

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-26-046
PROPOSED DEVELOPMENT:	Multiple Dwellings (Two New)
LOCATION:	63 Mahoney Drive Austins Ferry
APPLICANT:	Taylor and Beeson Building
ADVERTISING START DATE:	14/07/2026
ADVERTISING EXPIRY DATE:	28/07/2026

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **28.07.2026**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **28.07.2026**, or for postal and hand delivered representations, by 5.00 pm on **28.07.2026**.

Site Information

Land Title Reference:

CT 185686/7

Wind Classification:

TBC

Soil Classification:

TBC

Climate Zone:

7

Bushfire Attack Level:

TBC

Alpine Area:

N/A Less than 900m AHD

Corrosion Environment:

TBC

Other Hazards:

TBC

Zoning:

GENERAL RESIDENTIAL

AREA SCHEDULE

Site Area

:

751 m²

U1-Ground Floor

:

44.9 m²

U1-First Floor

:

78.6 m²

U1-Total

:

123.5 m²

PORCH/DECK

:

15.3 m²

Carport

:

27.4 m²

U2-Ground Floor

:

82.6 m²

PORCH/DECK

:

18.3 m²

Total Floor U1+U2

:

206.1 m²

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SIGNATURE:
DATE:

CONSULTANT COORDINATION & CERTIFICATION :
This architectural documentation is part of a complete set of drawings. All trades must refer to and coordinate works with all consultant documentation (Structural Engineer, Hydraulic Consultant, Energy Assessor, etc.). The respective consultants are responsible for certifying their specific scope of work. In the event of discrepancy, the most stringent requirement or the certified engineer's documentation shall take precedence



NOTE:
3D View colours/materials is indicative only and is subject to final selection.

SHEET SHEET NAME

- 01
- 01 A
- 02
- 02A
- 03
- 04
- 04 A
- SITE PLAN
- SHADOW ANALYSIS
- U1-LOWER FLOOR PLAN
- U1-UPPER FLOOR PLAN
- U1- ROOF PLAN
- U1- ELEVATIONS
- U1- SECTION

SHEET SHEET NAME

- 05
- 06
- 07
- 08
- 09
- 10
- 11
- 11A
- 12
- U1-ELECTRICAL_LOWER & UPPER FLOOR
- U2-GROUND FLOOR PLAN
- U2- ROOF PLAN
- U2- ELEVATIONS
- U2-ELECTRICAL_GROUND FLOOR
- DRAINAGE PLAN
- 3D VIEWS
- 3D VIEWS
- CALCULATIONS

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. :PLN-26-046

DATE RECEIVED: 29 June 2026

GLAZING NOTE:
All windows are Double glazed

BAL : TBC

5	Section added on sheet 4A to RFI 10.06.2026	19.06.2026	RK
4	Units level /Driveway modified & Reverse area added as Engineers plan	26.05.2026	RK
3	Calculations added for noise assessment	23.04.2026	RK
2	Modified as Council RFI dated 30.03.2026	10.04.2026	RK
1	DA PLANS	17.03.2026	RK
Document Set ID: 3637222 Amendment		Date	Drawn
Version: 1, Version Date: 09/07/2026			



PERYTON HOMES Pty Ltd
177 Pulpit Rock Road, New Norfolk
Hobart TAS 7140

Designer: Ranjot Kaur
Mob. 0450 656 007
Email: ranjot@perytonhomes.com.au
Licence Number: 173530973

***GENERAL NOTES:**
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TITLE

COVER SHEET

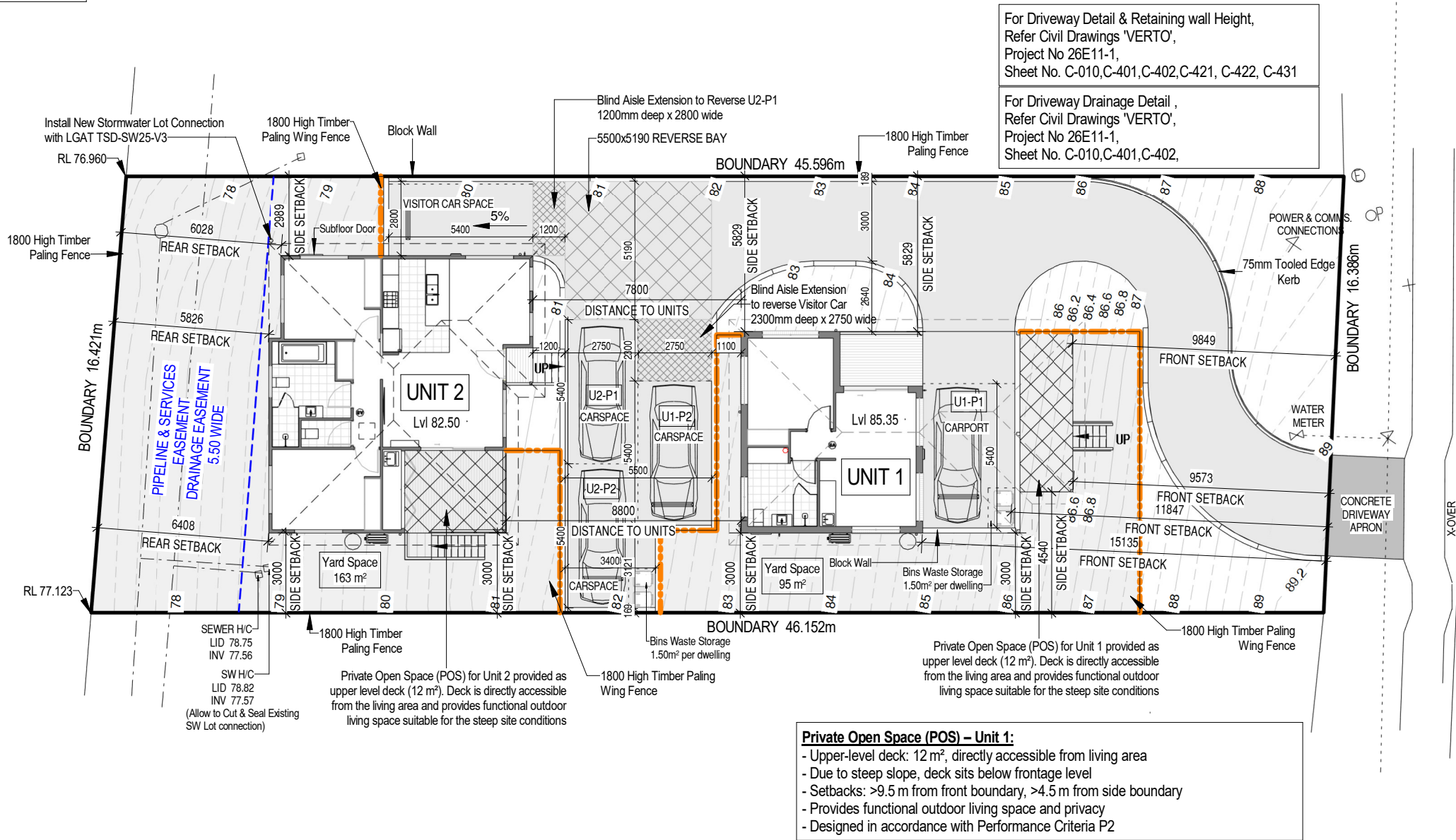
Scale: 1 : 200
Date: 19.06.2026
Drawn by: RK

Client / Project Name
TAYLOR & BEESON PTY.LTD.
Project Address
63 MAHONEY DRIVE, AUSTINS FERRY

Job No:
TB_21
Sheet No:
00

U1-Lower Fl	85.350
U1-Lower Fl CL	87.750
U1-Upper Fl	88.050
U1-CL	90.450

U2-Ground Floor	82.500
U2-CL	84.900



**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. :PLN-26-046

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AREA SCHEDULE

Site Area	: 751 m ²
U1-Ground Floor	: 44.9 m ²
U1-First Floor	: 78.6 m ²
U1-Total	: 123.5 m²
PORCH/DECK	: 15.3 m ²
Carport	: 27.4 m ²
U2-Ground Floor	: 82.6 m²
PORCH/DECK	: 18.3 m ²
Total Floor U1+U2	: 206.1 m²

NOTE:
Blockwork walls Detail as per Structural Engineer's details.

NOTE:
Builders' responsibility to protect stormwater pipes during construction.

GLAZING NOTE:
All windows are Double glazed

BAL : TBC

Residential Density – Unit 1 & 2:

- Lot area : 751 m² = 375.5 m² per dwelling (exceeds 325 m² requirement)
- Lot frontage : 16.386 m
- Site is steeply sloping
- Driveway crosses lot side-to-side to achieve safe and functional gradient
- Acceptable Solution A1 not strictly met due to slope and access
- **Satisfies Performance Criteria P1:**
- Two dwellings accommodated with adequate private open space
- Solar access and internal amenity maintained
- Safe vehicle access and circulation

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Document Set ID: 3637922		Date	Drawn
Version: 1, Version Date: 09/07/2026			



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177 Pulpit Rock Road, New Norfolk
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Designer: Ranjot Kaur
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TITLE

SITE PLAN

Scale: 1 : 200

Date: 19.06.2026

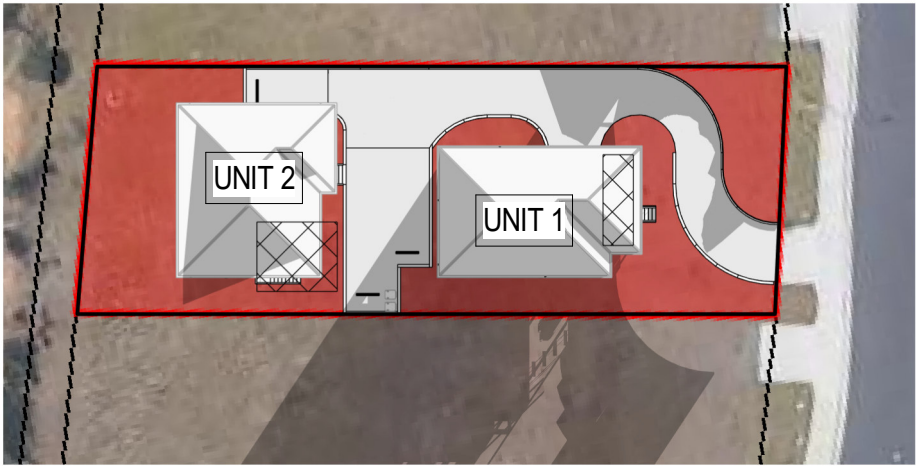
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Client / Project Name
TAYLOR & BEESON PTY.LTD.

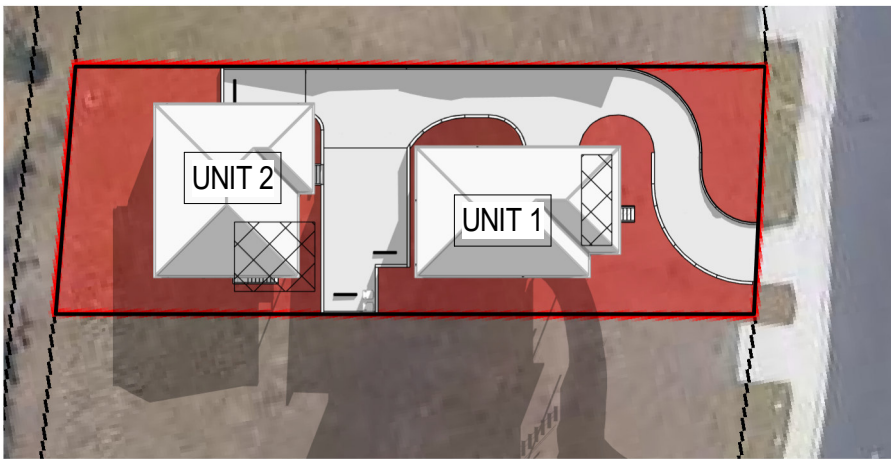
Project Address
63 MAHONEY DRIVE,
AUSTINS FERRY

Job No:
TB_21

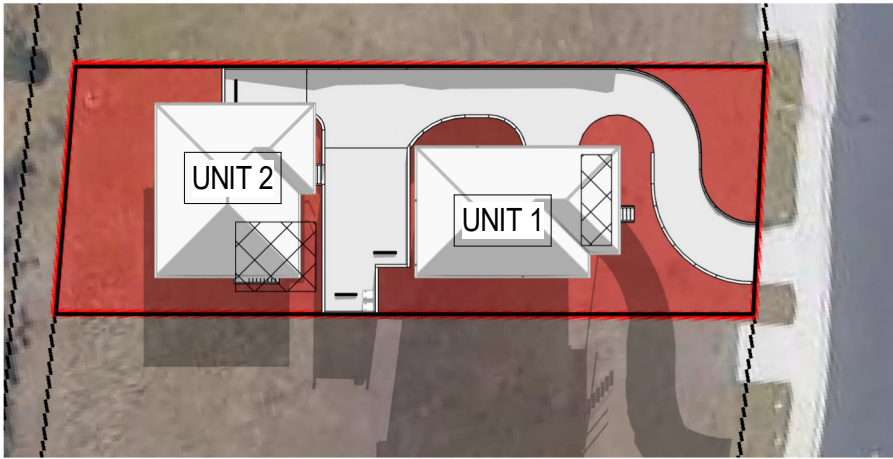
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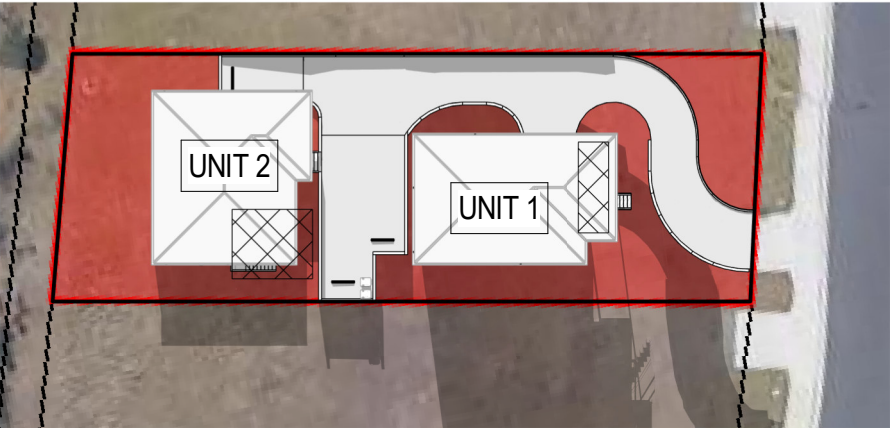
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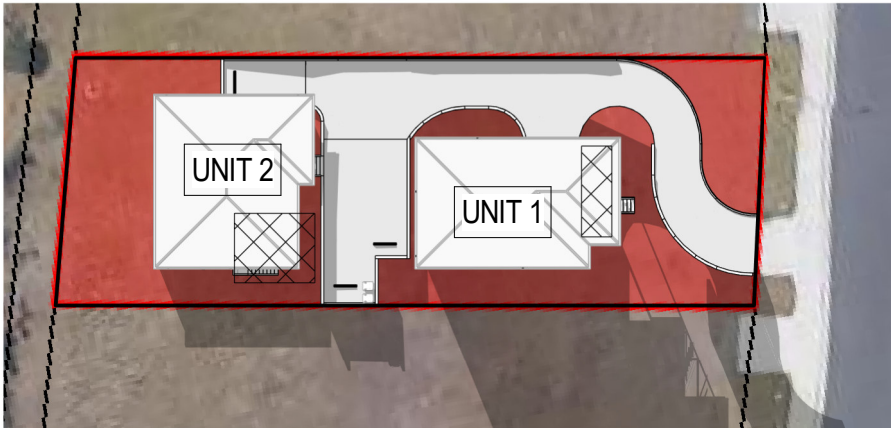
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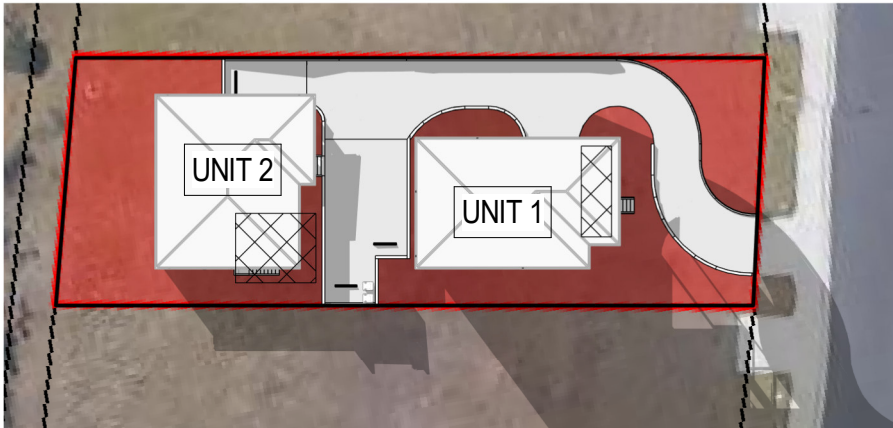
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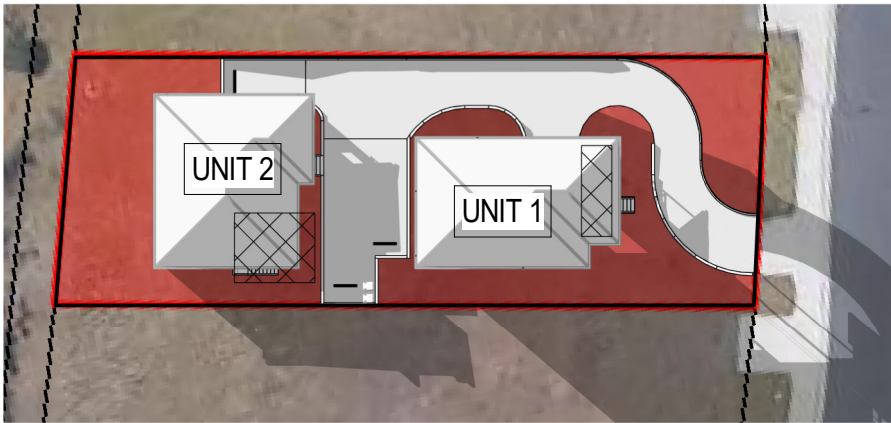
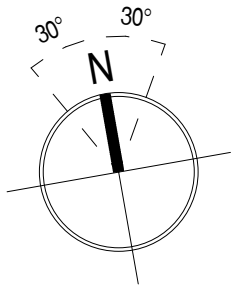
Shadow Analysis_12pm



Shadow Analysis_01pm



Shadow Analysis_02pm



Shadow Analysis_03pm

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. :PLN-26-046

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NOTE:
Shadow diagram based on 21 June (winter solstice)
showing maximum overshadowing

GLAZING NOTE:
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BAL : TBC

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	Description	Date	Drawn
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TITLE
SHADOW ANALYSIS

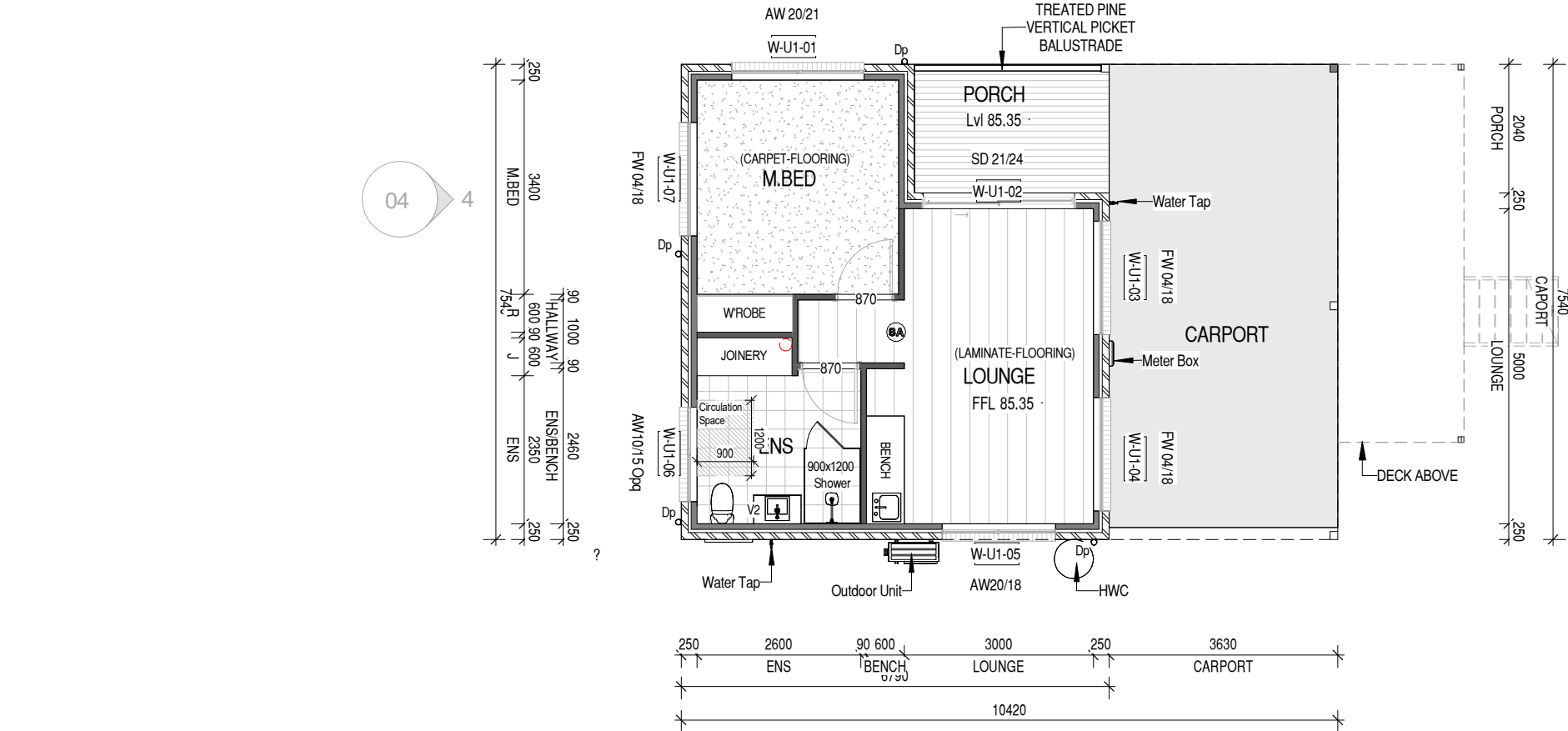
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Scale: 1 : 500	Client / Project Name TAYLOR & BEESON PTY.LTD.	Job No: TB_21
Date: 19.06.2026	Project Address 63 MAHONEY DRIVE, AUSTINS FERRY	Sheet No: 01 A
Drawn by: RK		

