

PROPOSED RESIDENCE

LOT 4, 71 GROVE ROAD

GLENORCHY

LG & EM HOLDINGS PTY LTD

PDH25098

BUILDING DRAWINGS

No	DRAWING
01	SITE PLAN
02	SITE DRAINAGE PLAN
03	LOCALITY PLAN
04	GROUND FLOOR PLAN
05	FIRST FLOOR PLAN
06	DOOR AND WINDOW SCHEDULES
07	ELEVATIONS
08	ELEVATIONS
09	ROOF PLAN
10	PERSPECTIVES
11	SHADOW DIAGRAMS



GENERAL PROJECT INFORMATION
TITLE REFERENCE: 300004/3
SITE AREA: 300m²
DESIGN WIND SPEED: N2
SOIL CLASSIFICATION: P/M
CLIMATE ZONE: 7
ALPINE AREA: NO
CORROSIVE ENVIRONMENT: VERY HIGH
BAL RATING: EXEMPT
OTHER KNOWN HAZARDS: FLOOD PRONE AREAS

GROUND FLOOR AREA	58.99	m2	(	6.35	SQUARES)
GARAGE AREA	21.04	m2	(	2.27	SQUARES)
FIRST FLOOR AREA	90.72	m2	(	9.77	SQUARES)
TOTAL AREA	170.76			18.38	



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Accredited Building Practitioner:

bdag
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

primedesigntas.com.au
Frank Geskus -No CC246A

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REV. DATE DESCRIPTION

MARCH 2026
PLANNING

GENERAL NOTES:

1. THIS PLAN HAS BEEN PREPARED BY SURVEY PLUS FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
2. TITLE BOUNDARIES SHOWN WERE NOT VERIFIED OR MARKED BY SURVEY PLUS AT THE TIME OF THIS SURVEY.
3. SERVICES SHOWN ON THIS PLAN WERE LOCATED WHERE POSSIBLE BY FIELD SURVEY. THEY ARE NOT A COMPLETE PICTURE OF SERVICES ON SITE. ALL SERVICE LOCATIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON SITE, IN PARTICULAR THOSE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY.
4. SURVEY PLUS CAN NOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.
5. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF SURVEY PLUS.
6. HORIZONTAL DATUM IS MGA (GDA94).
7. VERTICAL DATUM IS AHD.
8. CONTOUR INTERVAL IS 0.1 METRE, INDEX IS 0.5 METRE.
9. SURVEY BY ROBOTIC TOTAL STATION AND RTK GPS.
10. DUE TO THE AGE OF TITLE SURVEY IF ANY CONSTRUCTION WORKS ARE TO BE UNDERTAKEN ON OR NEAR THE TITLE BOUNDARY OR PRESCRIBED SETBACKS A RE-MARK SURVEY BY A REGISTERED LAND SURVEYOR WILL BE REQUIRED.
11. IMPORTED DATA SHOWN ON THIS PLAN WAS OBTAINED FOR PUBLIC AVAILABLE DATA FROM VARIOUS GOVERNMENT AUTHORITIES. THIS INFORMATION IS PROVIDED FOR GUIDANCE ONLY. THE ACCURACY OF ANY IMPORTED DATA IS PER THE ACCURACY QUOTED BY THE SOURCE AND IS IN NO WAY GUARANTEED BY SURVEY PLUS. USERS MUST NOT RELY ON THIS DATA FOR ON-GROUND LOCATION OF BOUNDARIES AND/OR SERVICES.

• LIST DATA IMPORT

• TASNATER-SEWERLATERALLINE

• TASNATER-SEWERMAIN

• TASNATER-SEWERMAINTENANCEHOLE

• TASNATER-SEWERPRESSURISEDMAIN

• TASNATER-WATERHYDRANT

• TASNATER-WATERLATERALLINE

• TASNATER-WATERMAIN
12. BOUNDARIES ARE COMPILED ONLY FROM SP300004 AND RELEVANT SURVEY INFORMATION OBTAINED FROM LAND TITLES OFFICE AND ARE APPROXIMATE AND SUBJECT TO SURVEY.
13. ALL WINDOWS WERE NOT ABLE TO BE LOCATED DUE TO OBSTRUCTION OF LINE OF SIGHT FROM TOTAL STATION. WINDOW LOCATIONS ARE APPROXIMATE ONLY DUE TO BEING UNABLE TO BE PERPENDICULAR TO WINDOWS WHEN LOCATING WITH TOTAL STATION.
14. 3D DATA TURNED OFF IN LAYER CONTROL.

