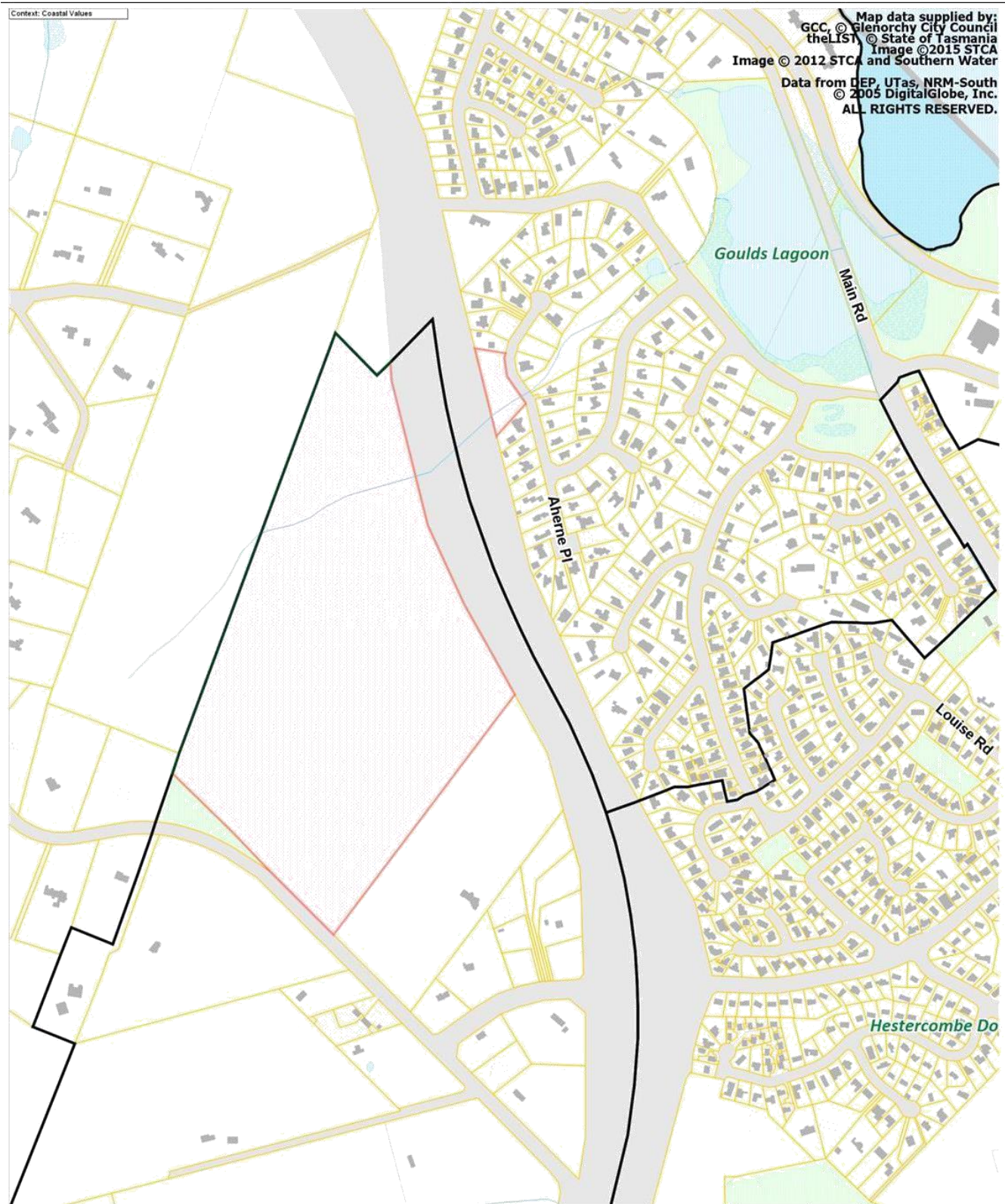
Authorised by



Jason Taylor

Development Assessment Manager

32 Gillies Road, Claremont



Map Scale: 1:7,468

Map Width: 1419 m

Date of Print: Friday, 20 May 2016



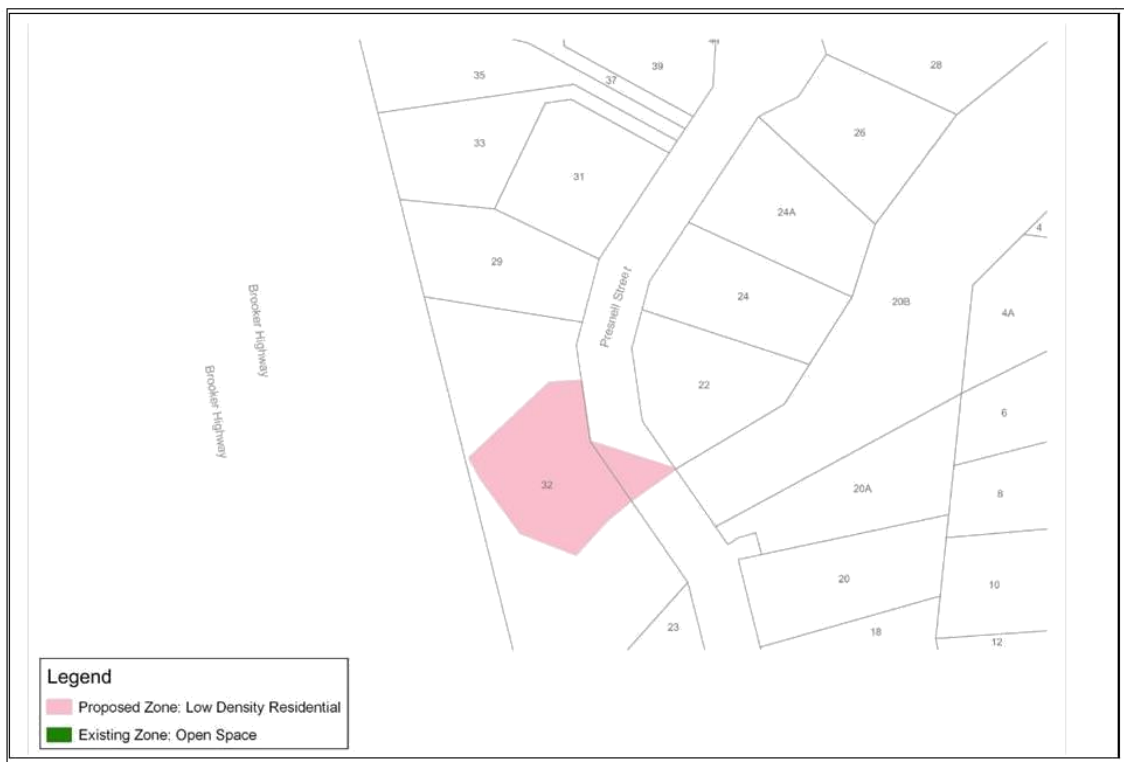
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This map is not to be used as a site plan for making an application to council.

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GLENORCHY INTERIM PLANNING SCHEME 2015 AMENDMENT PLS43A-16/01

The Glenorchy Interim Planning Scheme 2015 is amended as follows:

Land affected by this amendment: 32 Gillies Road, Claremont



In witness whereof the common seal of
Glenorchy City Council has been affixed on the
day of

20 as authorised
by Council in the presence of:

Council Delegate

GLENORCHY INTERIM PLANNING SCHEME 2015 AMENDMENT PLS43A-16/01

The Glenorchy Interim Planning Scheme 2015 is amended as follows:

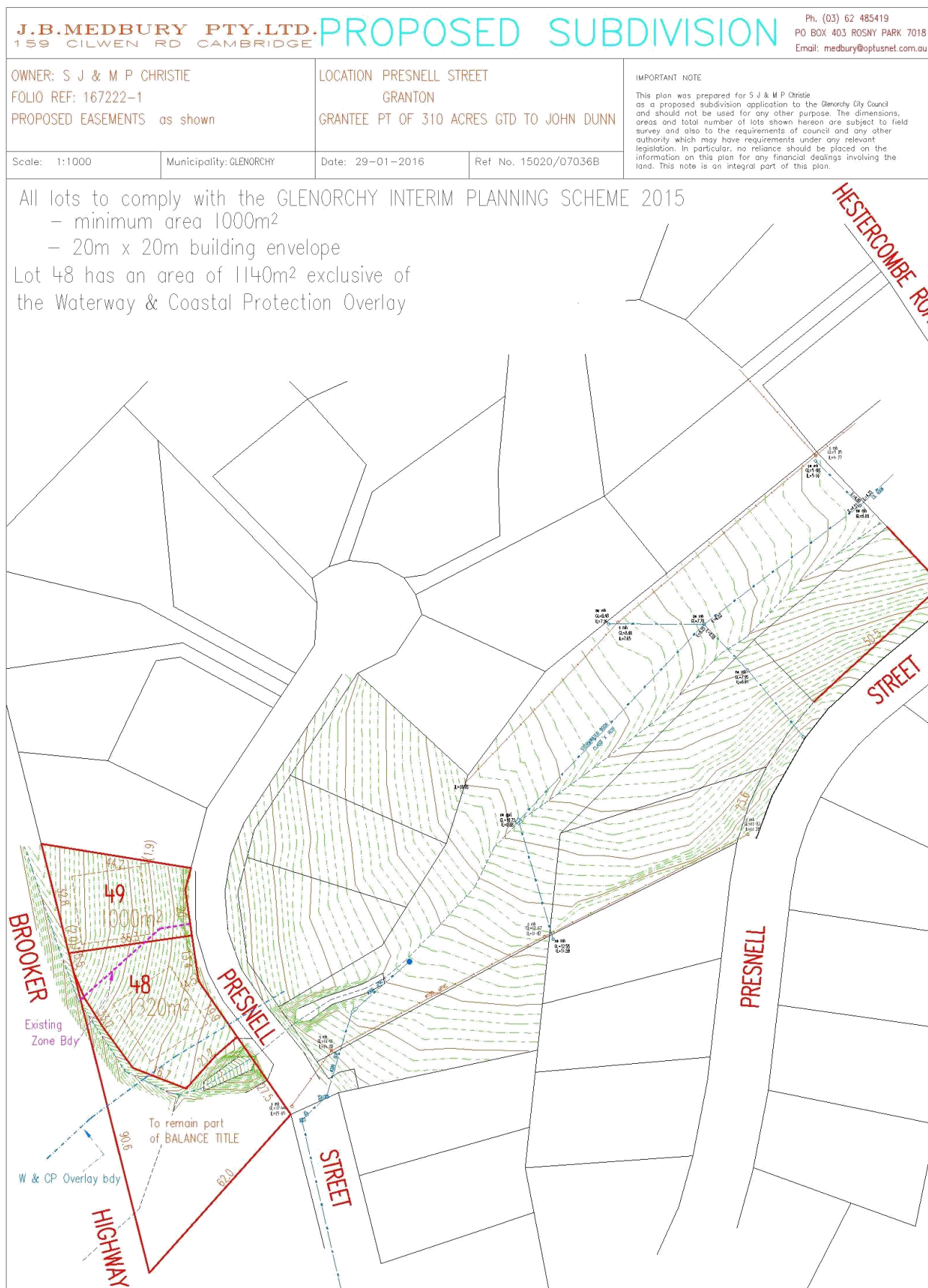
Land affected by this amendment: 32 Gillies Road, Claremont