U1-Lower Fl	85.350
U1-Lower Fl CL	87.750
U1-Upper Fl	88.050
U1-CL	90.450

U2-Ground Floor	82.500
U2-CL	84.900

U1-Window Schedule								
Number	Level	Type	Size	Glass	Height	Width	Sill Height	Head Height
-U1-01	U1-Lower FL	AW	20-21	Clear	2000	2100	160	2160
-U1-02	U1-Lower FL	SD	21-24	Clear	2100	2400	0	2100
-U1-03	U1-Lower FL	FW	04-18	Clear	400	1800	1760	2160
-U1-04	U1-Lower FL	FW	04-18	Clear	400	1800	1760	2160
-U1-05	U1-Lower FL	AW	20-18	Clear	2000	1800	160	2160
-U1-06	U1-Lower FL	AW	10-15	Opaque	1000	1500	1160	2160
-U1-07	U1-Lower FL	AW	04-18	Clear	400	1800	1760	2160
-U1-08	U1-Upper FL	AW	20-18	Clear	2000	1800	100	2100
-U1-09	U1-Upper FL	AW	10-15	Opaque	1000	1500	1100	2100
-U1-10	U1-Upper FL	AW	20-27	Clear	2000	2700	100	2100
-U1-11	U1-Upper FL	SD	21-27	Clear	2100	2700	0	2100
-U1-12	U1-Upper FL	AW	20-09	Clear	2000	900	100	2100
-U1-13	U1-Upper FL	AW	20-09	Clear	2000	900	100	2100
-U1-14	U1-Upper FL	AW	20-18	Clear	2000	1800	100	2100
-U1-15	U1-Upper FL	AW	20-06	Clear	2000	600	100	2100
-U1-16	U1-Upper FL	AW	15-21	Clear	1500	2100	600	2100
-U1-17	U1-Upper FL	AW	06-18	Clear	600	1800	1500	2100
-U1-18	U1-Upper FL	AW	06-18	Clear	600	1800	1500	2100
Grand total: 18								



**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. :PLN-26-046

DATE RECEIVED: 29 June 2026

Vanity Legend	
VB	450 mm
V1	600 mm
V2	750 mm
V3	900 mm
V4	1200 mm
V5	1500 mm

AREA SCHEDULE

Site Area	:	751 m ²
U1-Ground Floor	:	44.9 m ²
U1-First Floor	:	78.6 m ²
U1-Total	:	123.5 m²

PORCH/DECK	:	15.3 m ²
Carport	:	27.4 m ²

U2-Ground Floor	:	82.6 m²
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Total Floor U1+U2	:	206.1 m²
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NOTE:
Dp DownPipe

GLAZING NOTE:
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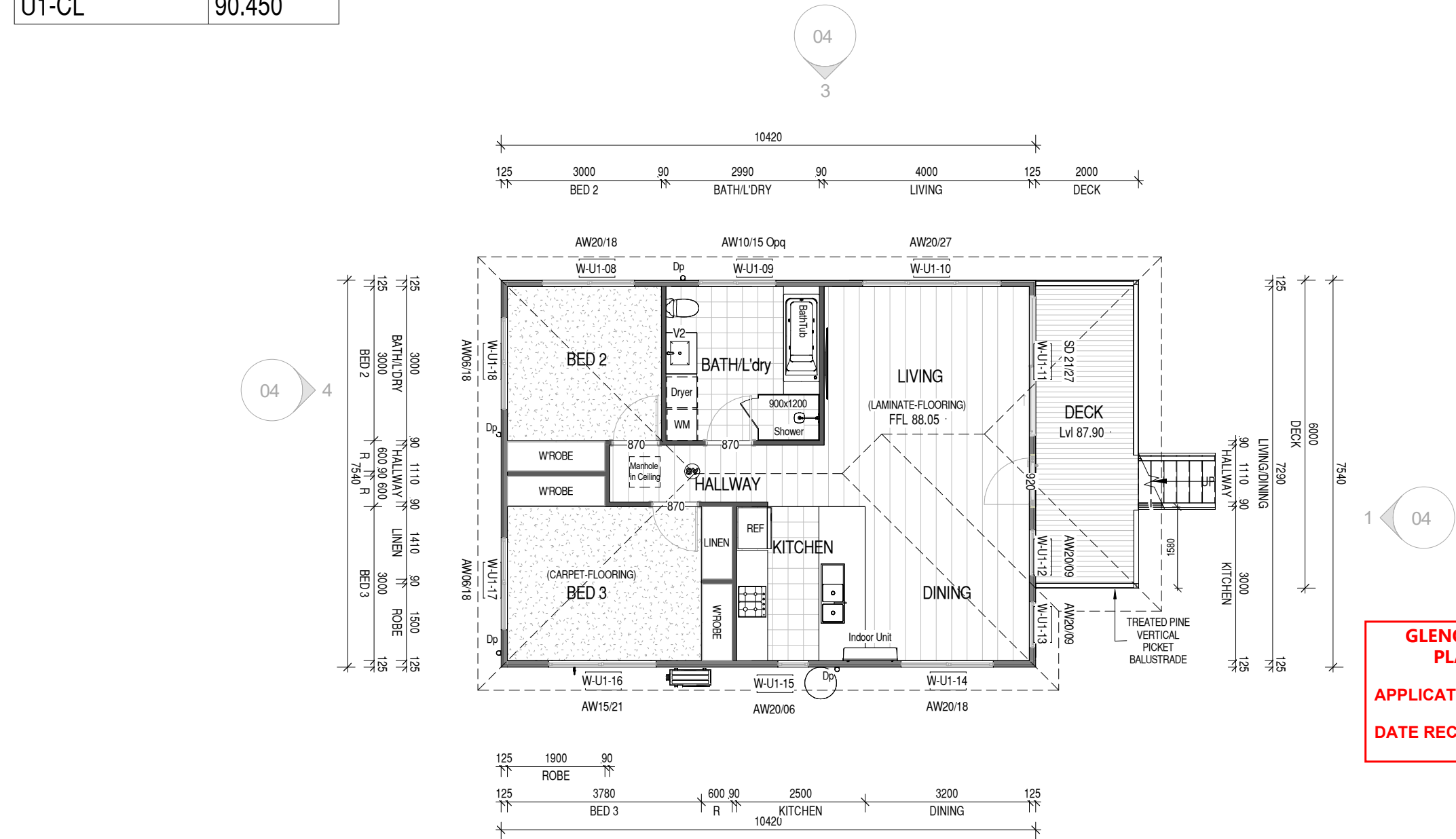
TITLE
U1-LOWER FLOOR PLAN

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Scale: 1 : 100	Client / Project Name TAYLOR & BEESON PTY.LTD.	Job No: TB_21
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Drawn by: RK		

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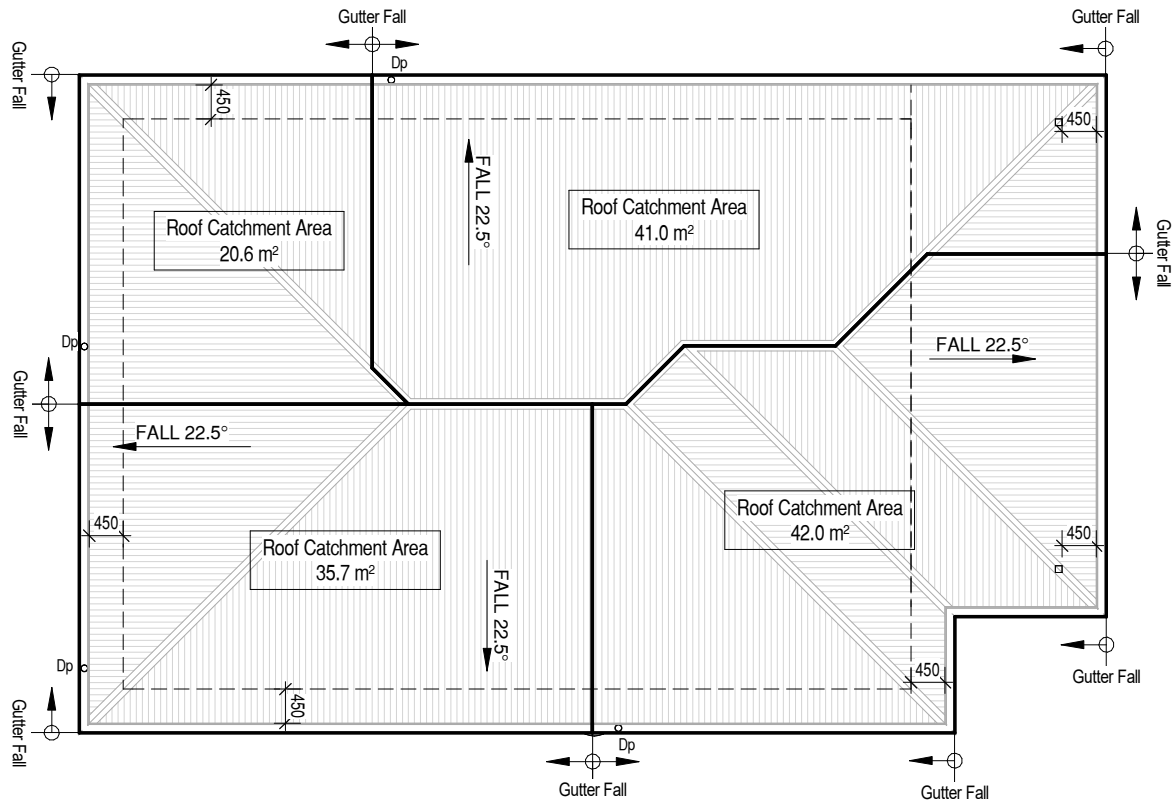


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TITLE
U1-UPPER FLOOR PLAN

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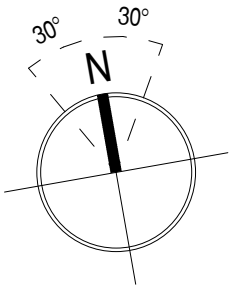
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U1-ROOF CATCHMENT AREA CALCULATION		
Ah	115.1 m²	Plan area of roof including 115mm Quad gutter (m²)
Ac	139.3 m²	catchment area of a roof - Ah x slope factor (m²)
Gutter Type	A	effective cross-sectional area 6500 mm² (determined from NCC Table 7.4.3b)
DRI	85	Design Rainfall intensity Hobart
Acdp	70	Max.catchment area of roof per 90mm downpipe(determined from NCC Table 7.4.3d)
Downpipes required	2	Ac / Acdp
Downpipes provided	4	
NOTE: Roof catcment areas to comply with AS3500.3		

IMPORTANT NOTE:
The position and quantity of downpipes are not to be altered without consulting with designer. Areas shown are surface / catchment areas NOT plan areas. Where downpipes are further than 1.2m away from valley, refer to NCC2022 7.3.5 (2). All roof areas shown are indicative only and not to be used for any further purpose.



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DATE: _____

NOTE:
Dp DownPipe

GLAZING NOTE:
All windows are Double glazed

BAL : TBC

	Description	Date	Drawn
4	Units level /Driveway modified & Reverse area added as Engineers plan	26.05.2026	RK
2	Modified as Council RFI dated 30.03.2026	10.04.2026	RK
1	DA PLANS	17.03.2026	RK

Document Set ID: 3637922

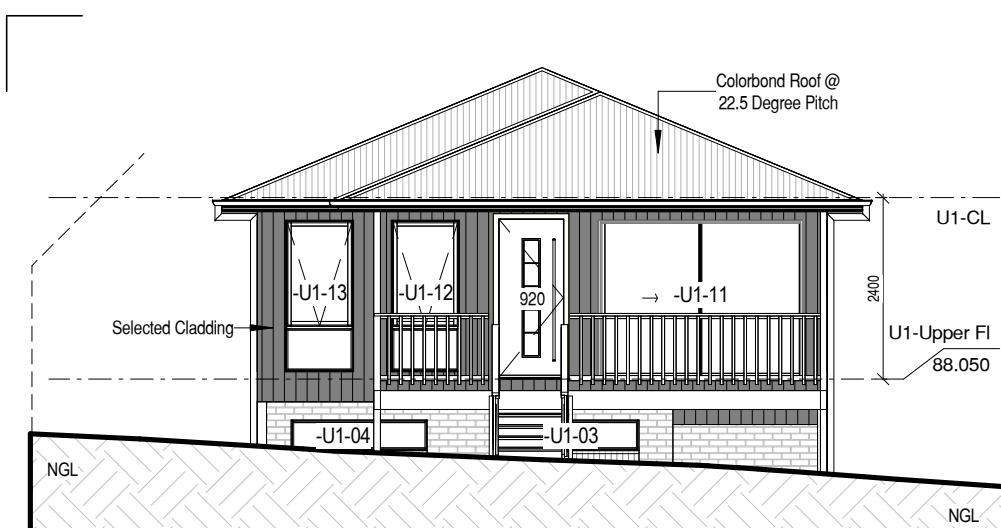
Version: 1, Version Date: 09/07/2026



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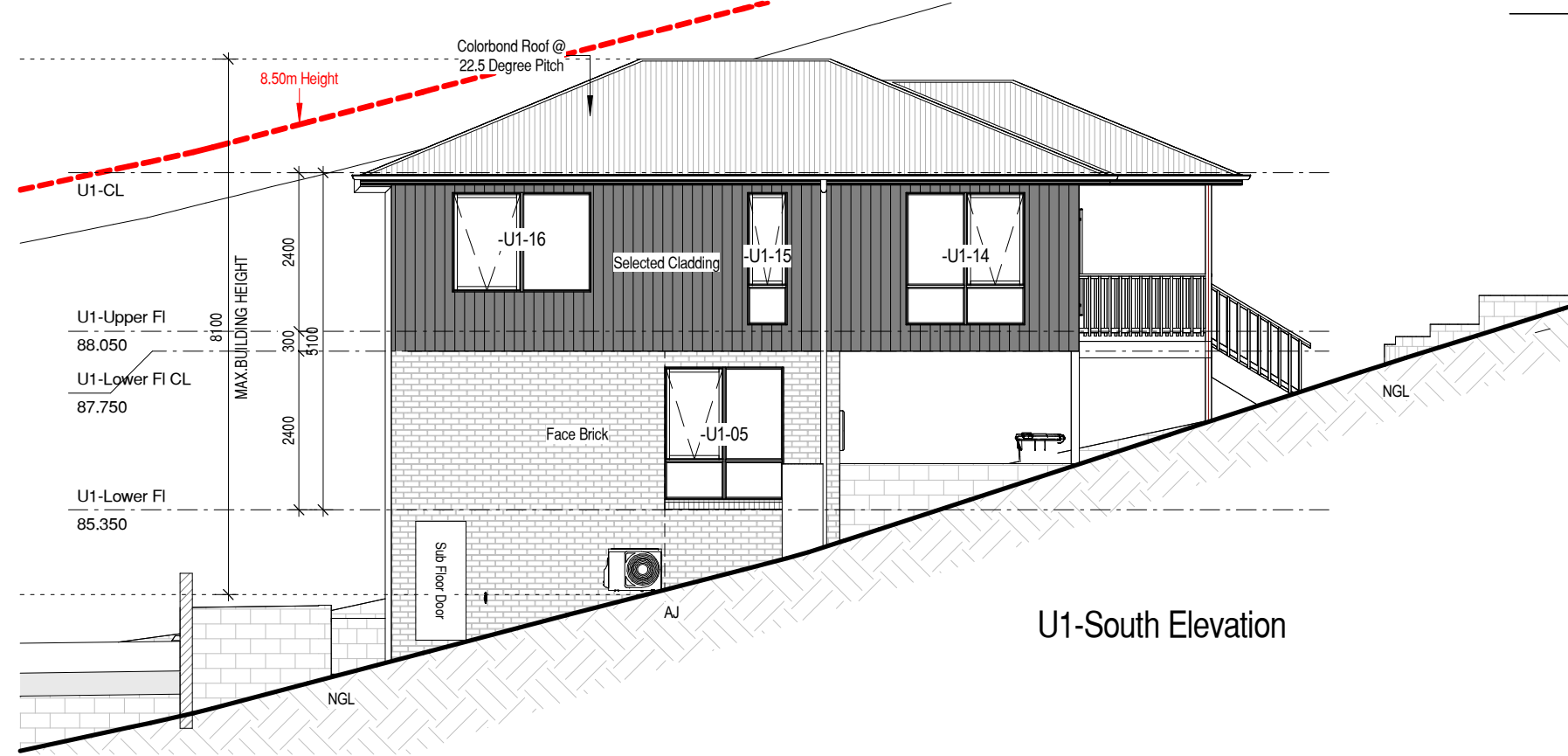
TITLE U1- ROOF PLAN	Scale: 1 : 100	Client / Project Name TAYLOR & BEESON PTY.LTD.	Job No: TB_21
	Date: 19.06.2026	Project Address 63 MAHONEY DRIVE, AUSTINS FERRY	Sheet No: 03
	Drawn by: RK		

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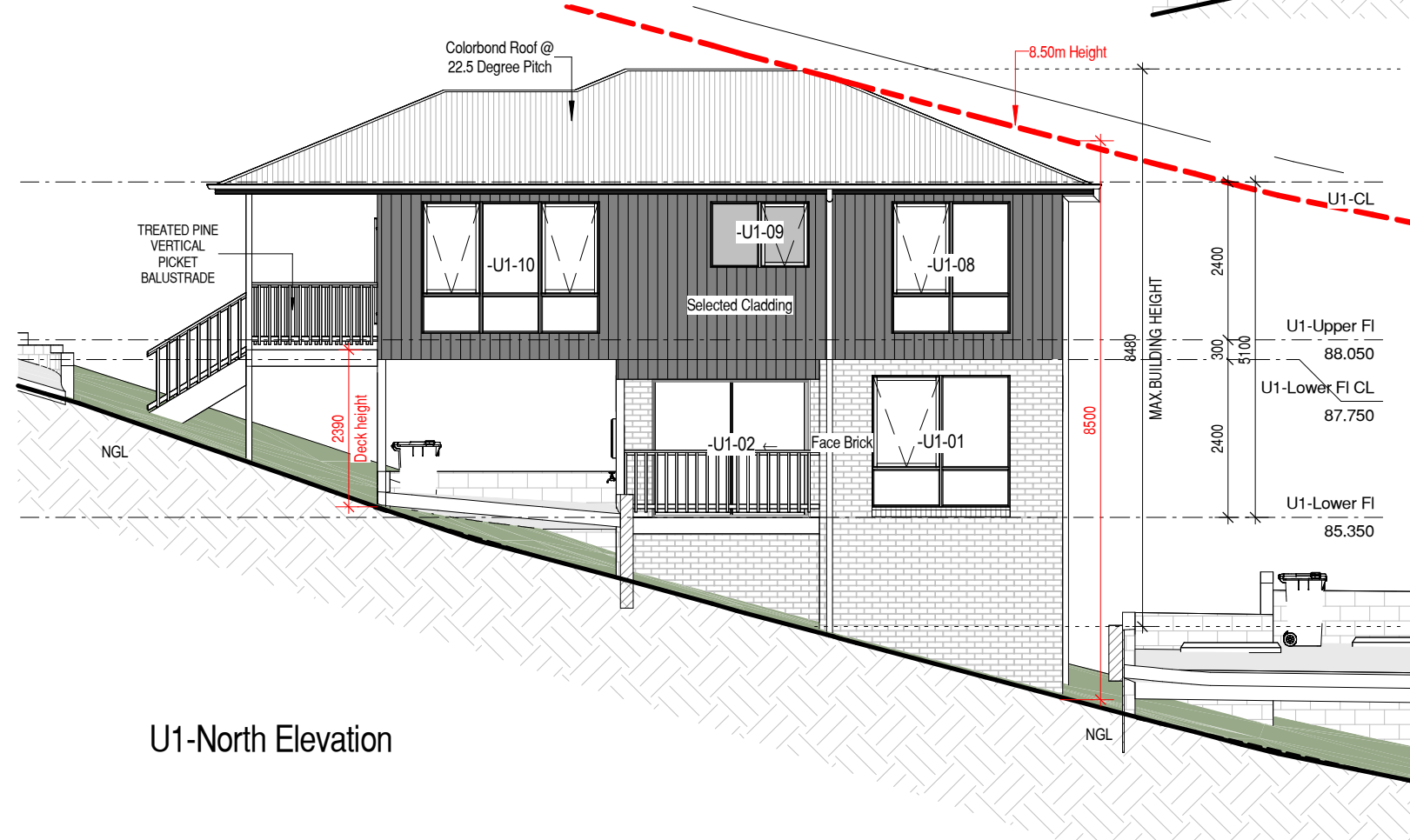


U1-East Elevation

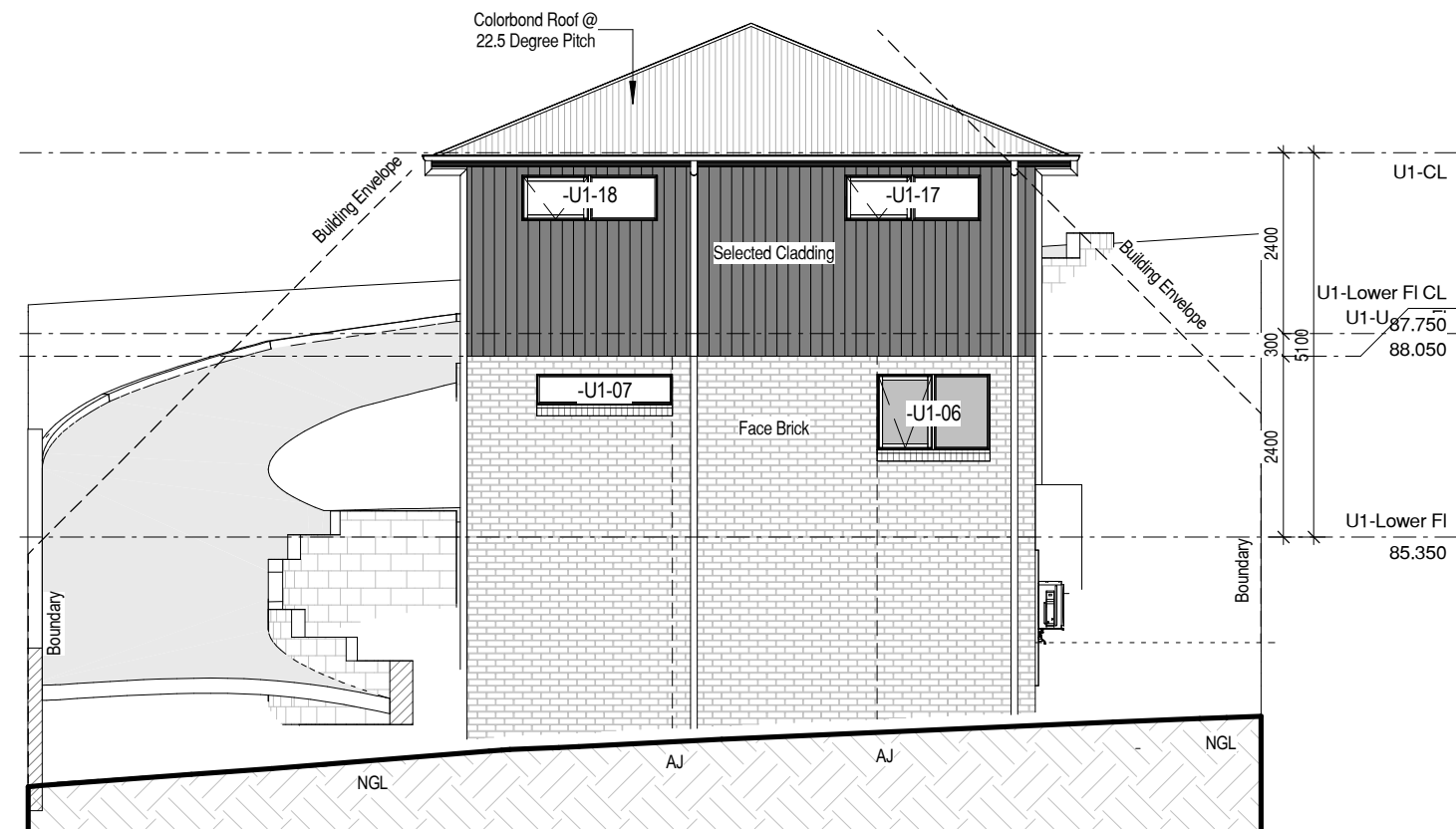
**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No. :PLN-26-046
DATE RECEIVED: 29 June 2026



U1-South Elevation



U1-North Elevation



U1-West Elevation

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Provide vertical articulation joints (AJ) at maximum 6.0m centres, continuous from the concrete footing through the subfloor masonry (below FFL) to the top of the brickwork/soffit. Align joints with superstructure AJs where applicable as per NCC/BCA and AS 4773 requirements.