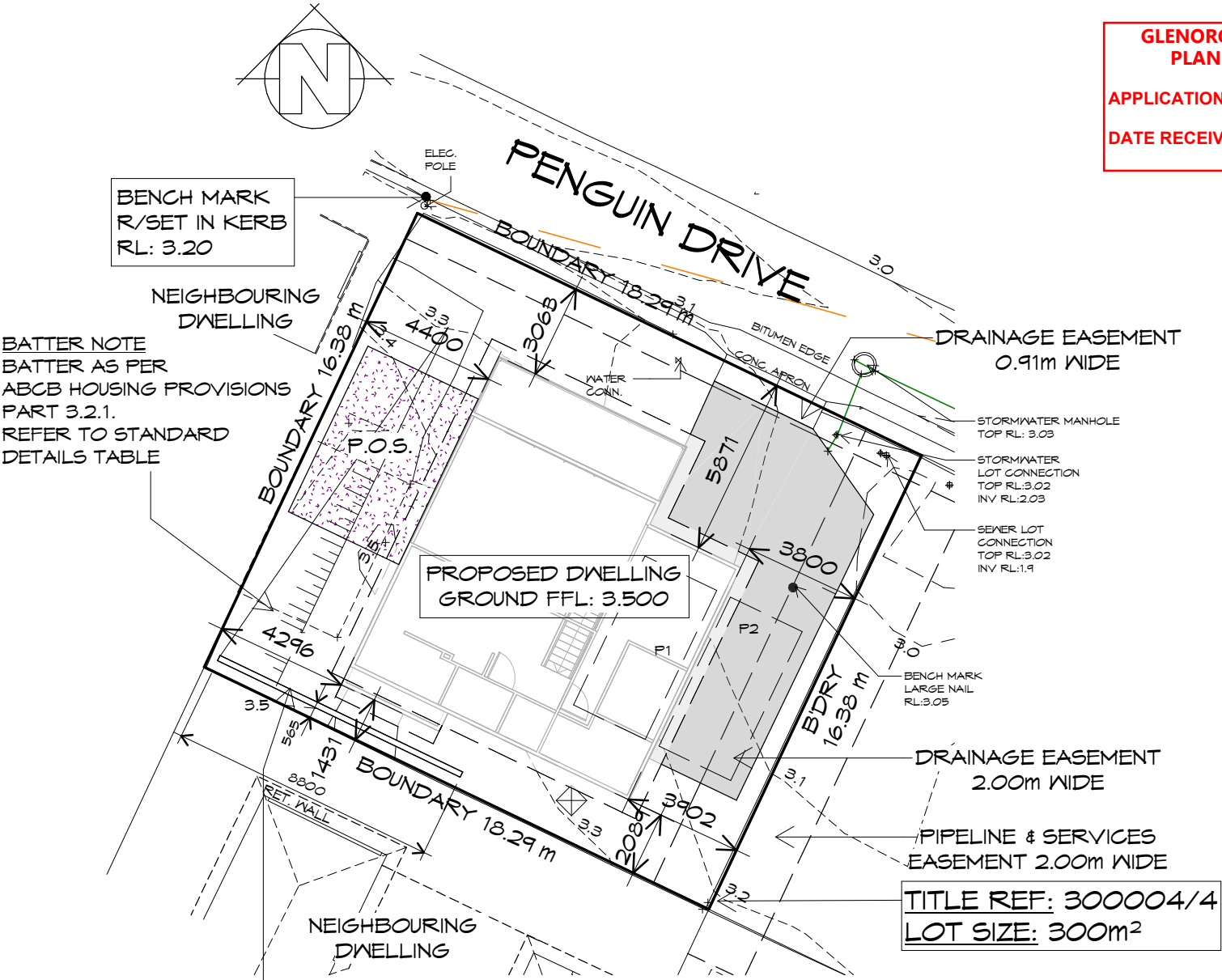
• 3D TIN

• MAJOR CONTOUR 3D

• MINOR CONTOUR 3D

GENERAL NOTES

- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
- WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
- ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A.. CODES & LOCAL AUTHORITY BY-LAWS
- ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
- CONFIRM ALL FLOOR AREAS
- ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
- BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
- ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
- ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
- IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
- BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
- BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION



LANDSCAPE RETAINING WALL
INSTALL PER MANUFACTURERS SPEC.

COASTAL ENVIRONMENTS (C.E.)

ALL FIXTURES, FITTINGS AND FIXINGS TO BE SUITABLE FOR COASTAL ENVIRONMENT WITHIN 1km OF 'BREAKING SURF'. INCLUDES BRICK TIES TO BRICK WALLS AND SUB-FLOORS.
ALL CONCRETE TO BE MIN 32MPA.

CONSTRUCTION OF BUILDING TO BE IN ACCORDANCE WITH THE NCC 2022 VOLUME 2 & THE ABCB HOUSING PROVISIONS REQUIREMENTS FOR COASTAL BUILDING.

NOTE: DIMENSIONED BOUNDARY OFFSETS TO THE PROPOSED BUILDING ARE TO THE EXTERNAL CLADDING U.N.O.

IMPORTANT NOTE:

DRAWINGS CAN BE READ IN BLACK & WHITE. HOWEVER ARE BEST PRINTED IN FULL COLOUR FOR OPTIMUM CLARITY. A COLOUR COPY SHOULD BE RETAINED ON SITE AT ALL TIMES FOR CONTRACTORS COMPLETING WORKS.