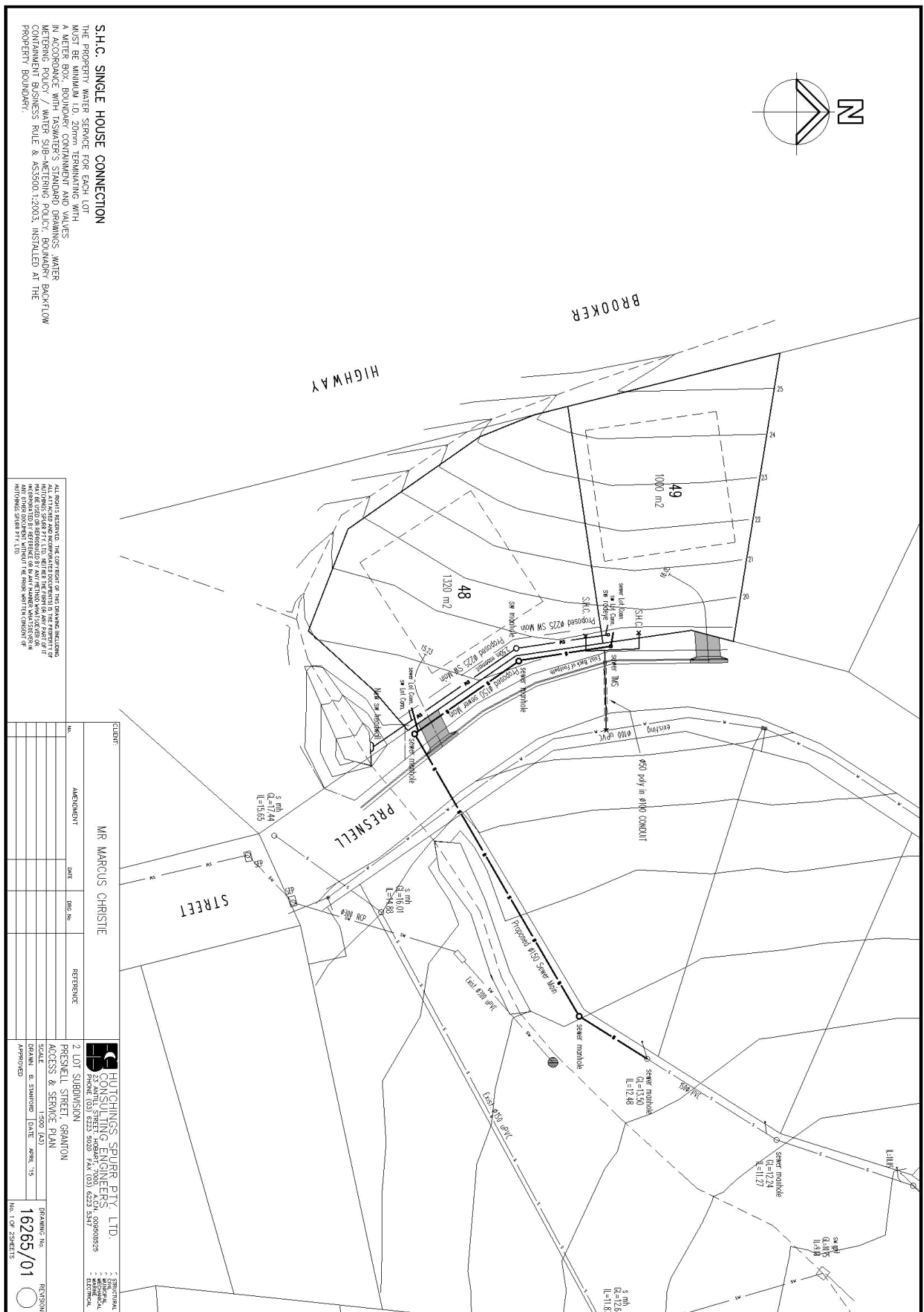


In witness whereof the common seal of
Glenorchy City Council has been affixed on the
day of

20 as authorised
by Council in the presence of:

Council Delegate







Submission to Planning Authority Notice

Council Planning Permit No.	PLS43A-16/01	Council notice date	16/03/2016
TasWater details			
TasWater Reference No.	TWDA 2016/00331-GCC	Date of response	09/05/2016
TasWater Contact	Phil Papps	Phone No.	(03) 6237 8246
Response issued to			
Council name	GLENORCHY CITY COUNCIL		
Contact details	gccmail@gcc.tas.gov.au		
Development details			
Address	32 GILLIES RD, GRANTON	Property ID (PID)	3299626
Description of development	2 Lot Subdivision - Combined rezoning and planning permit application		
Schedule of drawings/documents			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
Hutchings Spurr P/L	Access and Services Plan / 16265/01	--	April 2016
Conditions			
Pursuant to the <i>Water and Sewerage Industry Act 2008 (TAS)</i> Section 56P(1) TasWater makes the following submission(s): 1. TasWater does not object to the draft amendment to planning scheme and has no formal comments for the Tasmanian Planning Commission in relation to this matter and does not require to be notified of nor attend any subsequent hearings. Pursuant to the <i>Water and Sewerage Industry Act 2008 (TAS)</i> Section 56P(1) TasWater imposes the following conditions on the Planning Permit for this application: CONNECTIONS, METERING & BACKFLOW 1. A suitably sized metered water connection and sewerage connection to each lot of the development must be provided in accordance with TasWater standards. 2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified water property service connections must be carried out by TasWater at the developer's cost. ASSET CREATION & INFRASTRUCTURE WORKS 3. TasWater's existing sewerage system must be extended to service the proposed development in accordance with TasWater standards. 4. Plans submitted with the application for Engineering Design Approval must, to the satisfaction of TasWater show, all existing, redundant and/or proposed property services and mains. 5. Prior to applying for a Permit to Construct new infrastructure the developer must obtain from TasWater Engineering Design Approval. The application for Engineering Design Approval must include engineering design plans prepared by a suitably qualified person showing the hydraulic servicing requirements for water and sewerage to TasWater's satisfaction. 6. Prior to works commencing, a Permit to Construct must be applied for and issued by TasWater. All infrastructure works must be inspected by TasWater and be to TasWater's satisfaction. 7. In addition to any other conditions in this permit, all works must be constructed under the			