GLAZING NOTE:
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BAL : TBC

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1	DA PLANS	17.03.2026	RK
Document Set ID: 3637922		Description	Drawn
Version: 1, Version Date: 09/07/2026		Date	



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177 Pulpit Rock Road, New Norfolk
Hobart TAS 7140

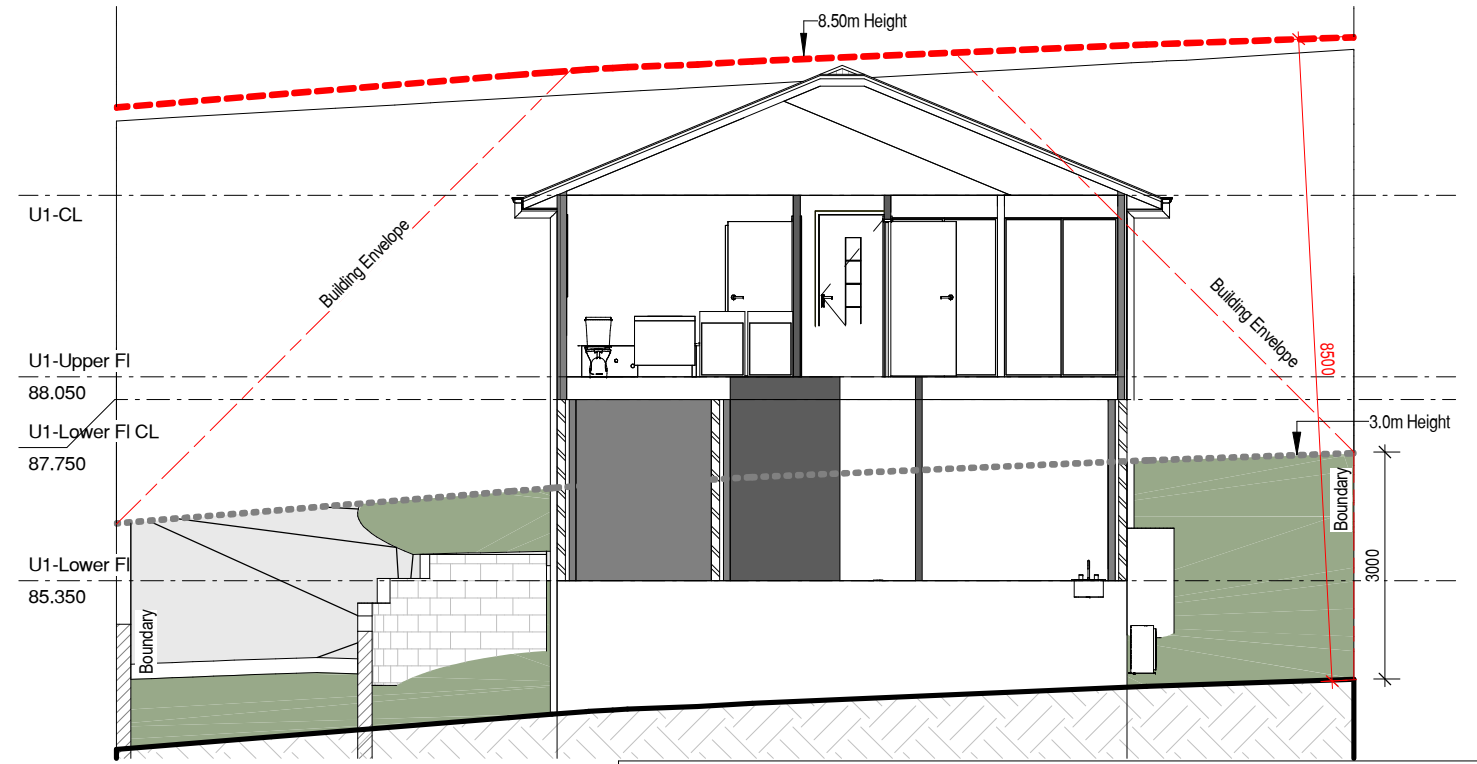
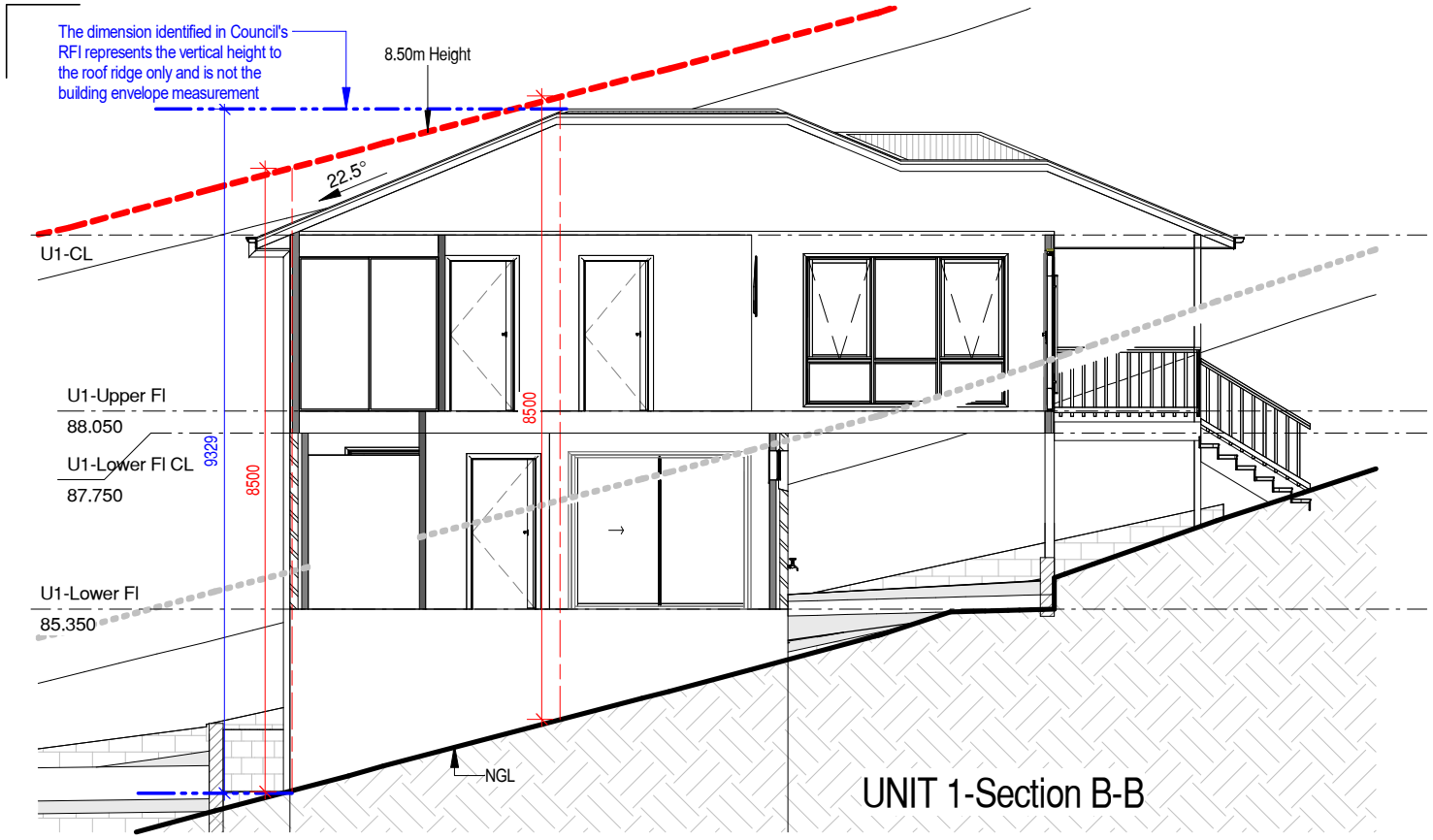
Designer: Ranjot Kaur
Mob. 0450 656 007
Email: ranjot@perytonhomes.com.au
Licence Number: 173530973

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TITLE
U1- ELEVATIONS

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Scale: 1 : 100	Client / Project Name TAYLOR & BEESON PTY.LTD.	Job No: TB_21
Date: 19.06.2026	Project Address 63 MAHONEY DRIVE, AUSTINS FERRY	Sheet No: 04
Drawn by: RK		



UNIT 1-Section A-A

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Building Envelope:
The attached longitudinal section and 3D sectional view have been provided to clarify compliance with the building envelope requirements of Clause 8.4.2 of the Tasmanian Planning Scheme – General Residential Zone.

The building envelope is measured from existing natural ground level at the relevant boundaries. The dashed lines indicate the 3.0 m and 8.5 m building envelope limits.

The previously submitted section A-A did not fully show the roof profile of Unit 1. The revised longitudinal section B-B demonstrates that the roof ridge and roof planes remain within the building envelope when measured from existing natural ground level.

These drawings have been provided to clearly illustrate compliance with the applicable building envelope provisions.

5	Section added on sheet 4A to RFI 10.06.2026	19.06.2026	RK
4	Units level /Driveway modified & Reverse area added as Engineers plan	26.05.2026	RK
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Document Set ID: 3637922		Description	Drawn
Version: 1, Version Date: 09/07/2026		Date	Drawn



PERYTON HOMES Pty Ltd
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Hobart TAS 7140

Designer: Ranjot Kaur
Mob. 0450 656 007
Email: ranjot@perytonhomes.com.au
Licence Number: 173530973

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TITLE
U1- SECTION

Scale: 1 : 100
Date: 19.06.2026
Drawn by: RK

Client / Project Name
TAYLOR & BEESON PTY.LTD.

Project Address
63 MAHONEY DRIVE,
AUSTINS FERRY

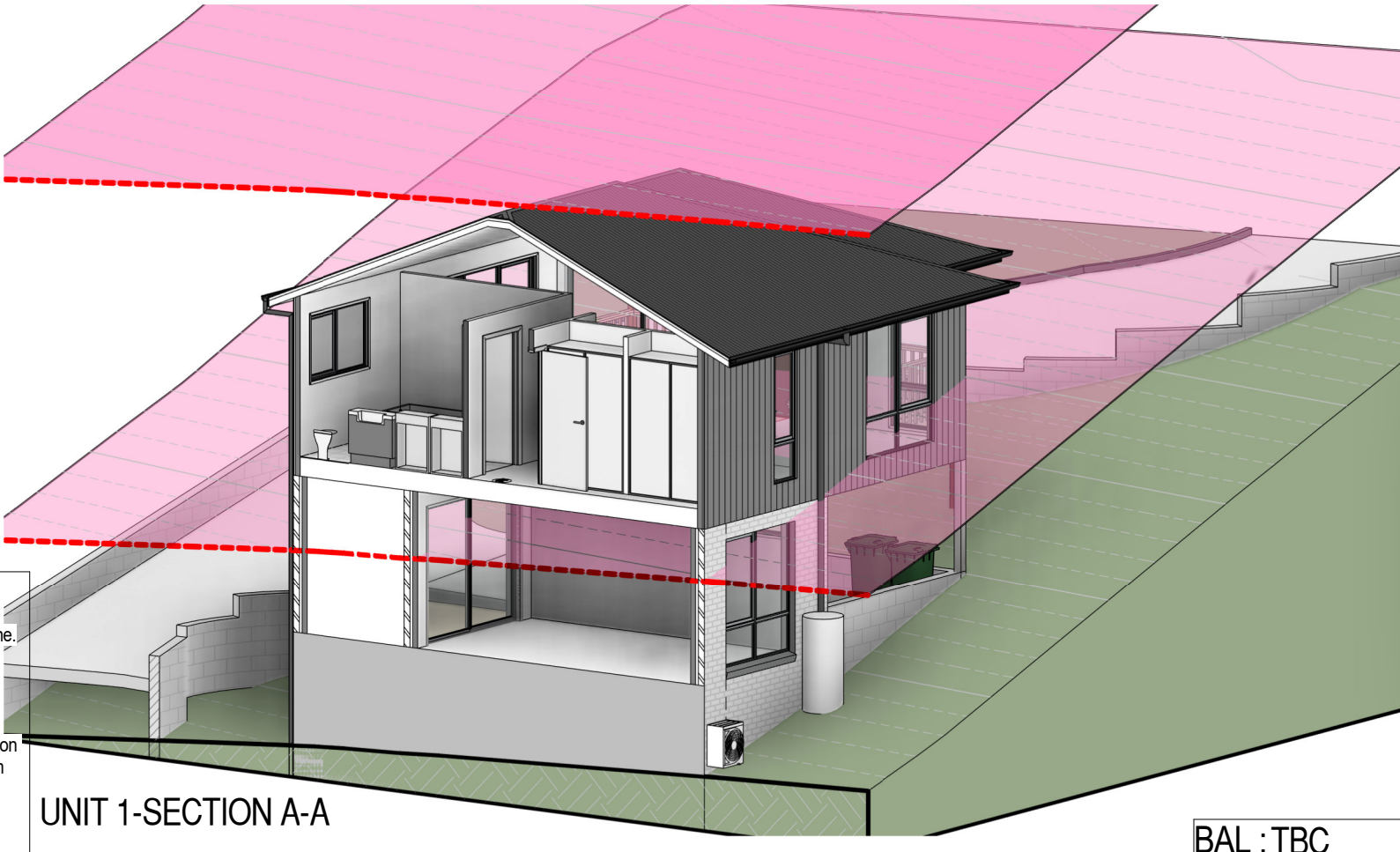
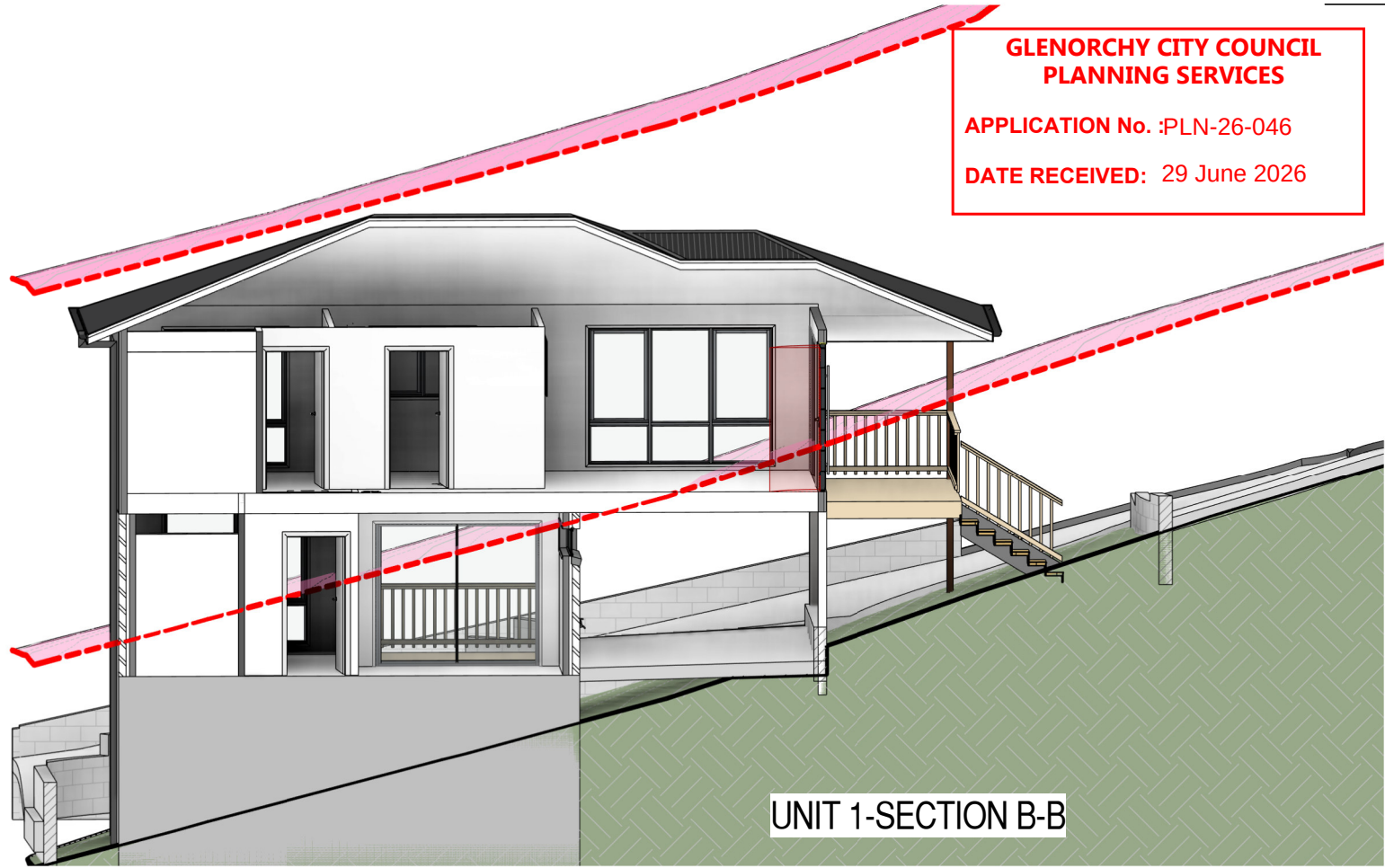
Job No:
TB_21

Sheet No:
04 A

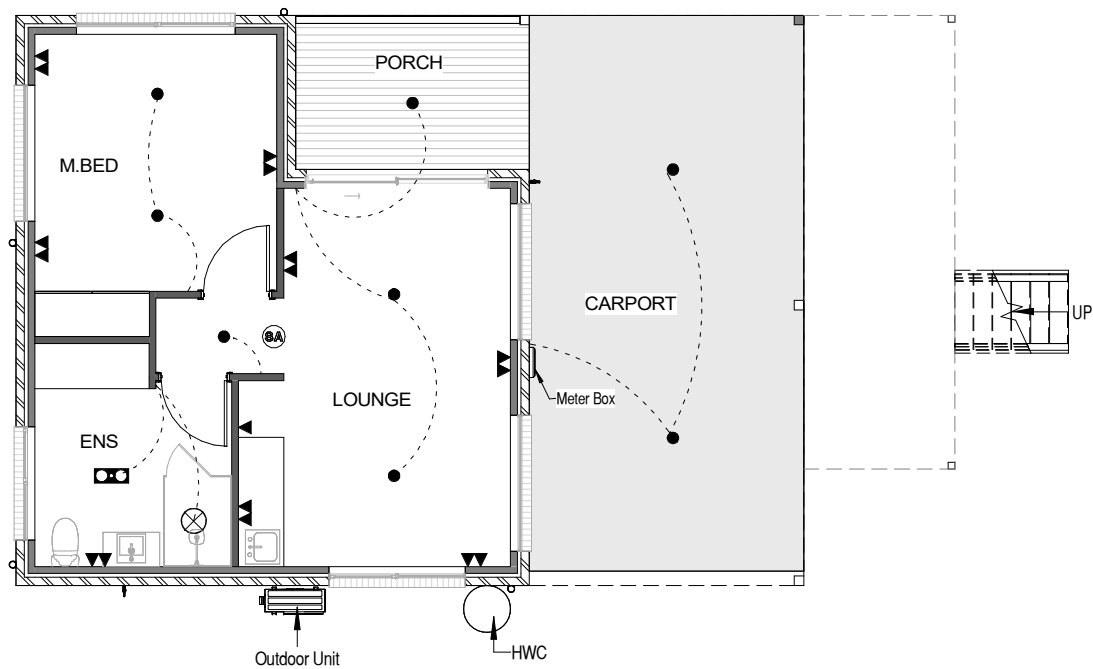
GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. :PLN-26-046