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. PLN-26-077

DATE RECEIVED 02/04/26

DRAINAGE EASEMENT
0.91m WIDE

STORMWATER MANHOLE
TOP RL: 3.03

STORMWATER
LOT CONNECTION
TOP RL: 3.02
INV RL: 2.03

SEWER LOT
CONNECTION
TOP RL: 3.02
INV RL: 1.9

BENCH MARK
LARGE NAIL
RL: 3.05

DRAINAGE EASEMENT
2.00m WIDE

PIPELINE & SERVICES
EASEMENT 2.00m WIDE

TITLE REF: 300004/4
LOT SIZE: 300m²

SETBACKS
REFER TO DIMENSIONS AND
ELEVATIONS FOR FURTHER DETAILS.

GARAGE IS LOCATED WITHIN 12m OF
THE PRIMARY FRONTAGE, OPENING
WIDTH IS 2.7m

SITE COVERAGE
BUILDING FOOTPRINT 90.72m² /SITE
AREA 300m² = 0.30
TOTAL SITE COVERAGE 30%

PRIVATE OPEN SPACE
24m² MINIMUM,
WITH A MINIMUM DIMENSION OF 4m
GRADIENT NO STEEPER THAN 1:10

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bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

SITE PLAN

1 : 200

REV. DATE DESCRIPTION

Client name:
LG & EM HOLDINGS PTY LTD

Project:
PROPOSED RESIDENCE
LOT 4, 71 GROVE ROAD
GLENORCHY

Drawing:
SITE PLAN

Date: 02.04.2026
Drafted by: D.D.H.
Approved by: Approver

Project/Drawing no: PDH25098 - 01
Scale: 1 : 200
Revision: 01

Accredited building practitioner: Frank Gekus -No CC246A
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PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

LEGEND

- GP

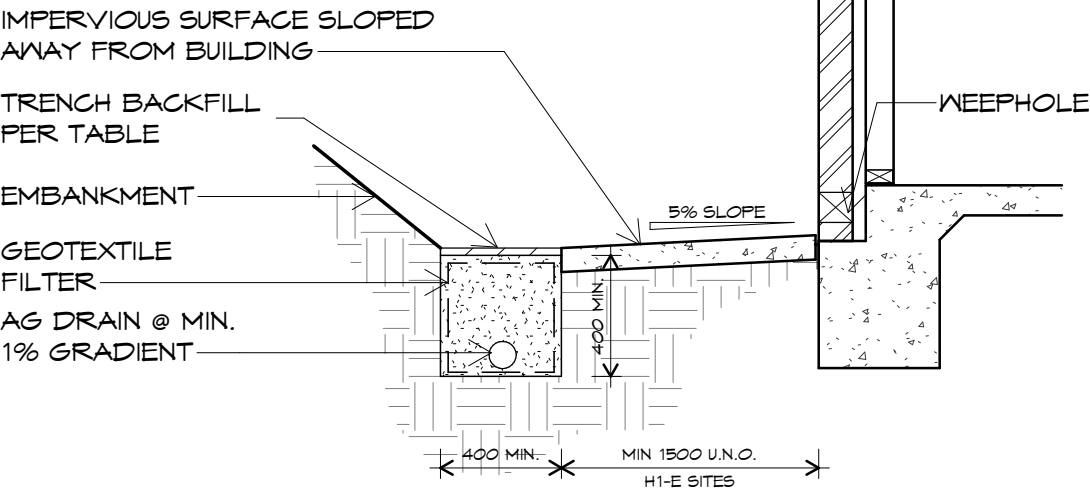
450X 450 SURFACE DRAINAGE PIT
- WET AREAS
- SEWER LINE
- STORMWATER LINE
- 100Ø AG DRAIN
- GT

150mm WIDE GRATED TRENCH

PLUMBING NOTES:
ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES.
ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF AS 3500.2021 & THE TASMANIAN PLUMBING CODE. AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