- supervision of a suitably qualified person in accordance with TasWater's requirements.
8. Prior to the issue of a Consent to Register a Legal Document all additions, extensions, alterations or upgrades to TasWater's water and sewerage infrastructure required to service the development, generally as shown on the concept servicing plan listed in the schedule of drawings/documents, are to be at the expense of the developer to the satisfaction of TasWater, with live connections performed by Taswater.
 9. After testing, to TasWater's requirements, of newly created works, the developer must apply to TasWater for connection of these works to existing TasWater infrastructure, at the developer's cost.
 10. At practical completion of the water and sewerage works and prior to TasWater issuing a Consent to a Register Legal Document the developer must obtain a Certificate of Practical Completion from TasWater for the works that will be transferred to TasWater. To obtain a Certificate of Practical Completion:
 - a) Written confirmation from the supervising suitably qualified person certifying that the works have been constructed in accordance with the TasWater approved plans and specifications and that the appropriate level of workmanship has been achieved;
 - b) A request for a joint on-site inspection with TasWater's authorised representative must be made;
 - c) TasWater may, at its discretion, require security to be lodged for the twelve (12) month defects liability period to the value of 10% of the works. This security must be in the form of a bank guarantee;
 - d) As constructed drawings must be prepared by a suitably qualified person to TasWater's satisfaction and forwarded to TasWater.
 11. After the Certificate of Practical Completion has been issued, a 12 month defects liability period applies to this infrastructure. During this period all defects must be rectified at the developer's cost and to the satisfaction of TasWater. A further 12 month defects liability period may be applied to defects after rectification. TasWater may, at its discretion, undertake rectification of any defects at the developer's cost. Upon completion, of the defects liability period the developer must request TasWater to issue a "Certificate of Final Acceptance". The newly constructed infrastructure will be transferred to TasWater upon issue of this certificate and TasWater will release any security held for the defects liability period.
 12. The developer must take all precautions to protect existing TasWater infrastructure. Any damage caused to existing TasWater infrastructure during the construction period must be promptly reported to TasWater and repaired by TasWater at the developer's cost.
 13. Ground levels over the TasWater assets and/or easements must not be altered without the written approval of TasWater.
- FINAL PLANS, EASEMENTS & ENDORSEMENTS**
14. Prior to the Sealing of the Final Plan of Survey, the developer must obtain a Consent to Register a Legal Document from TasWater and the certificate must be submitted to the Council as evidence of compliance with these conditions when application for sealing is made.
 15. Pipeline easements, to TasWater's satisfaction, must be created over any existing or proposed TasWater infrastructure located within privately owned land and be in accordance with TasWater's standard pipeline easement conditions.
- DEVELOPMENT ASSESSMENT FEES**
16. The applicant or landowner as the case may be, must pay a development assessment and Consent



to Register a Legal Document fee to TasWater, as approved by the Economic Regulator and the fees will be indexed, until the date they are paid to TasWater, as follows:

1. \$456.00 for development assessment; and
2. \$216.00 for Consent to Register a Legal Document

The payment is required within 30 days of the issue of an invoice by TasWater.

Advice

For information on TasWater development standards, please visit
<http://www.taswater.com.au/Development/Development-Standards>

For information regarding headworks, further assessment fees and other miscellaneous fees, please visit
<http://www.taswater.com.au/Development/Fees---Charges>

For detailed information on how headworks have been calculated for this development please contact the TasWater contact as listed above.

For application forms please visit <http://www.taswater.com.au/Development/Forms>

The developer is responsible for arranging to locate existing TasWater infrastructure and clearly showing it on any drawings. Existing TasWater infrastructure may be located by TasWater (call 136 992) on site at the developer's cost, alternatively a surveyor and/or a private contractor may be engaged at the developers cost to locate the infrastructure.

Advice to Planning Authority (Council) and developer on fire coverage

TasWater cannot provide a supply of water for the purposes of firefighting to the lots on the plan.

TasWater have a small number of townships that are on Boil Water and Do Not Consume Alerts. Please visit <http://www.taswater.com.au/News/Outages---Alerts> for a current list of these areas.

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

Authorised by

Jason Taylor
 Development Assessment Manager

TasWater Contact Details

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