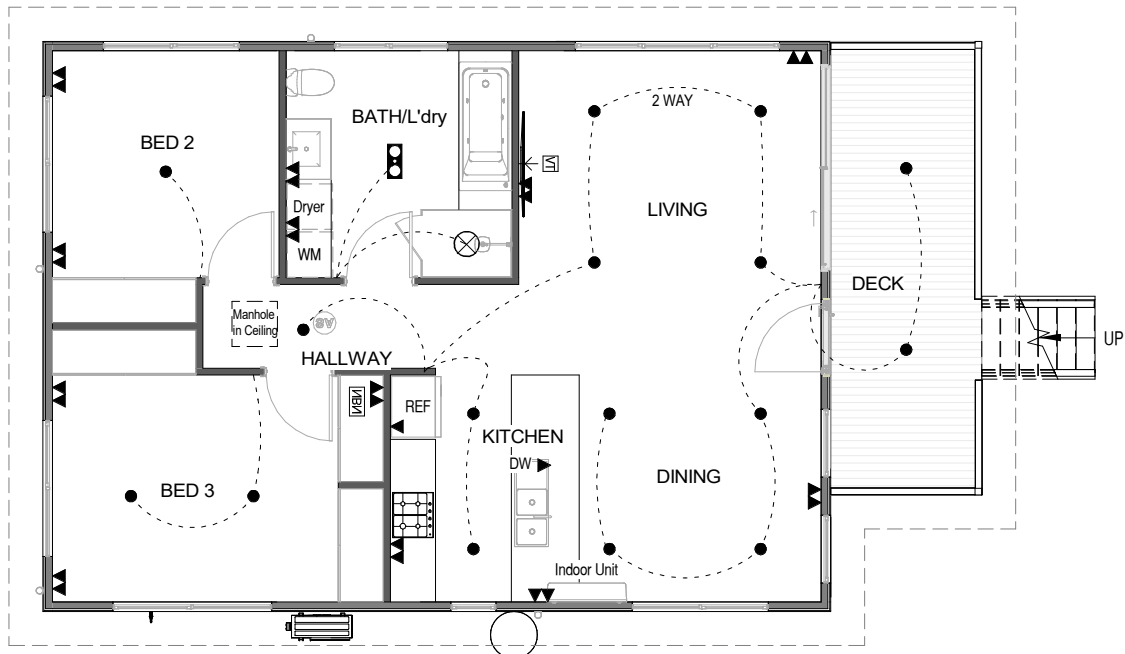
DATE RECEIVED: 29 June 2026



BAL : TBC



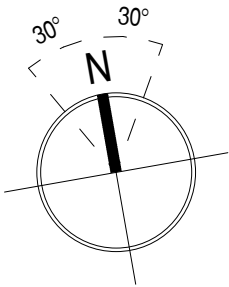
U1-Electrical Lower Floor



U1-Electrical Upper Floor

U1- ELECTRICAL LEGEND		
		No.s
▼	Single GPOs	3
▼▼	Double GPOs	20
[NBN]	Phone / NBN point	1
[TV] →	TV point	1
●	LED Downlight	24
3 Tastics (2 heat lamps & 1 Light)		2
⊗	Mechanical Exhaust Fan	2
⊙ SA	Smoke Alarm	2

NOTES:
- Rangehood to be ducted to outside
- External NBN under meterbox [where applicable]
- Where Exhaust fans are provided with no other form of ventilation, fan must be activated simultaneously with light
- Smoke alarm to be connected to the mains power supply and possess a battery back-up and be interconnected; to provide a common alarm throughout the building, and be to AS 3786-2014,



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GLAZING NOTE:
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BAL : TBC

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1	DA PLANS	17.03.2026	RK
Document Set ID: 3637922		Date	Drawn

Version: 1, Version Date: 09/07/2026



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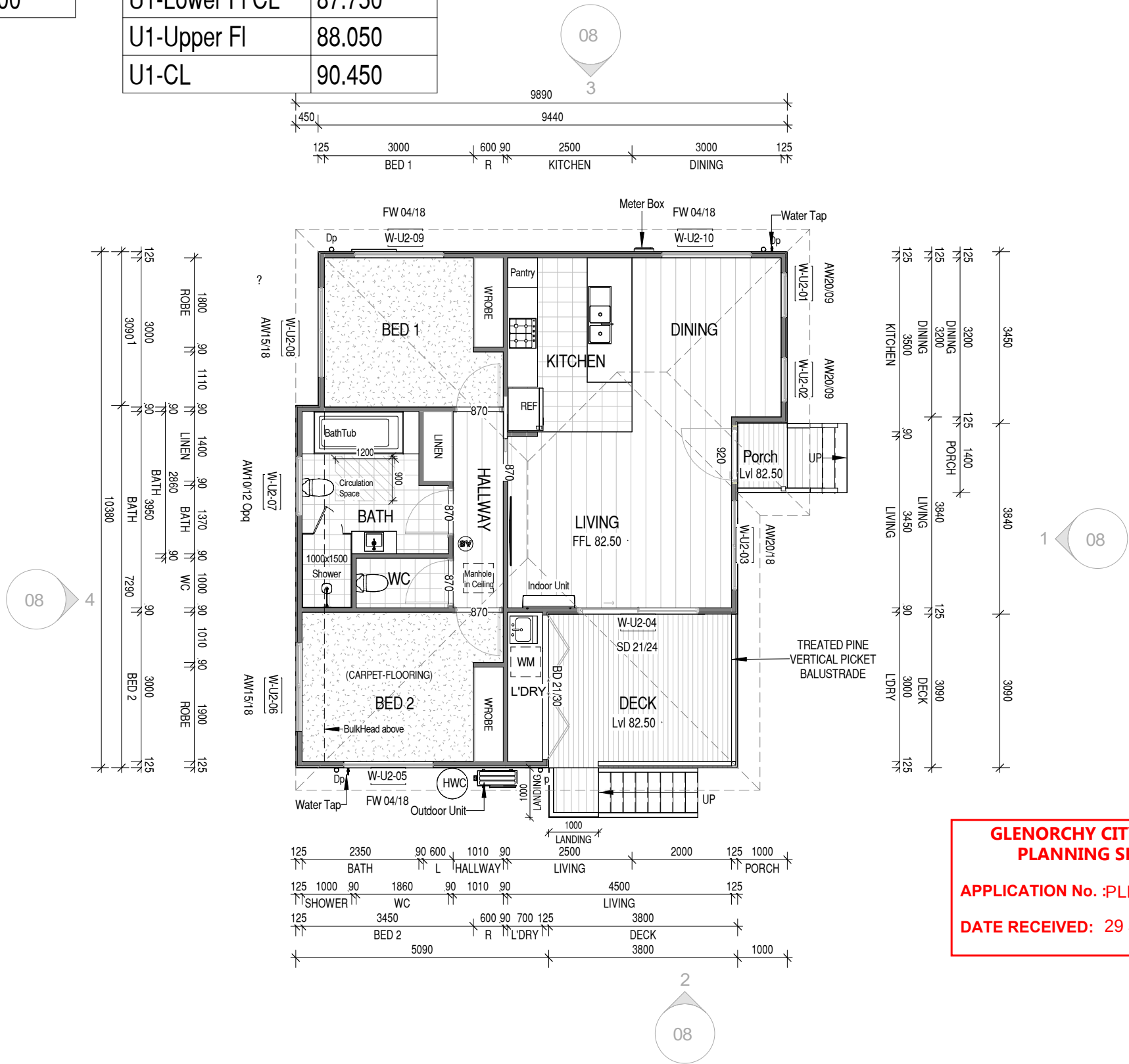
TITLE
U1-ELECTRICAL_LOWER & UPPER FLOOR

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Scale: 1 : 100	Client / Project Name TAYLOR & BEESON PTY.LTD.	Job No: TB_21
Date: 19.06.2026	Project Address 63 MAHONEY DRIVE, AUSTINS FERRY	Sheet No: 05
Drawn by: RK		

U2-Ground Floor	82.500
U2-CL	84.900

U1-Lower Fl	85.350
U1-Lower Fl CL	87.750
U1-Upper Fl	88.050
U1-CL	90.450



U2-Window Schedule								
Number	Level	Type	Size	Glass	Height	Width	Sill Height	Head Height
-U2-01	Ground FL	AW	20-09	Clear	2000	900	100	2100
-U2-02	Ground FL	AW	20-09	Clear	2000	900	100	2100
-U2-03	Ground FL	AW	20-18	Clear	2000	1800	100	2100
-U2-04	Ground FL	SD	21-24	Clear	2160	2400	0	2160
-U2-05	Ground FL	FW	04-18	Clear	400	1800	1700	2100
-U2-06	Ground FL	AW	15-18	Clear	1500	1800	600	2100
-U2-07	Ground FL	AW	10-12	Opaque	1000	1200	1160	2160
-U2-08	Ground FL	AW	15-18	Clear	1500	1800	660	2160
-U2-09	Ground FL	FW	04-18	Clear	400	1800	1700	2100
-U2-10	Ground FL	FW	04-18	Clear	400	1800	1700	2100
Grand total: 10								

Vanity Legend	
VB	450 mm
V1	600 mm
V2	750 mm
V3	900 mm
V4	1200 mm
V5	1500 mm

AREA SCHEDULE

Site Area	:	751 m ²
U1-Ground Floor	:	44.9 m ²
U1-First Floor	:	78.6 m ²
U1-Total	:	123.5 m ²
PORCH/DECK	:	15.3 m ²
Carport	:	27.4 m ²
U2-Ground Floor	:	82.6 m ²
PORCH/DECK	:	18.3 m ²
Total Floor U1+U2	:	206.1 m ²

NOTE:
Dp DownPipe

GLAZING NOTE:
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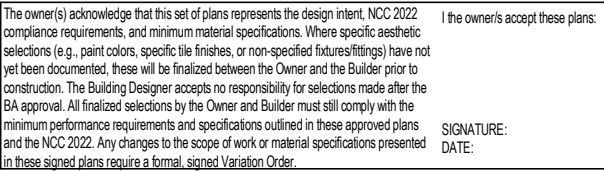
TITLE
U2-GROUND FLOOR PLAN

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Scale: 1 : 100	Client / Project Name TAYLOR & BEESON PTY.LTD.	Job No: TB_21
Date: 19.06.2026	Project Address 63 MAHONEY DRIVE, AUSTINS FERRY	Sheet No: 06
Drawn by: RK		



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BAL : TBC

TITLE U2- ROOF PLAN	Scale: 1 : 100	Client / Project Name TAYLOR & BEESON PTY.LTD.	Job No: TB_21
	Date: 19.06.2026 Drawn by: RK	Project Address 63 MAHONEY DRIVE, ALUSTINS FERRY	Sheet No: 07

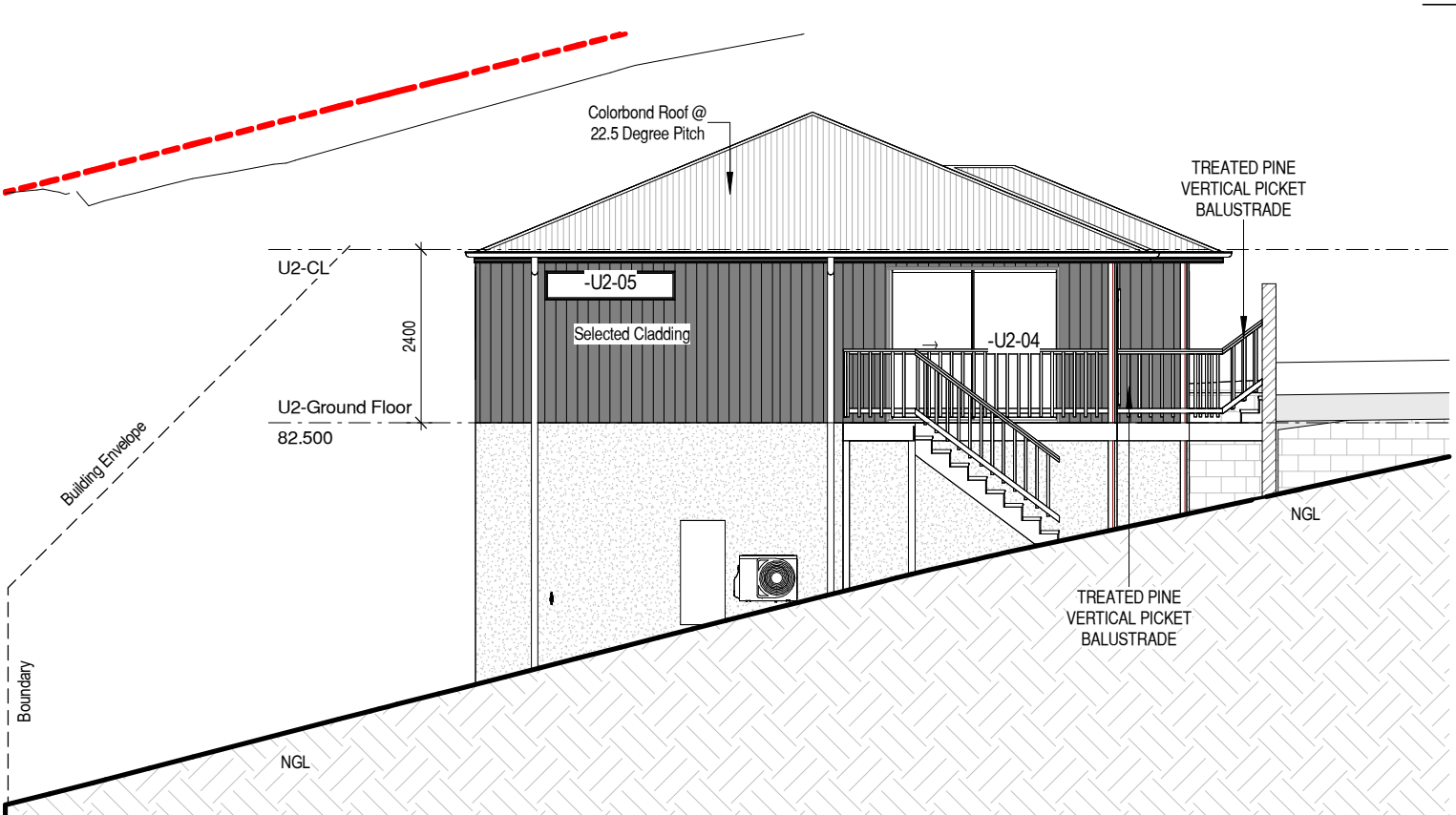


U2-East Elevation

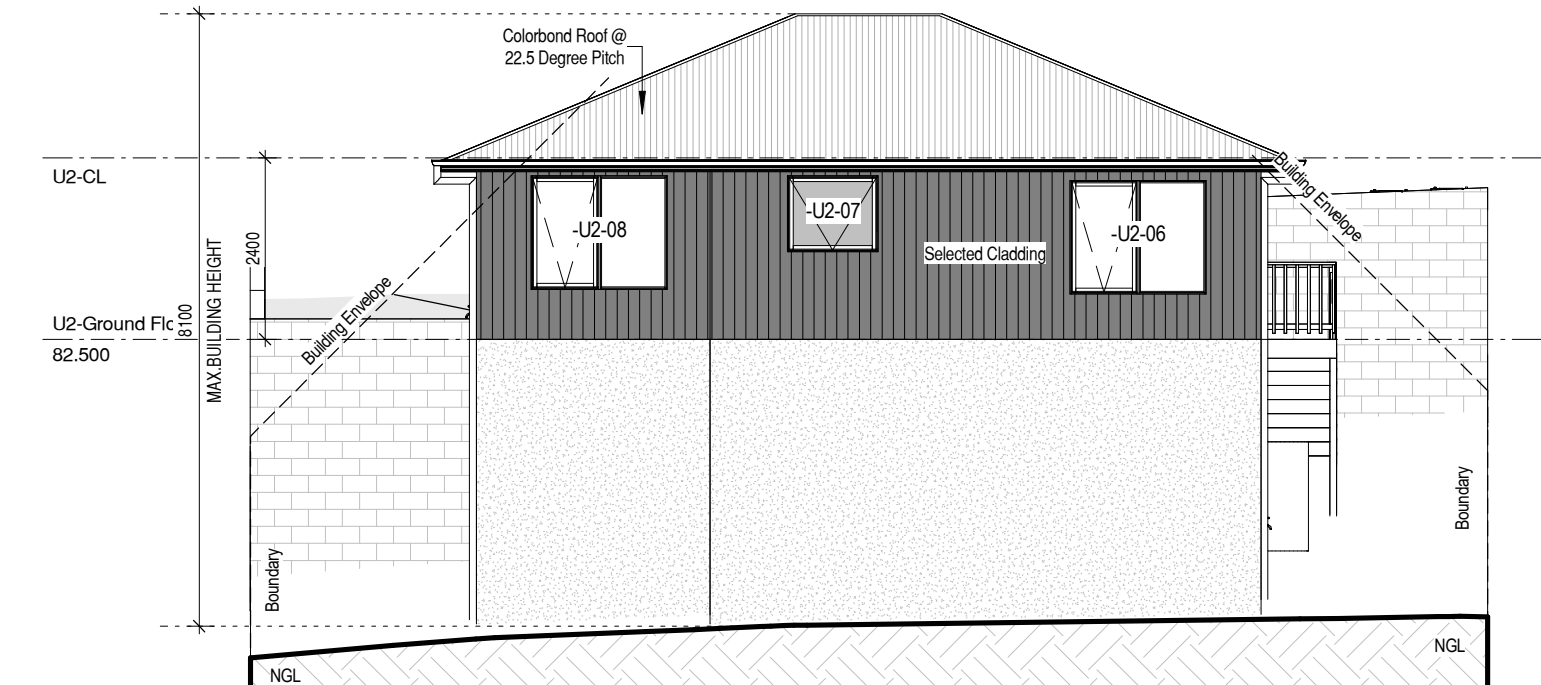
**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. :PLN-26-046

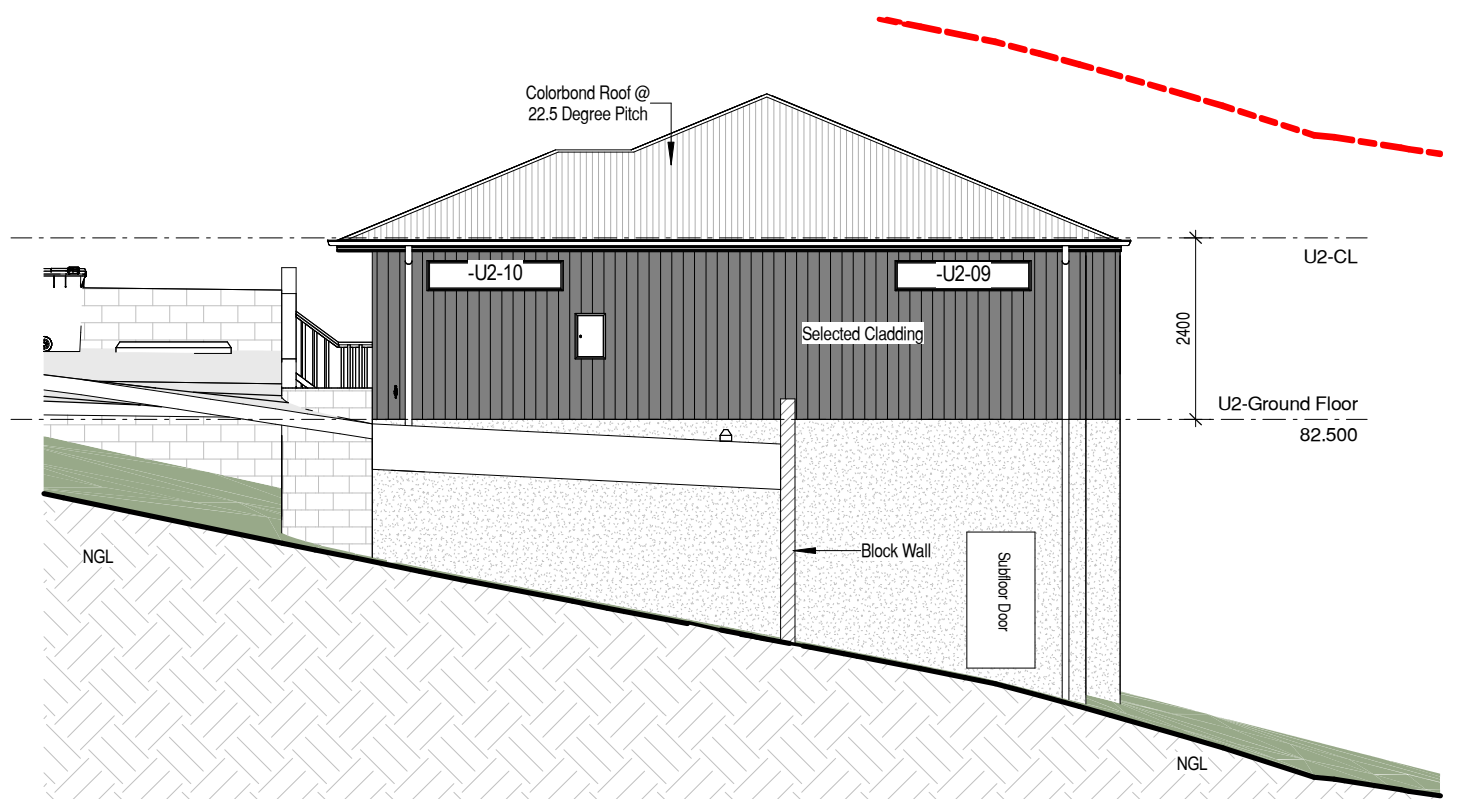
DATE RECEIVED: 29 June 2026



U2-North Elevation



U2-West Elevation



U2-South Elevation

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TITLE
U2- ELEVATIONS

Scale: 1 : 100	Client / Project Name TAYLOR & BEESON PTY.LTD.	Job No: TB_21
Date: 19.06.2026	Project Address 63 MAHONEY DRIVE, AUSTINS FERRY	Sheet No: 08
Drawn by: RK		