TRENCH BACKFILL PER SITE CLASS TO COMPLY WITH A52870 PART 5.6.3

SOIL CLASS	BACKFILL MATERIAL
A-S	CRUSHED DRAINAGE ROCK
M-E	COMPACTED CLAY

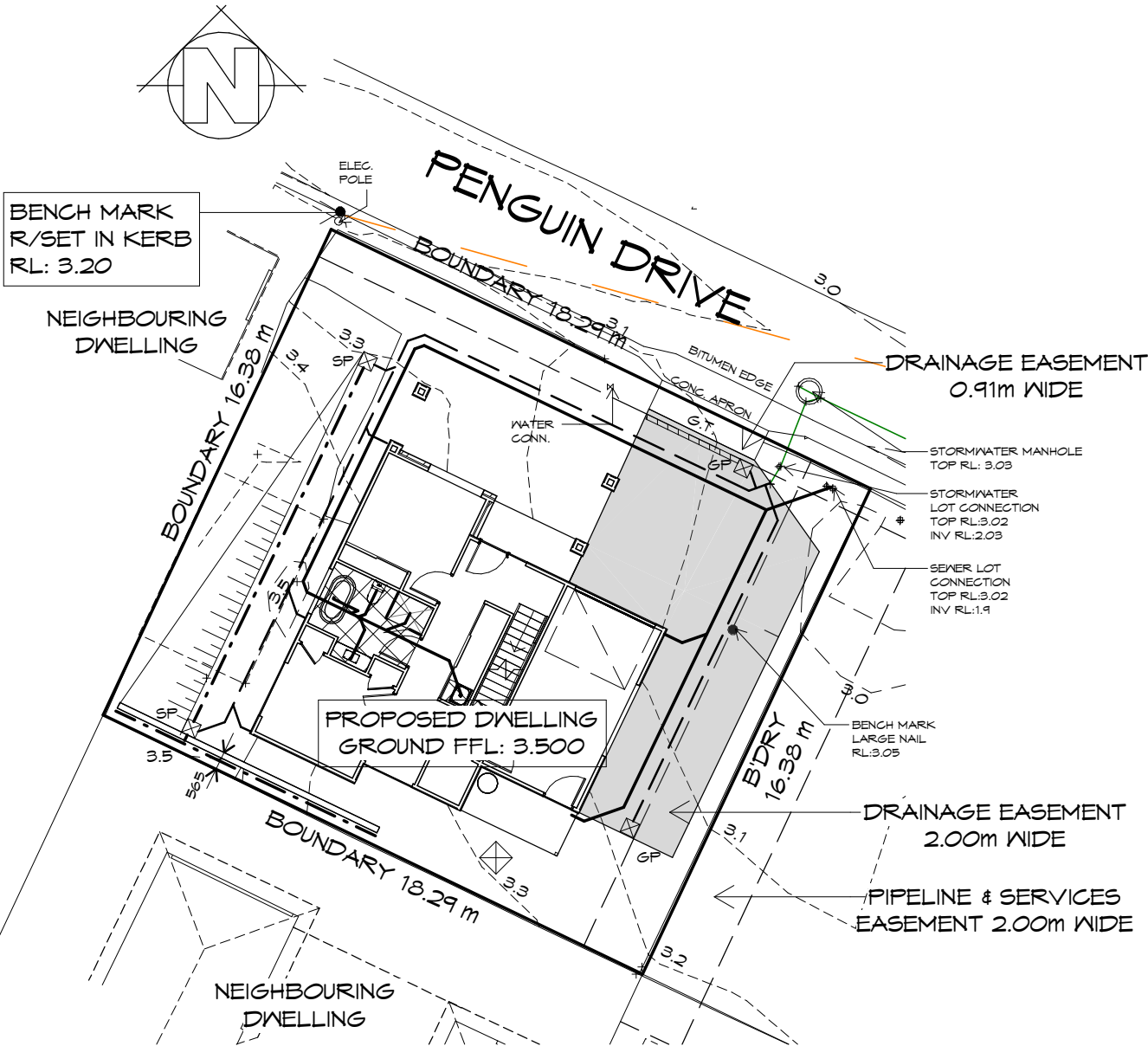


TYPICAL AG DRAIN DETAIL

N.T.S.



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SITE DRAINAGE PLAN

1 : 200

REV.	DATE	DESCRIPTION
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Client name:
LG & EM HOLDINGS PTY LTD

Project:
PROPOSED RESIDENCE
LOT 4, 71 GROVE ROAD
GLENORCHY

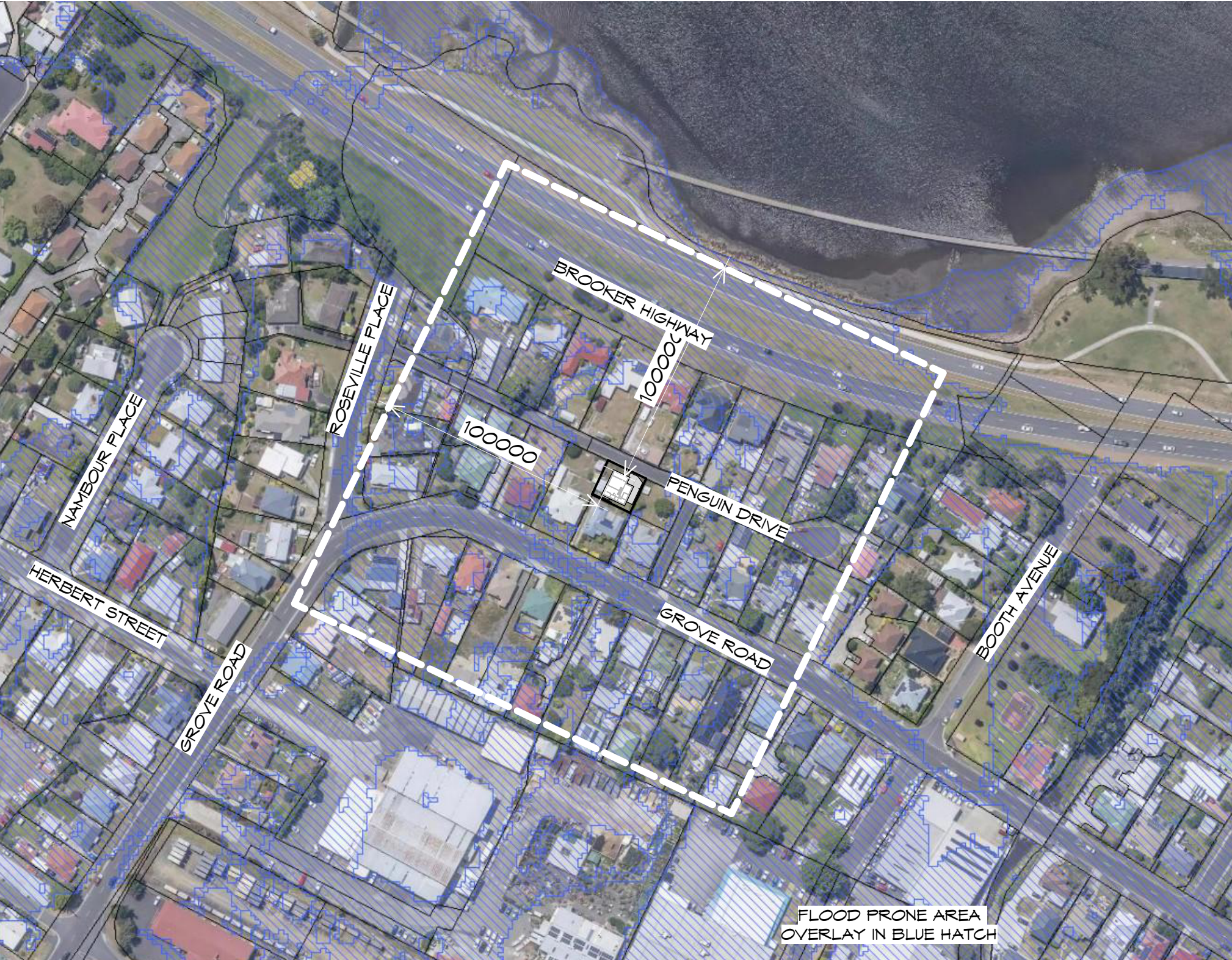
Drawing:
SITE DRAINAGE PLAN

Date: 02.04.2026	Drafted by: D.D.H.	Approved by: Approver
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Project/Drawing no: PDH25098 - 02	Scale: As indicated	Revision: 01
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LOCALITY PLAN

1 : 2000

THIS SITE IS ZONED INNER RESIDENTIAL AND DOES NOT FALL WITHIN A BUSHFIRE PRONE AREAS OVERLAY, THEREFORE DOES NOT REQUIRE A BUSHFIRE ASSESSMENT.



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REV.	DATE	DESCRIPTION
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Client name:
LG & EM HOLDINGS PTY LTD