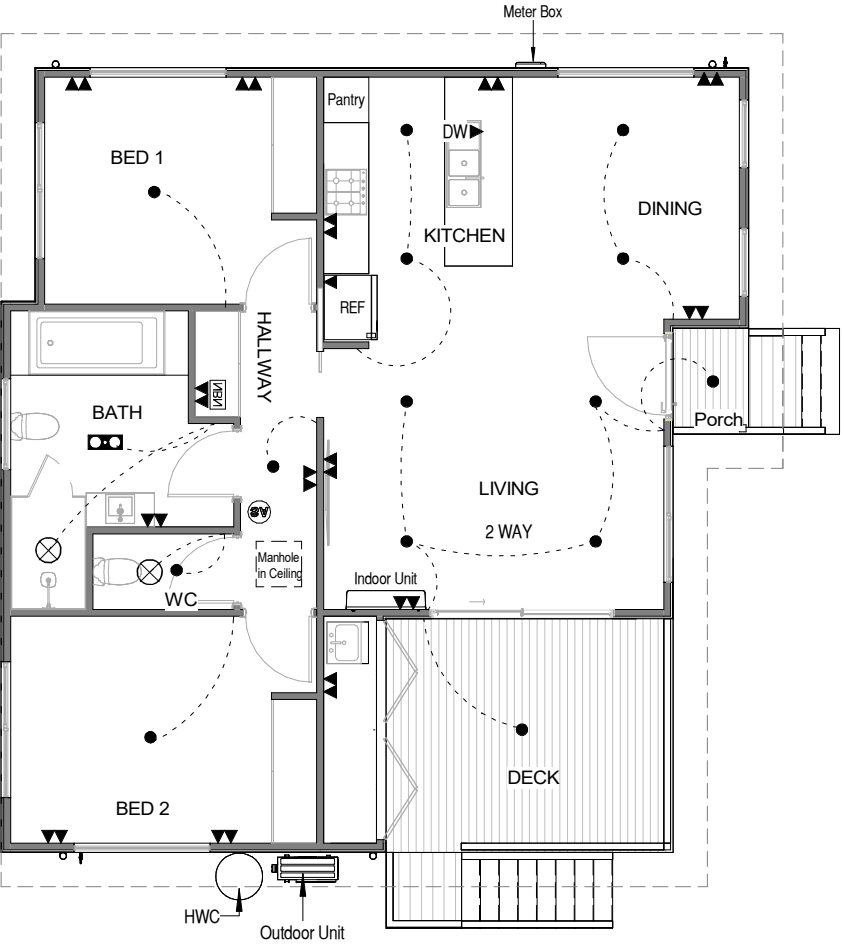
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U2- ELECTRICAL LEGEND		
		No.s
▼	Single GPOs	2
▼▼	Double GPOs	14
☎	Phone / NBN point	1
📺➔	TV point	1
●	LED Downlight	14
💡	3 Tastics (2 heat lamps & 1 Light)	1
⊗	Mechanical Exhaust Fan	2
Ⓢ	Smoke Alarm	1

NOTES:

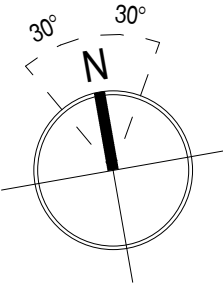
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**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

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www.taylorandbeeson.com.au

Architectural Service Provider

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TITLE
U2-ELECTRICAL_ GROUND FLOOR

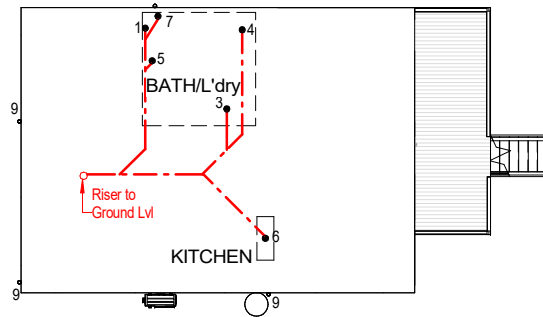
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Scale: 1 : 100	Client / Project Name TAYLOR & BEESON PTY.LTD.	Job No: TB_21
Date: 19.06.2026	Project Address 63 MAHONEY DRIVE, AUSTINS FERRY	Sheet No: 09
Drawn by: RK		

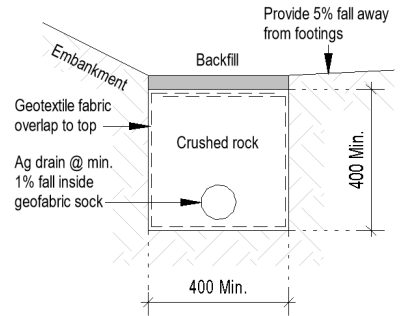
GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. :PLN-26-046

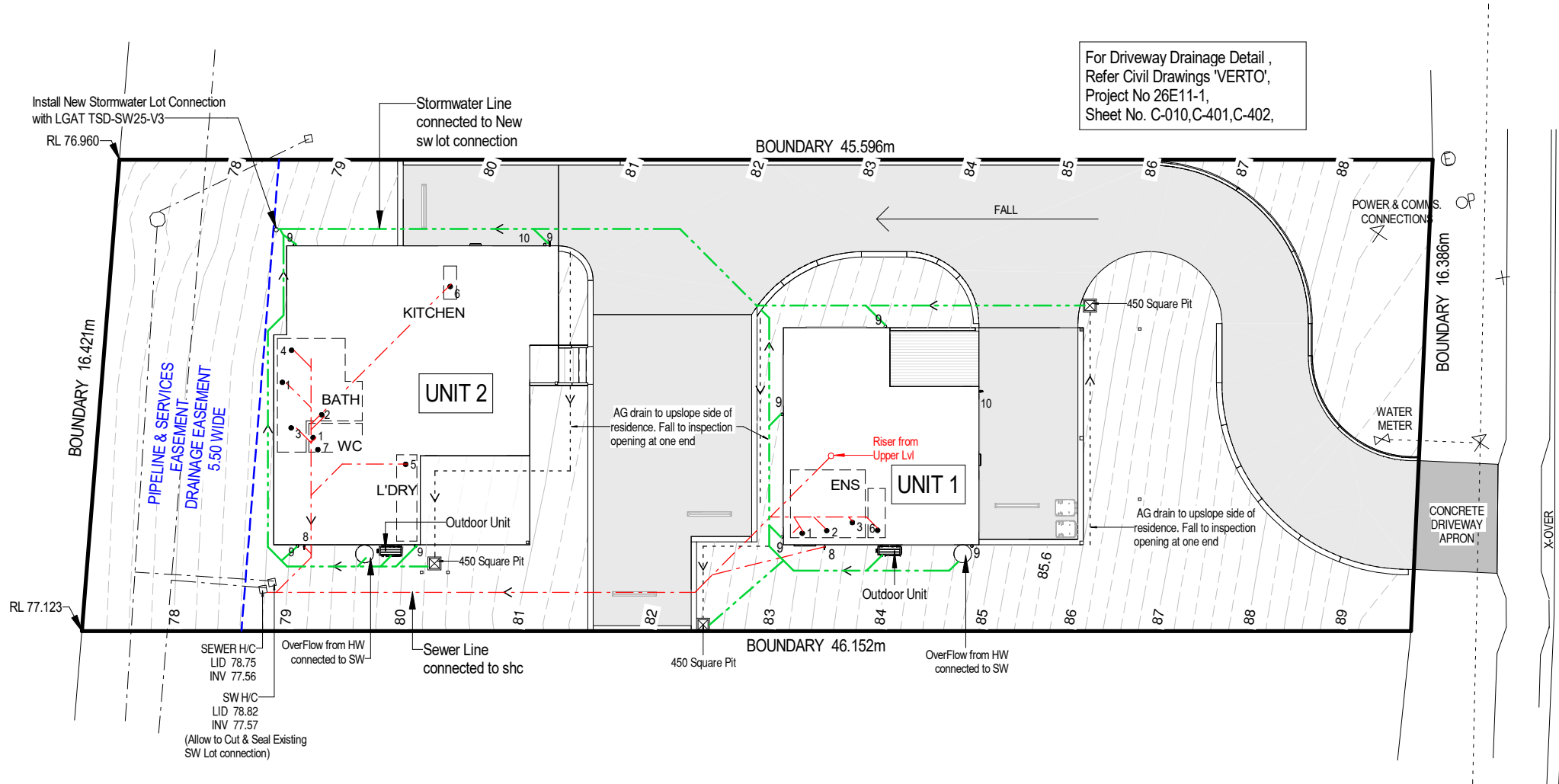
DATE RECEIVED: 29 June 2026



U1-Drainage Upper Fl



AG Drain (Typical)



DRAINAGE_SITE PLAN

LEGEND		
Abbr.	TYPE	Min. Ø Outlet size
1	Water closet pan	100
2	HandBasin	40
3	Shower	50
4	Bath	40
5	Laundry Trough	50
6	Kitchen Sink	50
7	Vent	50
8	Tap Charged ORG min.150mm below FFL	
9	Downpipe	90
10	Tap	
i.o.	Inspection Opening to Ground Lvl	
f/w	Floor Waste	
--- Sewer line 100Ø UPVC U.N.O.		
--- Stormwater line 100Ø UPVC U.N.O.		

NOTE:
Builders' responsibility to protect
stormwater pipes during construction.

GLAZING NOTE:
All windows are Double glazed

BAL : TBC

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I the owner/s accept these plans:

SIGNATURE:
DATE:

4	Units level /Driveway modified & Reverse area added as Engineers plan	26.05.2026	RK
1	DA PLANS	17.03.2026	RK
Document Set ID: 3637922		Date	Drawn

Version: 1, Version Date: 09/07/2026



PERYTON HOMES Pty Ltd
177 Pulpit Rock Road, New Norfolk
Hobart TAS 7140

Designer: Ranjot Kaur
Mob. 0450 656 007
Email: ranjot@perytonhomes.com.au
Licence Number: 173530973

*GENERAL NOTES:
All works must be completed as per the current National Construction Code (NCC) 2022 and all referenced relevant Australian Standards. [1]
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TITLE

DRAINAGE PLAN

Scale: 1 : 200

Date: 19.06.2026

Drawn by: RK

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Client / Project Name	TAYLOR & BEESON PTY.LTD.	Job No:	TB_21
Project Address	63 MAHONEY DRIVE, AUSTINS FERRY	Sheet No:	10

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BAL : TBC

4	Units level /Driveway modified & Reverse area added as Engineers plan	26.05.2026	RK
2	Modified as Council RFI dated 30.03.2026	10.04.2026	RK
1	DA PLANS	17.03.2026	RK
Document Set ID: 3637922		Description	Drawn
Version: 1, Version Date: 09/07/2026			



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TITLE

3D VIEWS

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Scale:	Client / Project Name TAYLOR & BEESON PTY.LTD.	Job No: TB_21
Date: 19.06.2026	Project Address 63 MAHONEY DRIVE, AUSTINS FERRY	Sheet No: 11
Drawn by: RK		

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

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Document Set ID: 3637922		Date	Drawn

Version: 1, Version Date: 09/07/2026



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TITLE

3D VIEWS

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Scale:	Client / Project Name TAYLOR & BEESON PTY.LTD.	Job No: TB_21
Date: 19.06.2026	Project Address 63 MAHONEY DRIVE, AUSTINS FERRY	Sheet No: 11A
Drawn by: RK		

Window Area Schedule			
Mark	Width	Height	window area

-U1-01	2100	2000	4 m²
-U1-02	2400	2100	5 m²
-U1-03	1800	400	1 m²
-U1-04	1800	400	1 m²
-U1-05	1800	2000	4 m²
-U1-06	1500	1000	2 m²
-U1-07	1800	400	1 m²
-U1-08	1800	2000	4 m²
-U1-09	1500	1000	2 m²
-U1-10	2700	2000	5 m²
-U1-11	2700	2100	6 m²
-U1-12	900	2000	2 m²
-U1-13	900	2000	2 m²
-U1-14	1800	2000	4 m²
-U1-15	600	2000	1 m²
-U1-16	2100	1500	3 m²
-U1-17	1800	600	1 m²
-U1-18	1800	600	1 m²
-U2-01	900	2000	2 m²
-U2-02	900	2000	2 m²
-U2-03	1800	2000	4 m²
-U2-04	2400	2160	5 m²
-U2-05	1800	400	1 m²
-U2-06	1800	1500	3 m²
-U2-07	1200	1000	1 m²
-U2-08	1800	1500	3 m²
-U2-09	1800	400	1 m²
-U2-10	1800	400	1 m²

Grand total: 2868 m²

Ceiling Schedule		
Unit Name	Name	Area

UNIT 1	LOUNGE	15.00 m²
UNIT 1	KITCHENETTE	1.48 m²
UNIT 1	WIR	0.91 m²
UNIT 1	ENS	6.11 m²
UNIT 1	M.BED	10.88 m²
UNIT 1	BED 2	9.00 m²
UNIT 1	BED 3	11.34 m²
UNIT 1	LIVING	17.16 m²
UNIT 1	DINING	9.60 m²
UNIT 1	CARPORT	27.37 m²
UNIT 1	BATH/L'dry	8.97 m²
UNIT 1	KITCHEN	7.50 m²
UNIT 1	DECK	9.00 m²
UNIT 1	HALLWAY	4.74 m²
UNIT 1	PORCH	6.30 m²

UNIT 2	DINING	9.60 m²
UNIT 2	BED 2	10.35 m²
UNIT 2	BED 1	9.00 m²
UNIT 2	HALLWAY	4.83 m²
UNIT 2	KITCHEN	8.75 m²
UNIT 2	DECK	11.74 m²
UNIT 2	LIVING	15.93 m²
UNIT 2	BATH	8.63 m²
UNIT 2	WC	1.86 m²
UNIT 2	Porch	1.40 m²
UNIT 2	L'DRY	2.19 m²

Wall Schedule			
Unit Name	Description	Area	Function

UNIT 1	Selected Cladding	19 m²	Exterior
UNIT 1	Selected Cladding	20 m²	Exterior
UNIT 1	Selected Cladding	18 m²	Exterior
UNIT 1	Selected Cladding	8 m²	Exterior
UNIT 1	Face Brick	16 m²	Exterior
UNIT 1	Face Brick	12 m²	Exterior
UNIT 1	Face Brick	4 m²	Exterior
UNIT 1	Face Brick	11 m²	Exterior
UNIT 1	Face Brick	2 m²	Exterior
UNIT 1	Face Brick	4 m²	Exterior
UNIT 1	Selected Cladding	1 m²	Exterior
UNIT 1	Selected Cladding	1 m²	Exterior

UNIT 1	116 m²		
UNIT 2	Selected Cladding	5 m²	Exterior
UNIT 2	Selected Cladding	4 m²	Exterior
UNIT 2	Selected Cladding	21 m²	Exterior
UNIT 2	Selected Cladding	5 m²	Exterior
UNIT 2	Selected Cladding	2 m²	Exterior
UNIT 2	Selected Cladding	9 m²	Exterior
UNIT 2	Selected Cladding	7 m²	Exterior
UNIT 2	Selected Cladding	13 m²	Exterior
UNIT 2	Selected Cladding	1 m²	Exterior
UNIT 2	Selected Cladding	2 m²	Exterior
UNIT 2	Selected Cladding	3 m²	Exterior

UNIT 272 m²

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PLANNING SERVICES

APPLICATION No. :PLN-26-046

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DATA VERIFICATION NOTE:
These areas are extracted from the design model for preliminary reporting purposes. All values and material specifications are to be verified by the Acoustic Consultant for final calculations. Report any discrepancies to the Designer prior to certification.

BAL : TBC

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		SIGNATURE: _____ DATE: _____	

4	Units level /Driveway modified & Reverse area added as Engineers plan	26.05.2026	RK
3	Calculations added for noise assessment	23.04.2026	RK
2	Modified as Council RFI dated 30.03.2026	10.04.2026	RK
1	DA PLANS	17.03.2026	RK
Document Set ID: 3637922		Description	Drawn
Version: 1, Version Date: 09/07/2026			



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TITLE

CALCULATIONS

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Date: 19.06.2026	Project Address 63 MAHONEY DRIVE, AUSTINS FERRY	Sheet No: 12
Drawn by: RK		

CIVIL DRAWINGS
UNIT DEVELOPMENT
63 MAHONEY DRIVE
AUSTINS FERRY

C001	COVER	A	21/05/2026
C010	SITE PLAN	A	21/05/2026
C401	DRIVEWAY & STORMWATER PLAN	A	21/05/2026
C402	DRIVEWAY & STORMWATER PLAN	A	21/05/2026
C421	LONG SECTIONS	A	21/05/2026
C422	LONG SECTIONS	A	21/05/2026
C431	CROSS SECTIONS	A	21/05/2026
C491	TURNPATH PLAN	A	21/05/2026
C492	TURNPATH PLAN	A	21/05/2026
C493	TURNPATH PLAN	A	21/05/2026
C494	TURNPATH PLAN	A	21/05/2026

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-26-046

DATE RECEIVED: 29 May 2026

PLANNING APPROVAL



HOBART
DEVONPORT
LAUNCESTON



Launceston Office
22 - 24 Paterson Street
Launceston TAS 7250
03 6388 9200
www.vertotas.com.au

APPROVAL	REV	DESCRIPTION	DATE
DRAWN: LG			
CHECKED: DE			
DESIGN: LG			
CHECKED: DE			
VERIFIED: -	A	PLANNING APPROVAL	21/05/2026

PROJECT:
UNIT DEVELOPMENT
63 MAHONEY DRIVE
AUSTINS FERRY

SHEET:
COVER

SCALE: - (A1)
PROJECT No. 26E11-1
SHEET No. C001
REV. A



SITE & EXISTING SERVICES LEGEND		
	26.0	DESIGN SURFACE CONTOUR (MAJ/MIN)
	26.0	EXISTING SURFACE CONTOUR (MAJ/MIN)
		BOUNDARY - SURVEYED
		EASEMENT - SURVEYED
	EX OH	EXISTING OVERHEAD POWER
	EX LV	EXISTING UNDERGROUND POWER
	EX COM	EXISTING COMMS - TELSTRA
	EX COM	EXISTING COMMS - NBN
	EX GAS	EXISTING GAS

PAVEMENT LEGEND	
	CONCRETE

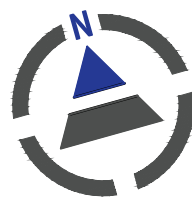
STORMWATER LEGEND	
	SWS
	SSD
	EX SW
	EX SWS
	INSPECTION OPENING
	GP1 - 450 SQ PIT ACO TYPE 45 POLYMER CONCRETE PIT AND INCL. HEELSAFE GRATE

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

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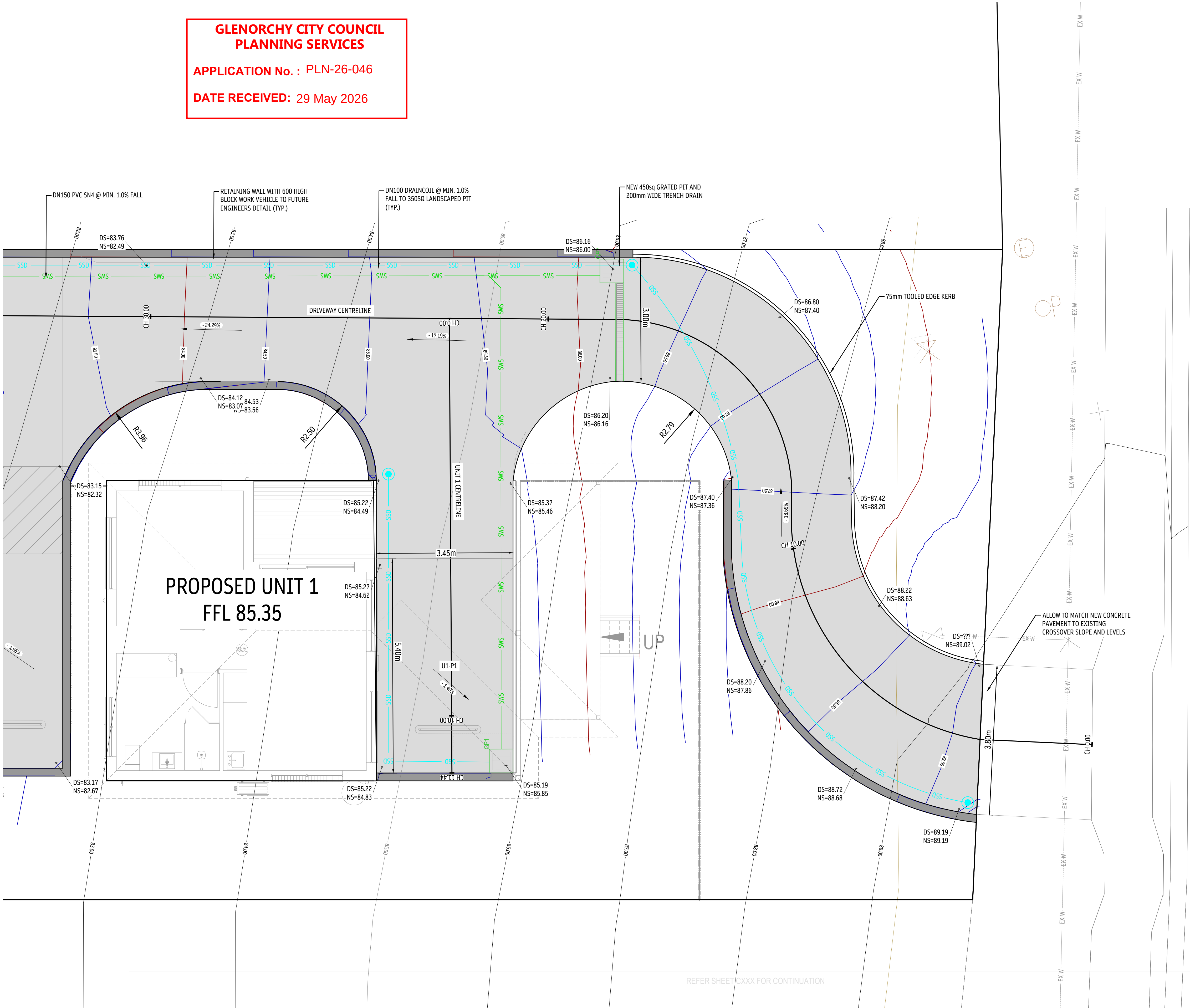
GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No. : PLN-26-046
DATE RECEIVED: 29 May 2026



SITE & EXISTING SERVICES LEGEND	
	DESIGN SURFACE CONTOUR (MAJ/MIN)
	EXISTING SURFACE CONTOUR (MAJ/MIN)
	BOUNDARY - SURVEYED
	EASEMENT - SURVEYED
	EXISTING OVERHEAD POWER
	EXISTING UNDERGROUND POWER
	EXISTING COMMS - TELSTRA
	EXISTING COMMS - NBN
	EXISTING GAS

PAVEMENT LEGEND	
	CONCRETE

STORMWATER LEGEND	
	PVC STORMWATER DN150 SN8 U.N.O.
	SLOTTED PVC AG DRAIN
	EXISTING STORMWATER MAIN
	EXISTING STORMWATER - PRIVATE
	INSPECTION OPENING
	GP1 - 450 SQ PIT ACO TYPE 45 POLYMER CONCRETE PIT AND INCL. HEELSAFE GRATE