Project:
PROPOSED RESIDENCE
LOT 4, 71 GROVE ROAD
GLENORCHY

Drawing:
LOCALITY PLAN

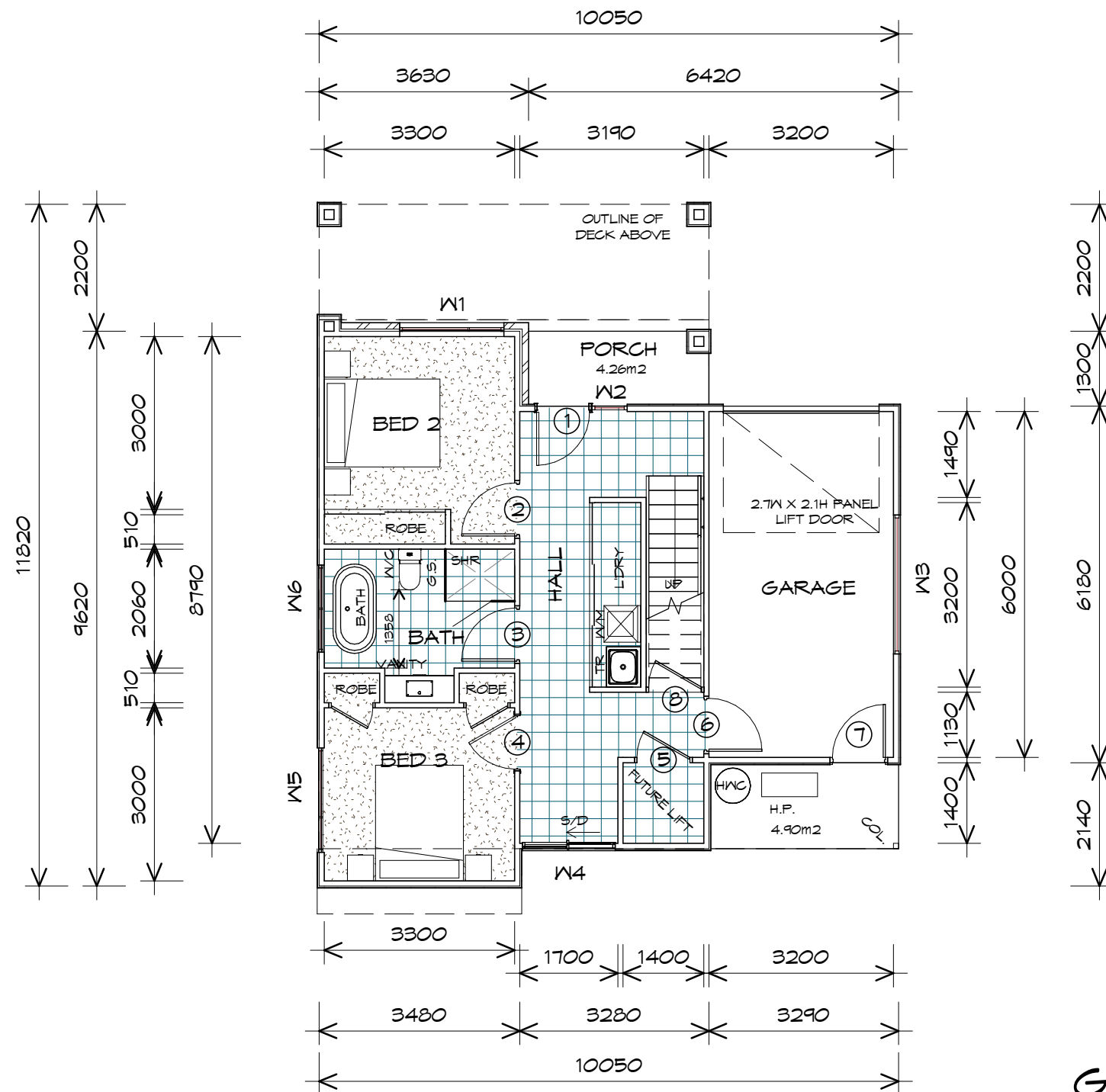
Date: 02.04.2026	Drafted by: D.D.H.	Approved by: Approver
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- LEGEND**
- CSD CAVITY SLIDING DOOR
 - S/D SLIDING DOOR
 - COL COLUMN
 - G.S. GLASS SCREEN
 - HWC HOT WATER CYLINDER
 - S.Q. SQUARE STOP

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No **PLN-26-077**

DATE RECEIVED **02/04/26**

GROUND FLOOR PLAN

1 : 100

GROUND FLOOR AREA	58.99	m2	(6.35	SQUARES)
GARAGE AREA	21.04	m2	(2.27	SQUARES)
FIRST FLOOR AREA	90.72	m2	(9.77	SQUARES)
TOTAL AREA	170.76		18.38	

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

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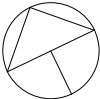
Project:
PROPOSED RESIDENCE
LOT 4, 71 GROVE ROAD
GLENORCHY