M A H O N E Y D R I V E

REFER SHEET CXXX FOR CONTINUATION

HOBART
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Launceston TAS 7250
03 6388 9200
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APPROVAL	REV	DESCRIPTION	DATE
DRAWN: LG			
CHECKED: DE			
DESIGN: LG			
CHECKED: DE			
VERIFIED: -			
A		PLANNING APPROVAL	21/05/2026

PROJECT:
UNIT DEVELOPMENT
63 MAHONEY DRIVE
AUSTINS FERRY

SHEET:
DRIVEWAY & STORMWATER PLAN

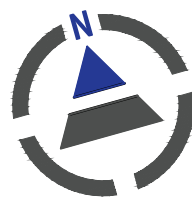
SCALE: 1:50 (A1)
PROJECT No. 26E11-1
SHEET No. C401
REV. A



**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

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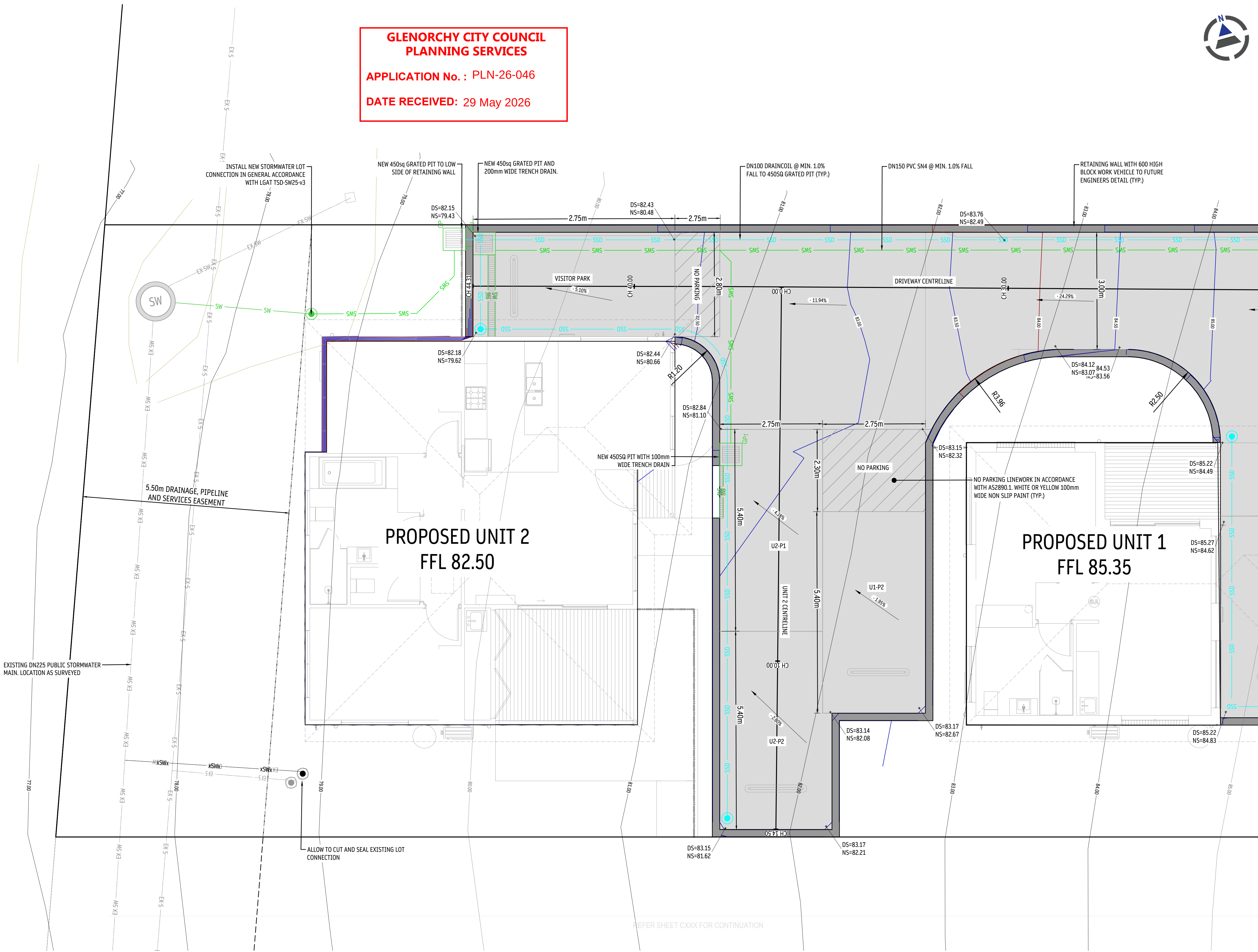
DATE RECEIVED: 29 May 2026



SITE & EXISTING SERVICES LEGEND	
	DESIGN SURFACE CONTOUR (MAJ/MIN)
	EXISTING SURFACE CONTOUR (MAJ/MIN)
	BOUNDARY - SURVEYED
	EASEMENT - SURVEYED
	EXISTING OVERHEAD POWER
	EXISTING UNDERGROUND POWER
	EXISTING COMMS - TELSTRA
	EXISTING COMMS - NBN
	EXISTING GAS

PAVEMENT LEGEND	
	CONCRETE

STORMWATER LEGEND	
	PVC STORMWATER DN150 SN8 U.N.O.
	SLOTTED PVC AG DRAIN
	EXISTING STORMWATER MAIN
	EXISTING STORMWATER - PRIVATE
	INSPECTION OPENING
	GP1 - 450 SQ PIT ACO TYPE 45 POLYMER CONCRETE PIT AND INCL. HEELSAFE GRATE



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21/05/2026

PROJECT:
UNIT DEVELOPMENT
63 MAHONEY DRIVE
AUSTINS FERRY

SHEET:
DRIVEWAY & STORMWATER PLAN

SCALE: 1:50 (A1)
PROJECT No. 26E11-1
SHEET No. C402
REV. A

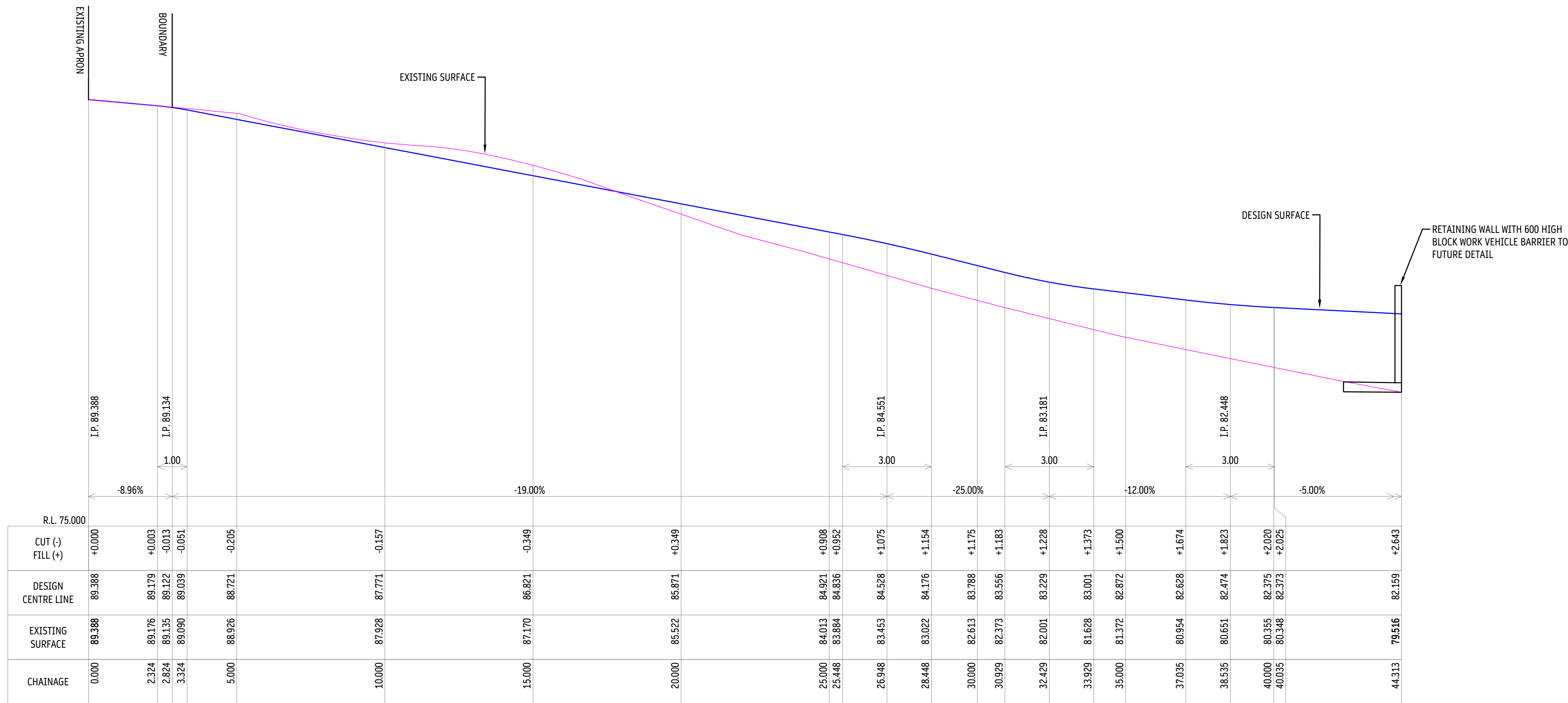
PLANNING APPROVAL



GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-26-046

DATE RECEIVED: 29 May 2026



From 0.000m To 44.313m Scales: H 1:100 V 1:100

DRIVEWAY CENTRELINE

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APPROVAL	REV	DESCRIPTION	DATE
DRAWN: LG			
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DESIGN: LG			
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VERIFIED: -	A	PLANNING APPROVAL	21/05/2026