Drawing:
GROUND FLOOR PLAN

Date: 02.04.2026
Drafted by: D.D.H.
Approved by: Approver

Project/Drawing no: PDH25098 - 04
Scale: 1 : 100
Revision: 01

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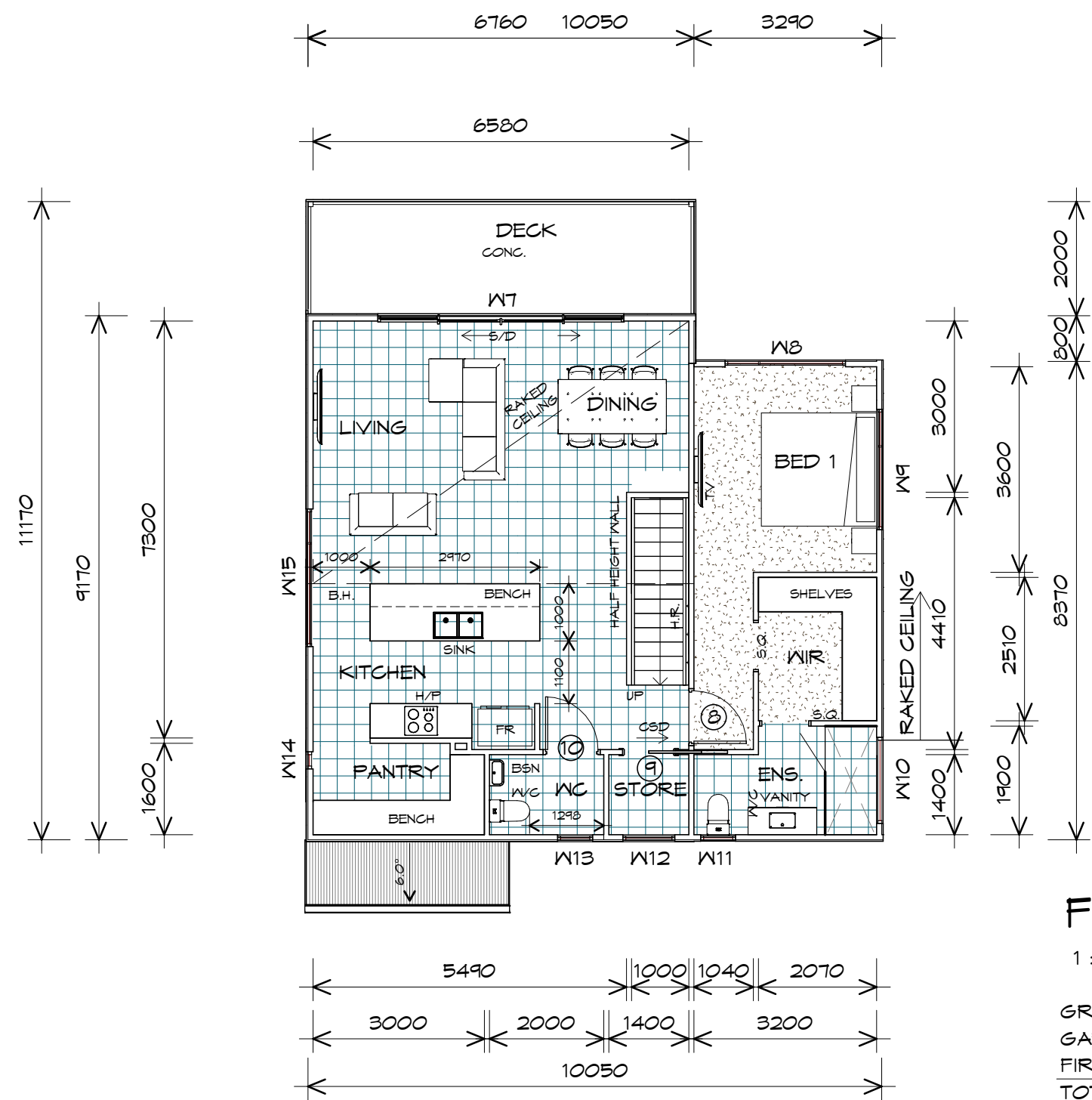
LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- S.Q. SQUARE STOP

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No PLN-26-077

DATE RECEIVED 02/04/26



FIRST FLOOR PLAN

1 : 100

GROUND FLOOR AREA	58.99	m2	(6.35	SQUARES)
GARAGE AREA	21.04	m2	(2.27	SQUARES)
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TOTAL AREA	170.76		18.38	

NOTE:
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Date:	Drafted by:	Approved by:
02.04.2026	D.D.H.	Approver
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PDH25098 - 05	1 : 100	01

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PROPOSED RESIDENCE
LOT 4, 71 GROVE ROAD
GLENORCHY

Drawing:
FIRST FLOOR PLAN

PLANNING
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REV.	DATE	DESCRIPTION
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GROUND FLOOR DOOR SCHEDULE				
MARK	WIDTH	TYPE		REMARKS
1	920	EXTERNAL ENTRY DOOR		
2	920	INTERNAL TIMBER DOOR		
3	920	INTERNAL TIMBER DOOR		
4	920	INTERNAL TIMBER DOOR		
5	920	ROBE DOOR		
6	920	INTERNAL TIMBER DOOR		
7	920	GLAZED EXTERNAL DOOR		
8	920	ROBE DOOR		1800 HIGH; CONFIRM ON-SITE ONCE STAIR INSTALLED

GROUND FLOOR WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	2100	1810	AWNING WINDOW	
W2	2100	610	FIXED WINDOW	
W3	600	2410	FIXED WINDOW	
W4	2100	1610	SLIDING DOOR	
W5	2100	1810	AWNING WINDOW	
W6	750	1510	AWNING WINDOW	OPAQUE

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE WITH FLY SCREENS
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING

FIRST FLOOR DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
8	920	INTERNAL TIMBER DOOR	
9	920	CAVITY SLIDING DOOR	
10	920	INTERNAL TIMBER DOOR	

FIRST FLOOR WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W7	2100	4310	DOUBLE SLIDING DOOR	COUPLED WITH W16
W8	2100	2110	AWNING WINDOW	
W9	600	2110	AWNING WINDOW	
W10	400	1510	FIXED WINDOW	
W11	900	610	AWNING WINDOW	OPAQUE
W12	600	910	AWNING WINDOW	OPAQUE
W13	900	610	AWNING WINDOW	OPAQUE
W14	2100	300	FIXED WINDOW	
W15	2100	2410	AWNING WINDOW	



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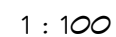
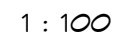
Client name:
LG & EM HOLDINGS PTY LTD

Project:
PROPOSED RESIDENCE
LOT 4, 71 GROVE ROAD
GLENORCHY

Drawing:
DOOR AND WINDOW SCHEDULES

Date: 02.04.2026	Drafted by: D.D.H.	Approved by: Approver
Project/Drawing no: PDH25098 - 06	Scale:	Revision: 01