PROJECT:
UNIT DEVELOPMENT
63 MAHONEY DRIVE
AUSTINS FERRY

SHEET:
LONG SECTIONS

PLANNING APPROVAL

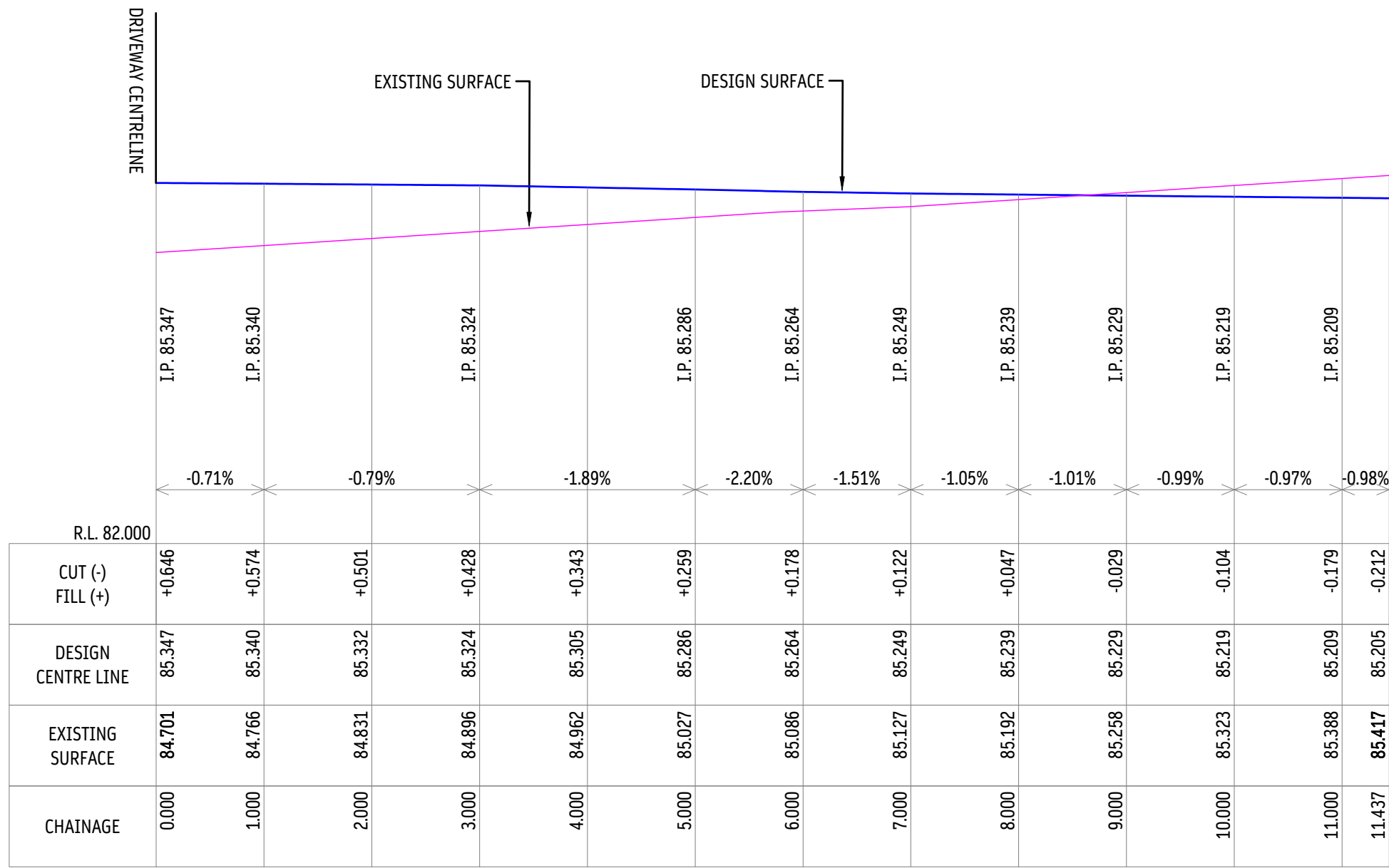


SCALE: - (A1)
PROJECT No. 26E11-1
SHEET No. C421
REV. A

GLENORCHY CITY COUNCIL
PLANNING SERVICES

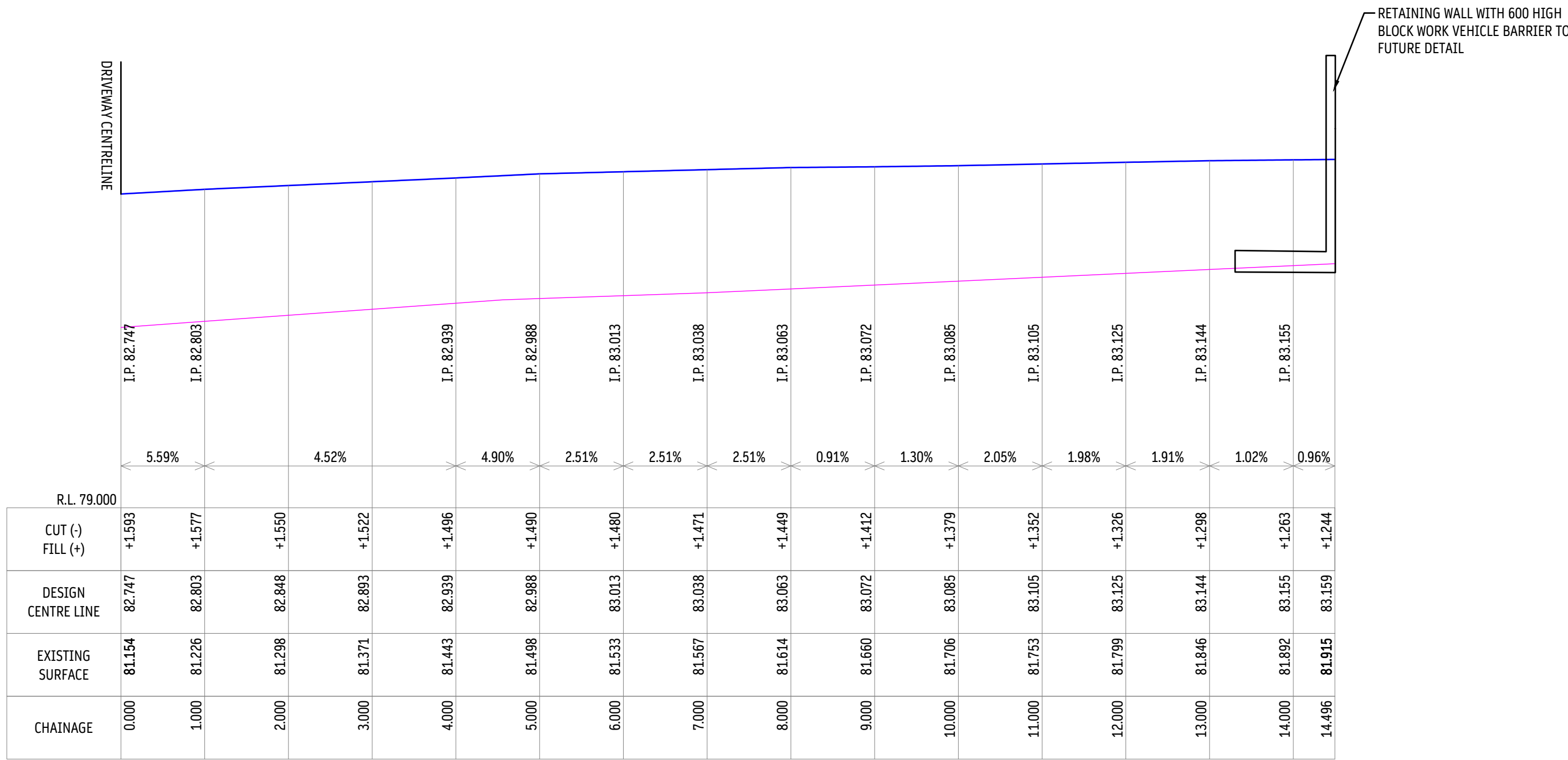
APPLICATION No. : PLN-26-046

DATE RECEIVED: 29 May 2026



From 0.000m To 11.437m Scales: H 1:50 V 1:50

UNIT 1 PARKING



From 0.000m To 14.496m Scales: H 1:50 V 1:50

UNIT 2 PARKING

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PROJECT:
UNIT DEVELOPMENT
63 MAHONEY DRIVE
AUSTINS FERRY

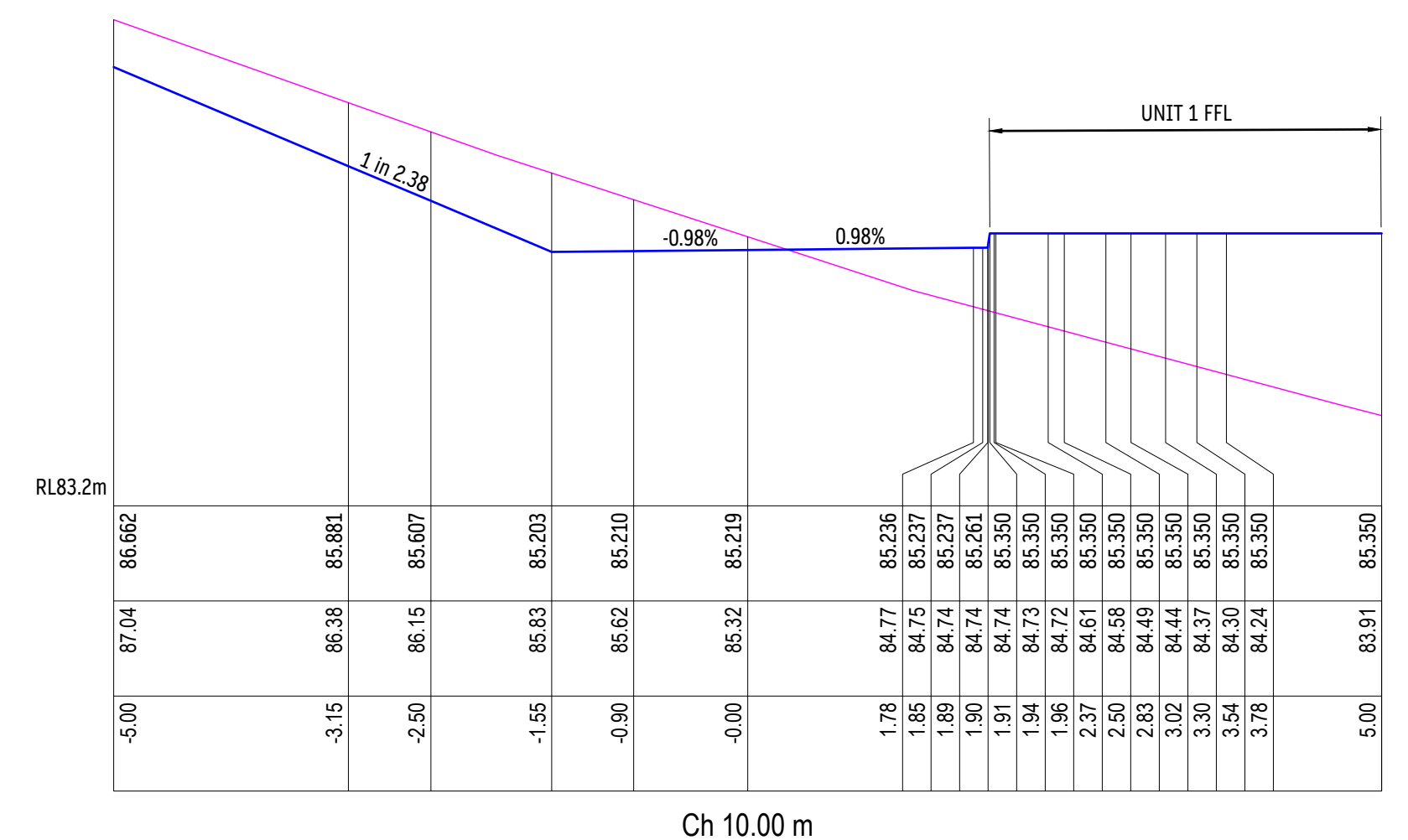
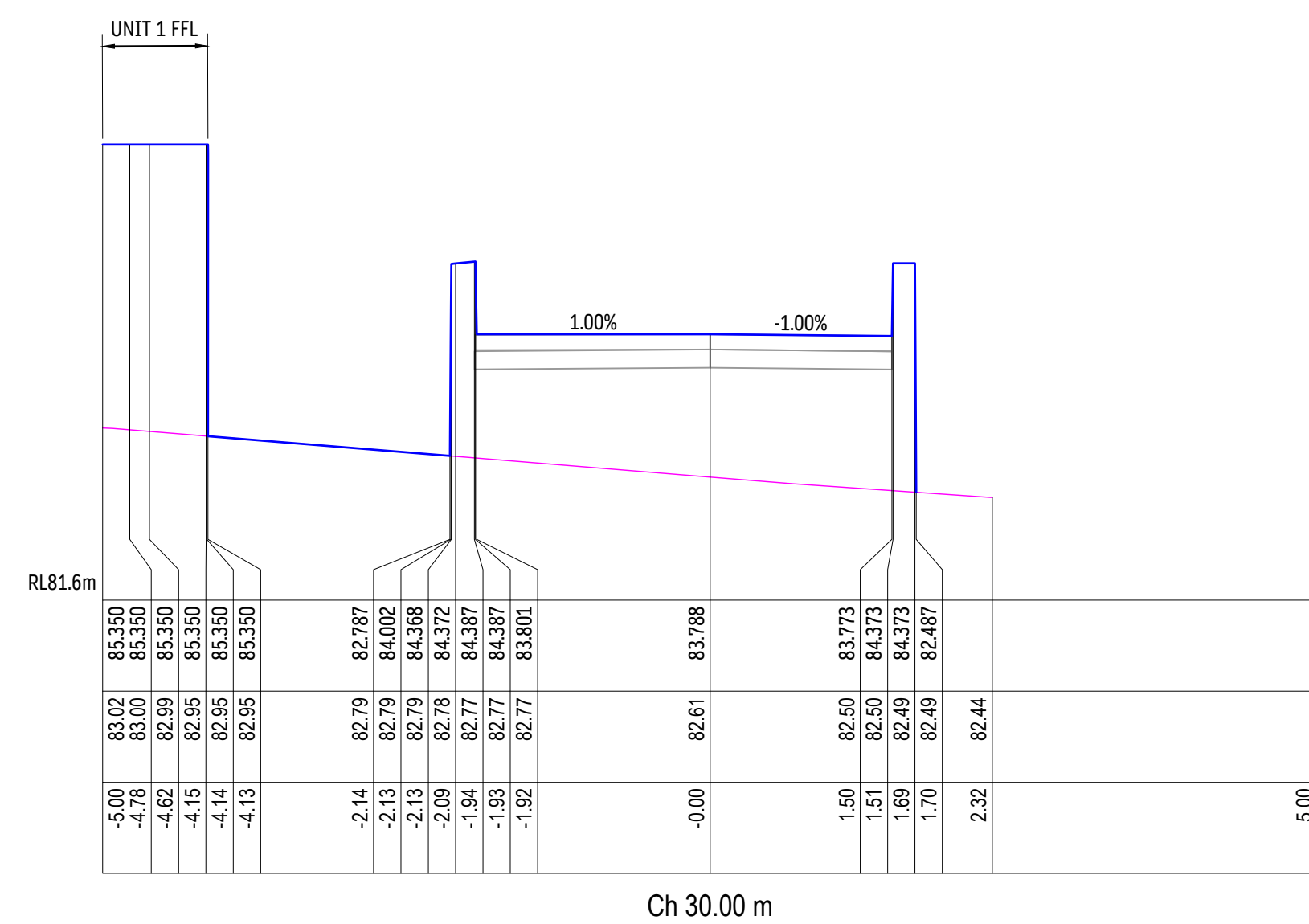
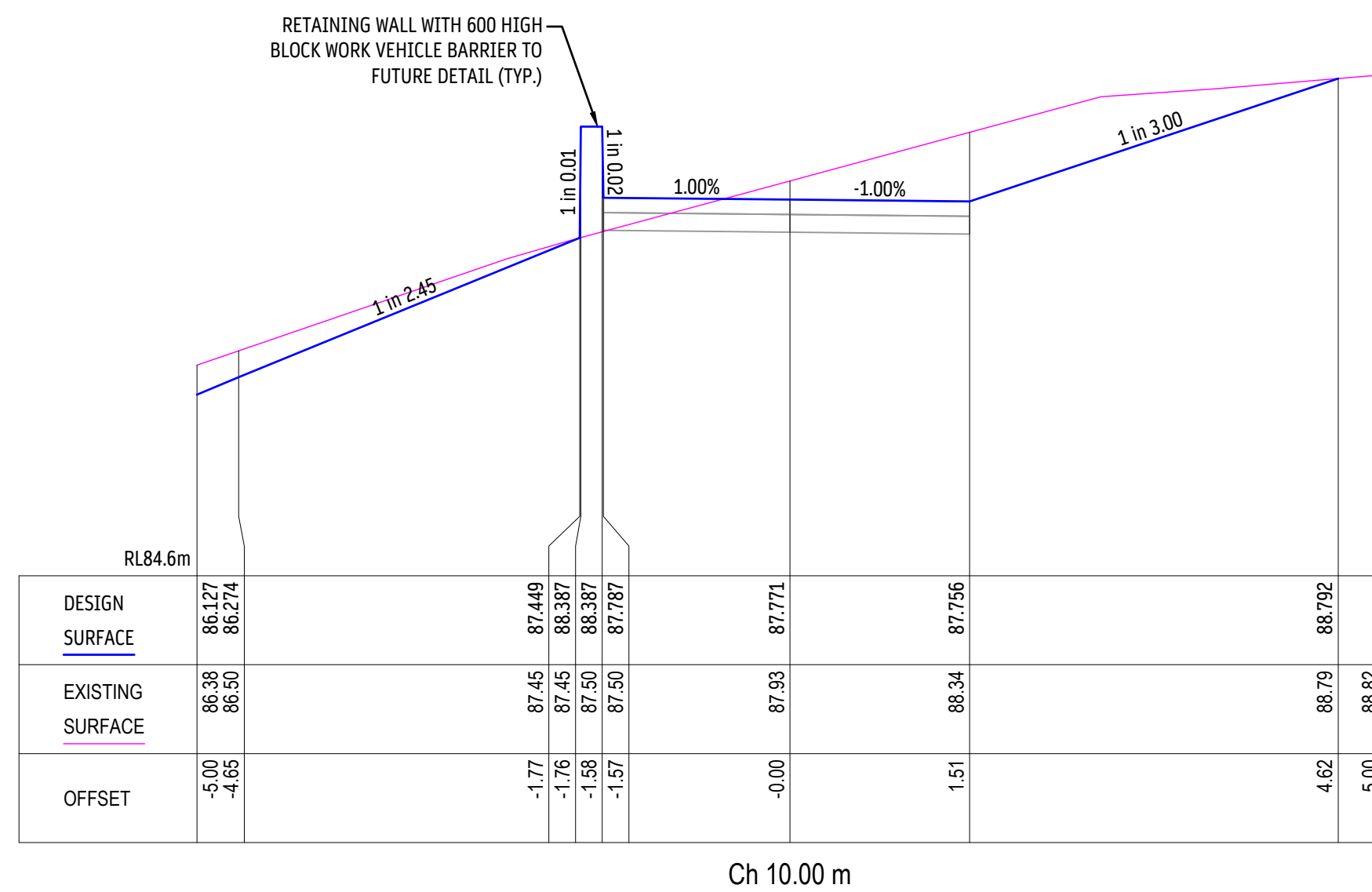
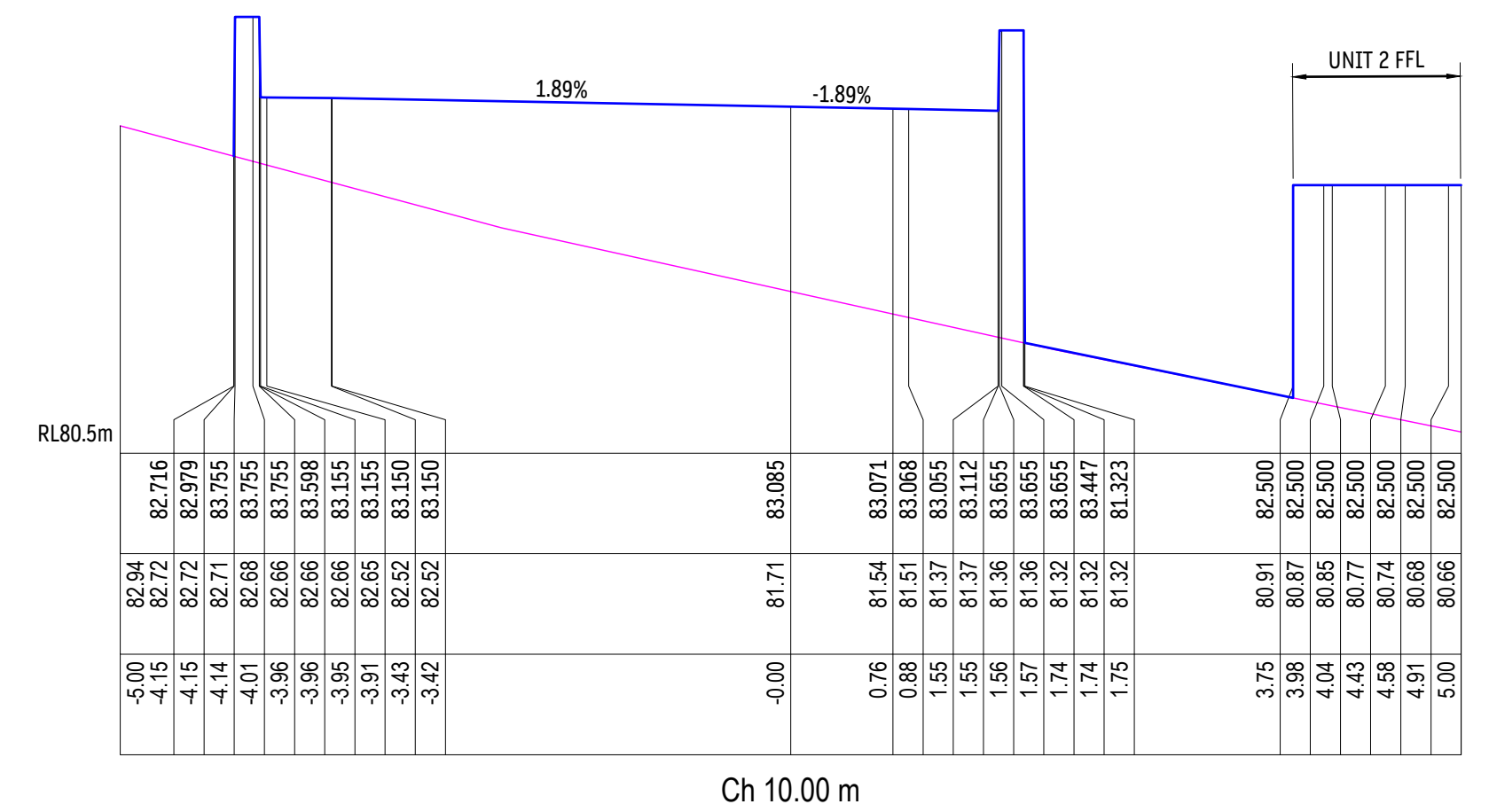
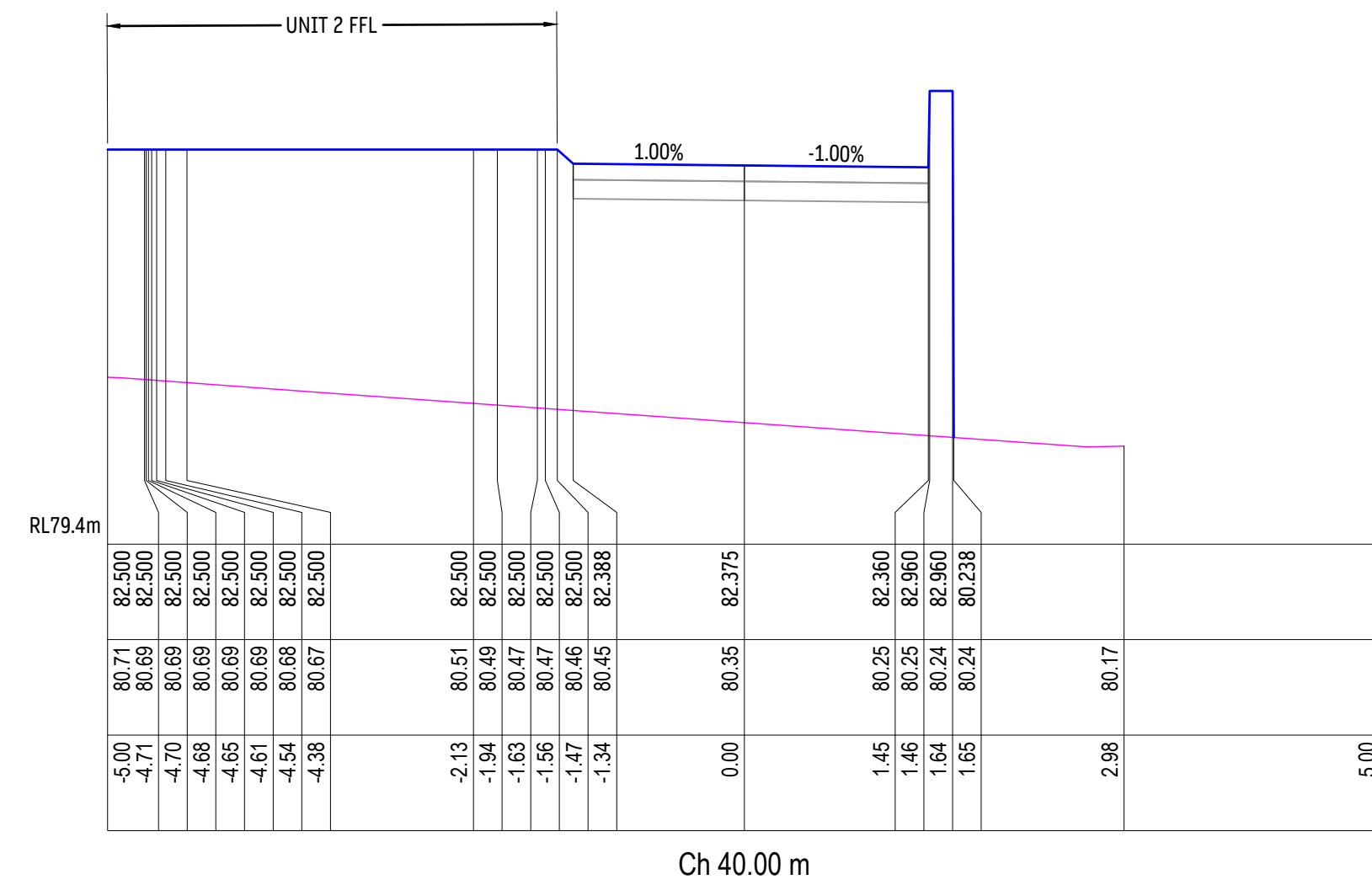
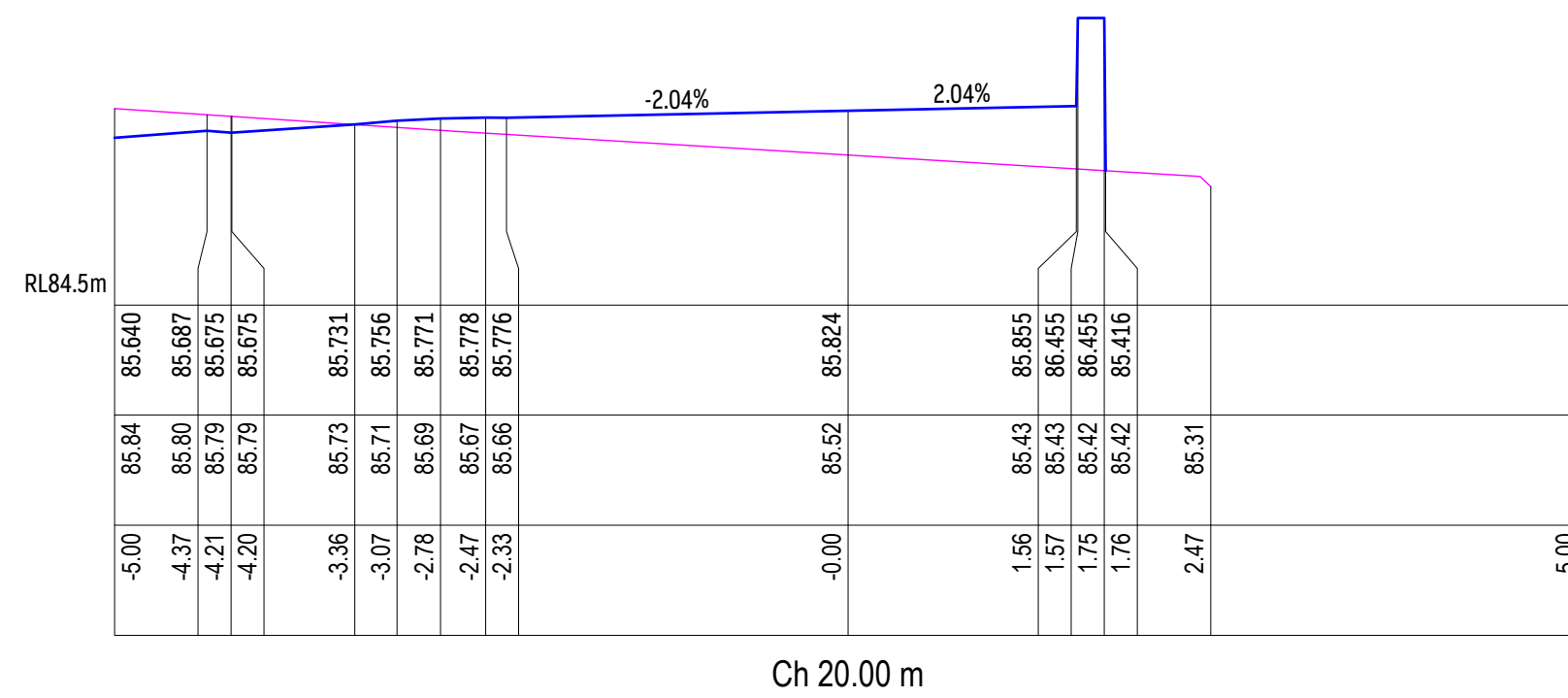
SHEET:
LONG SECTIONS

PLANNING APPROVAL



SCALE: - (A1)
PROJECT No. 26E11-1
SHEET No. C422
REV. A

DATE RECEIVED: 29 May 2026



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APPROVAL	REV	DESCRIPTION
DRAWN: LG		
CHECKED: DE		
DESIGN: LG		
CHECKED: DE		
VERIFIED: -	A	PLANNING APPROVAL

21/05/2026

PROJECT:
UNIT DEVELOPMENT
63 MAHONEY DRIVE
AUSTINS FERRY

SHEET:

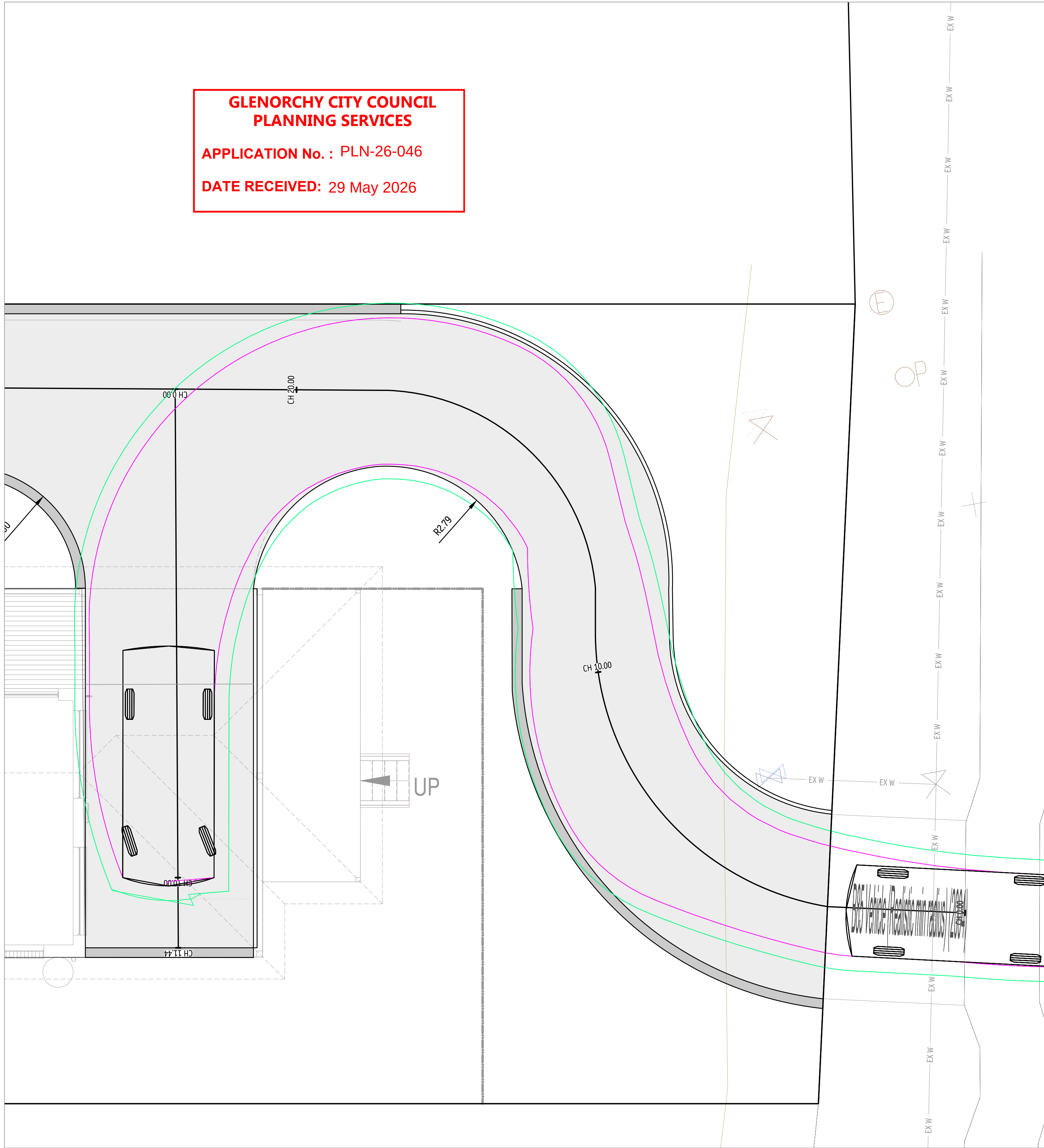
CROSS SECTIONS

SCALE: PROJECT No. SHEET No. REV.
- (A1) 26E11-1 C431 A

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PLANNING SERVICES

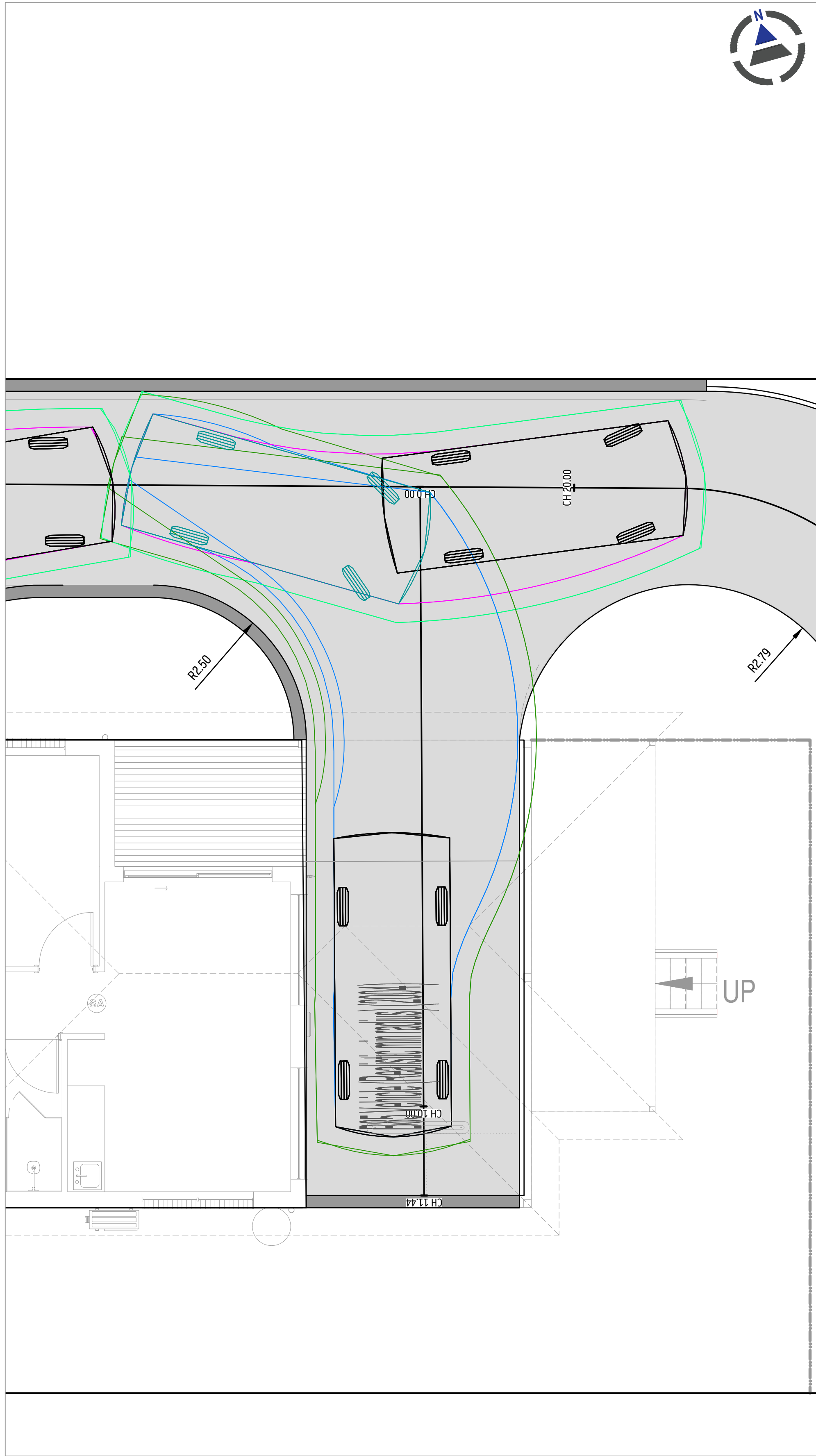
APPLICATION No. : PLN-26-046

DATE RECEIVED: 29 May 2026



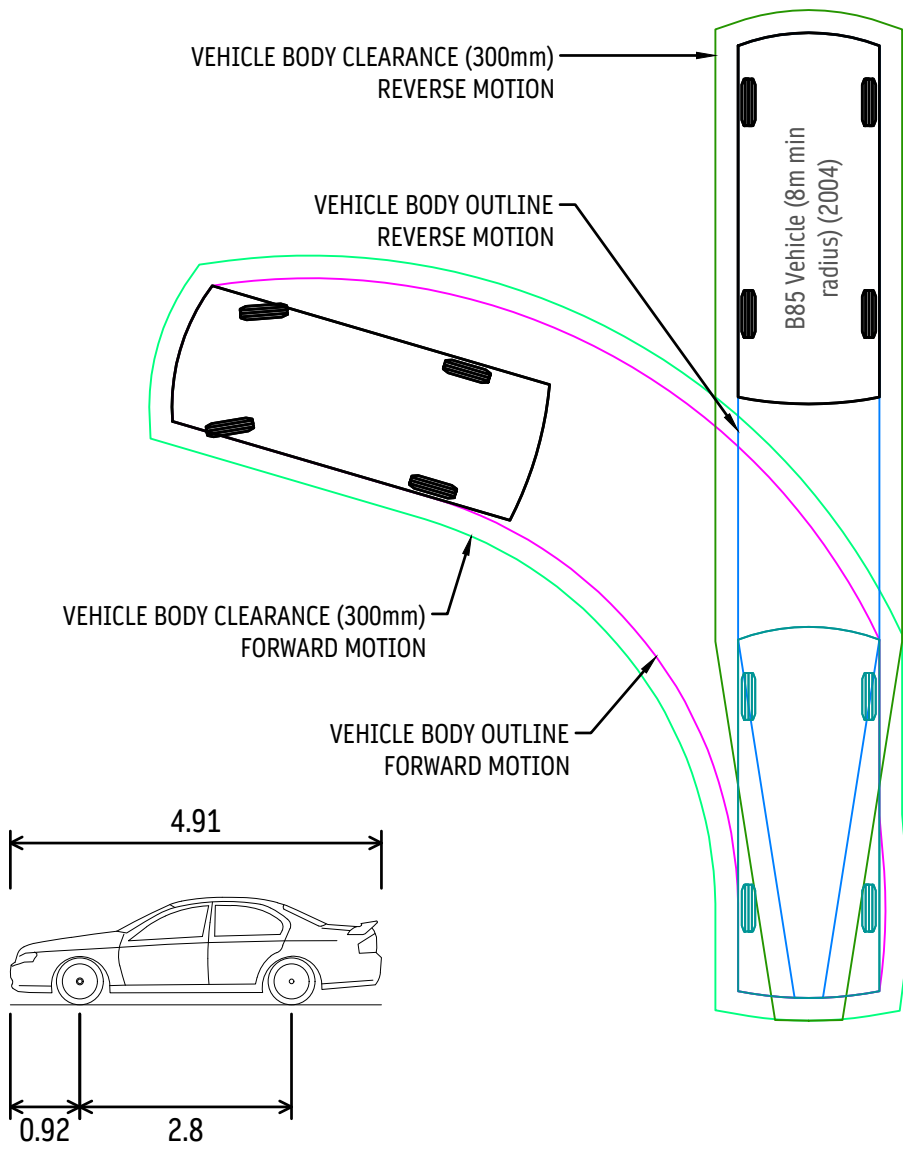
U1-P1 FORWARD ENTRY

1:50



U1-P1 REVERSE EXIT

1:50



B85 Vehicle (8m min radius) (2004)

Overall Length	4.910m
Overall Width	1.870m
Overall Body Height	1.421m
Min Body Ground Clearance	0.159m
Track Width	1.770m
Lock-to-lock time	4.00s
Curb to Curb Turning Radius	8.000m

VEHICLE TURNPATH - LEGEND

1:50

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APPROVAL	REV	DESCRIPTION	DATE
DRAWN: LG			
CHECKED: DE			
DESIGN: LG			
CHECKED: DE			
VERIFIED: -	A	PLANNING APPROVAL	21/05/2026

21/05/2026

PROJECT:
UNIT DEVELOPMENT
63 MAHONEY DRIVE
AUSTINS FERRY

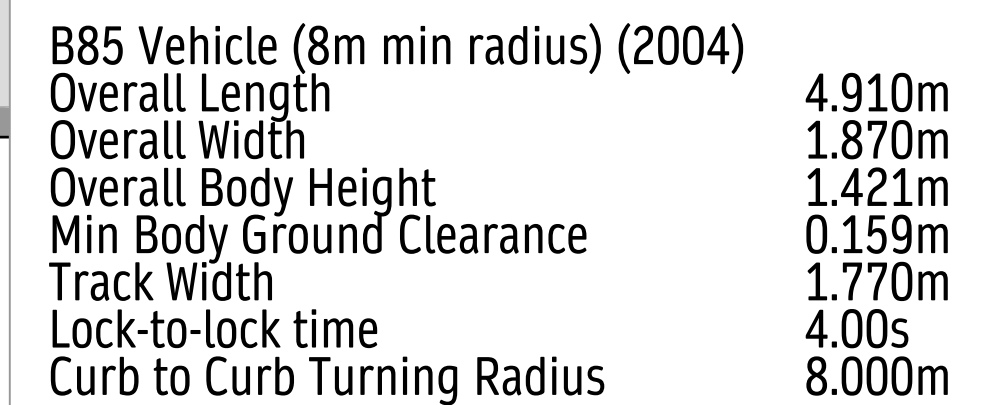
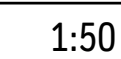
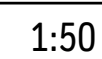
SHEET:
TURNPATH PLAN

PLANNING APPROVAL



SCALE: 1:50 (A1) PROJECT No. 26E11-1 SHEET No. C491 REV. A

DATE RECEIVED: 29 May 2026



1:50

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-26-046

DATE RECEIVED: 29 May 2026

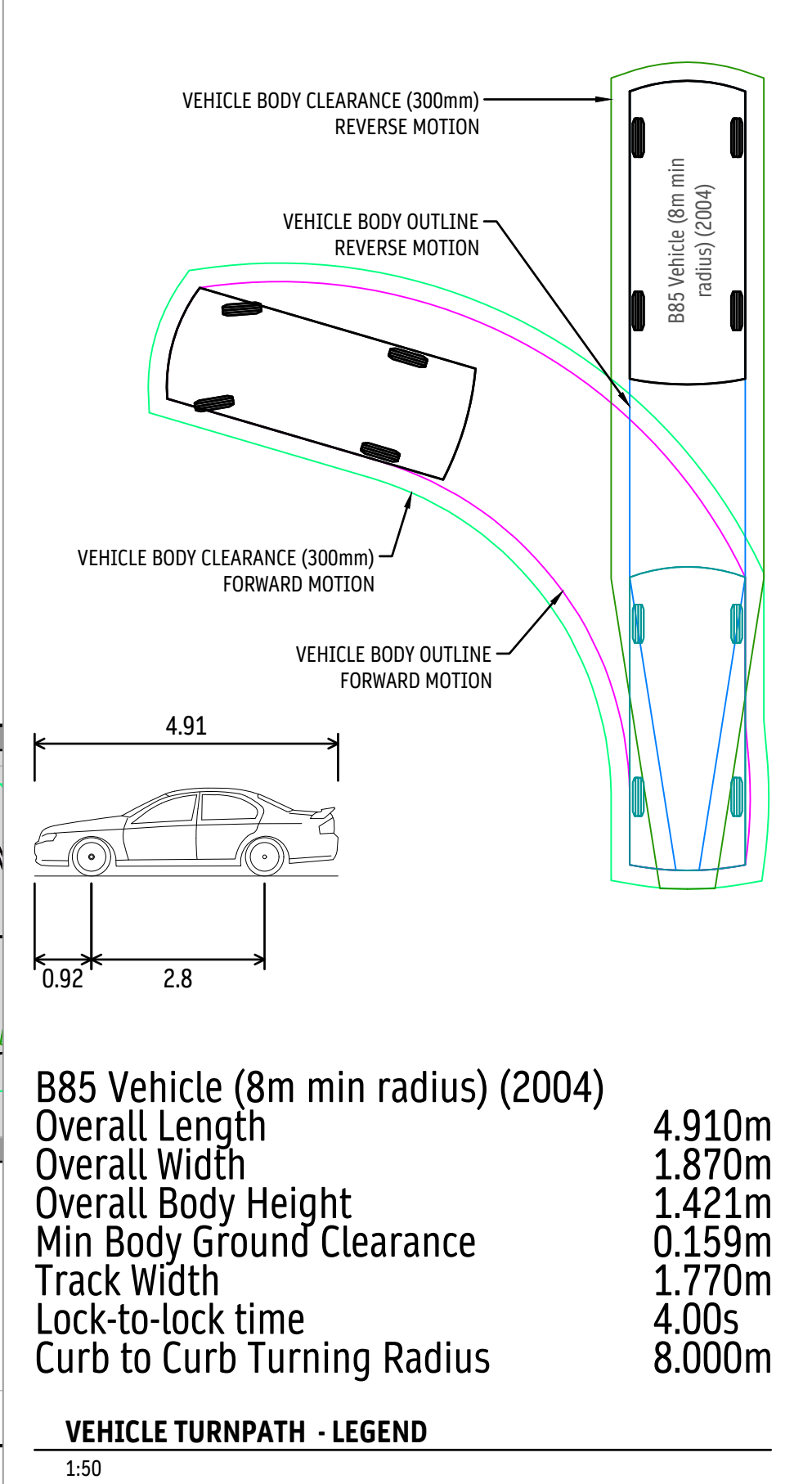


U2-P2 FORWARD ENTRY

1:50

U2-P2 REVERSE EXIT

1:50



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APPROVAL	REV	DESCRIPTION
DRAWN: LG		
CHECKED: DE		
DESIGN: LG		
CHECKED: DE		
VERIFIED: -	A	PLANNING APPROVAL

DATE
21/05/2026

PROJECT:
UNIT DEVELOPMENT
63 MAHONEY DRIVE
AUSTINS FERRY

SHEET:
TURNPATH PLAN

PLANNING APPROVAL

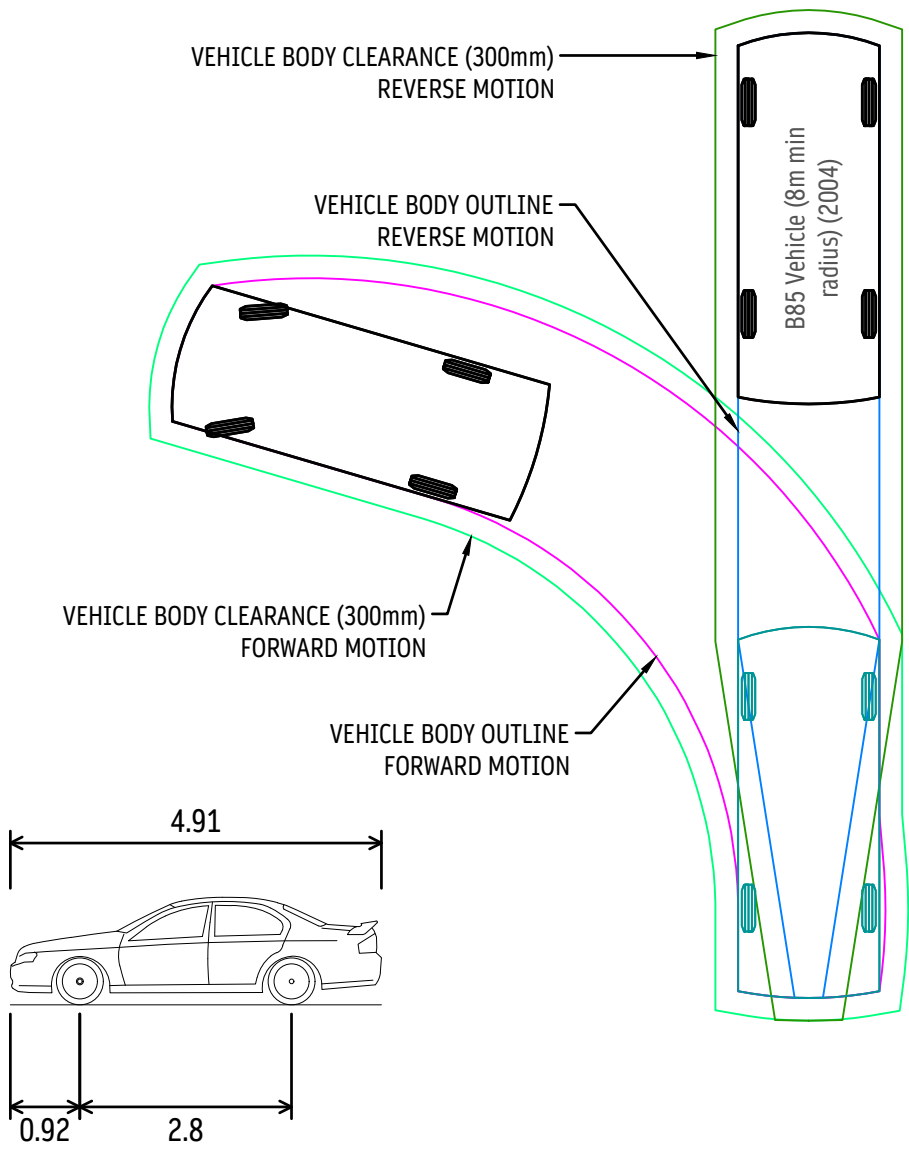
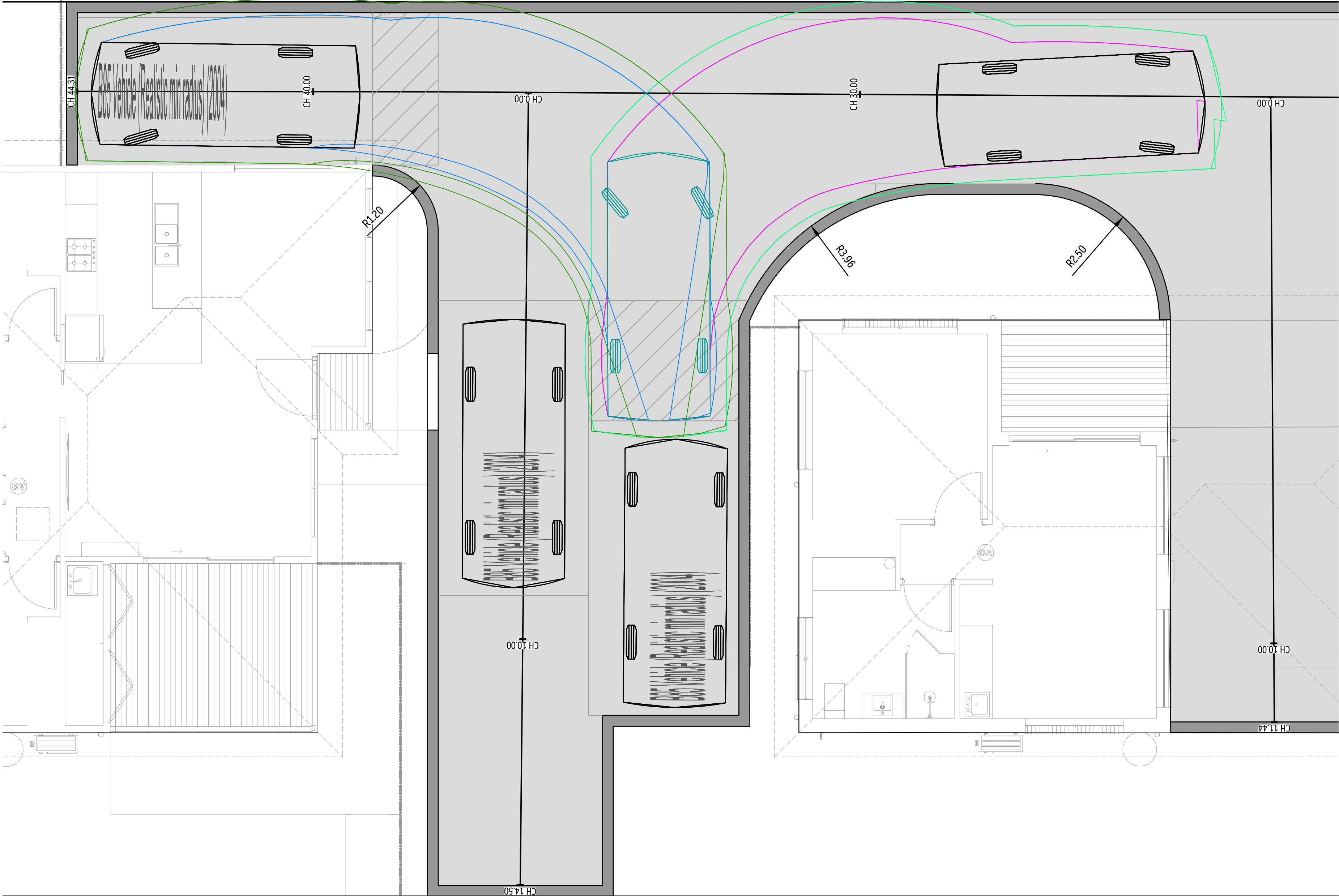
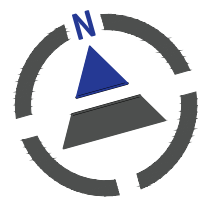


SCALE: 1:50 (A1) PROJECT No. 26E11-1 SHEET No. C493 REV. A

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-26-046

DATE RECEIVED: 29 May 2026



B85 Vehicle (8m min radius) (2004)

Overall Length	4.910m
Overall Width	1.870m
Overall Body Height	1.421m
Min Body Ground Clearance	0.159m
Track Width	1.770m
Lock-to-lock time	4.00s
Curb to Curb Turning Radius	8.000m

VEHICLE TURNPATH - LEGEND

1:50

VISITOR PARK - REVERSE EXIT

1:50

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APPROVAL	REV	DESCRIPTION	DATE
DRAWN: LG			
CHECKED: DE			
DESIGN: LG			
CHECKED: DE			
VERIFIED: -	A	PLANNING APPROVAL	21/05/2026

21/05/2026

PROJECT:
UNIT DEVELOPMENT
63 MAHONEY DRIVE
AUSTINS FERRY

SHEET:
TURNPATH PLAN

PLANNING APPROVAL



SCALE: 1:50 (A1) PROJECT No. 26E11-1 SHEET No. C494 REV. A