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Date: 02.04.2026	Drafted by: D.D.H.	Approved by: Approver
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Project:
PROPOSED RESIDENCE
LOT 4, 71 GROVE ROAD
GLENORCHY

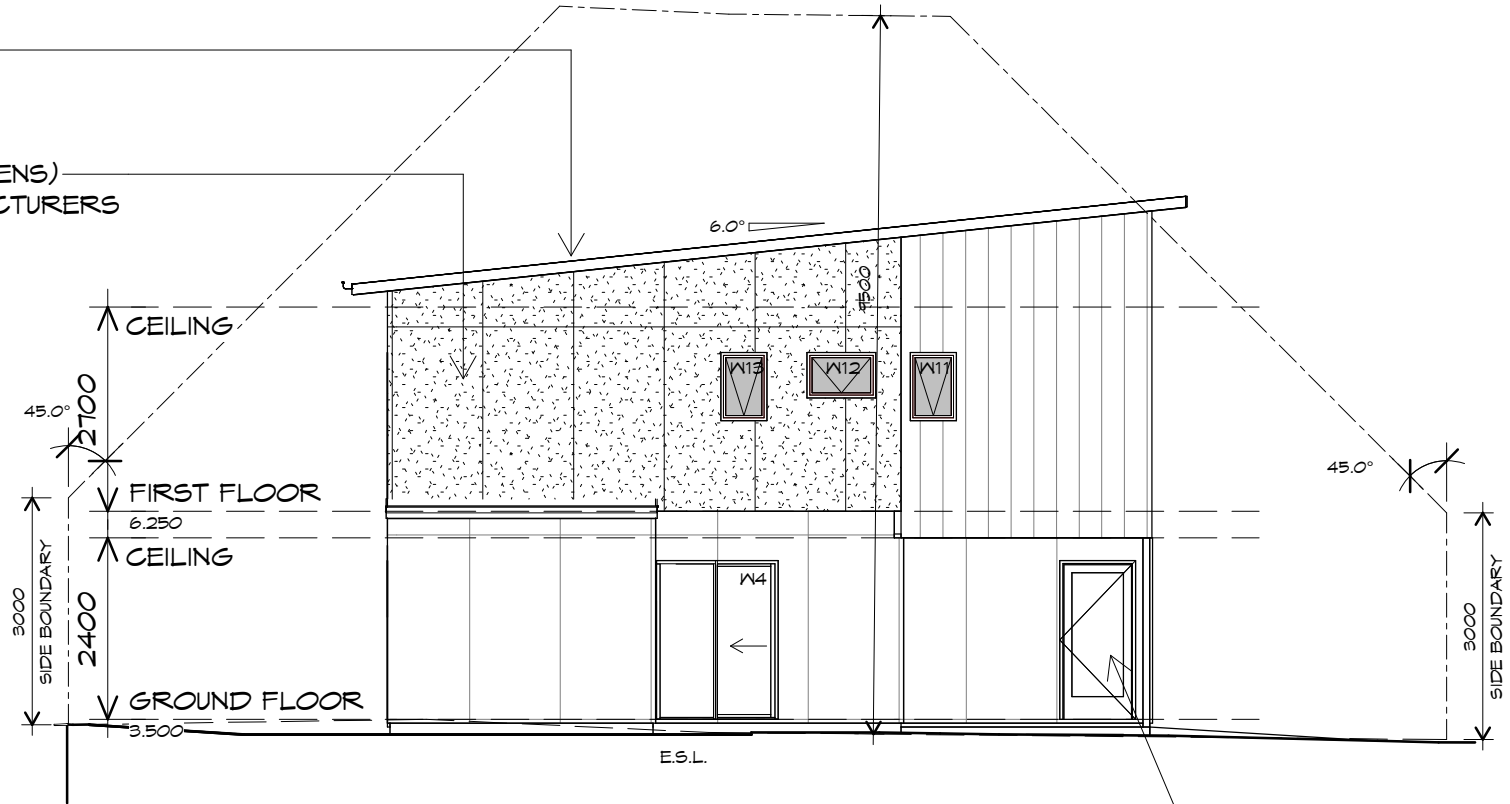
Drawing:
ELEVATIONS

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

ROOF CLADDING
COLORBOND CUSTOM ORB
TO CLIENTS SPECS.

CEMINTEL SIMPLELINE (ON BATTENS)
INSTALL AND COAT TO MANUFACTURERS
SPECIFICATIONS.



SOUTH WESTERN ELEVATION

1 : 100

ROOF FRAMING
PREFABRICATED ROOF TRUSSES
@ 900 CRS MAX
BRACING BY OTHERS

STRUCTURE STANDING
SEAM (ON BATTENS)
INSTALL AND COAT TO
MANUFACTURERS
SPECIFICATIONS.

LANDSCAPE RETAINING WALL
INSTALL PER MANUFACTURERS SPEC.

CEMINTEL BARESTONE (ON BATTENS)
INSTALL AND COAT TO MANUFACTURERS
SPECIFICATIONS.

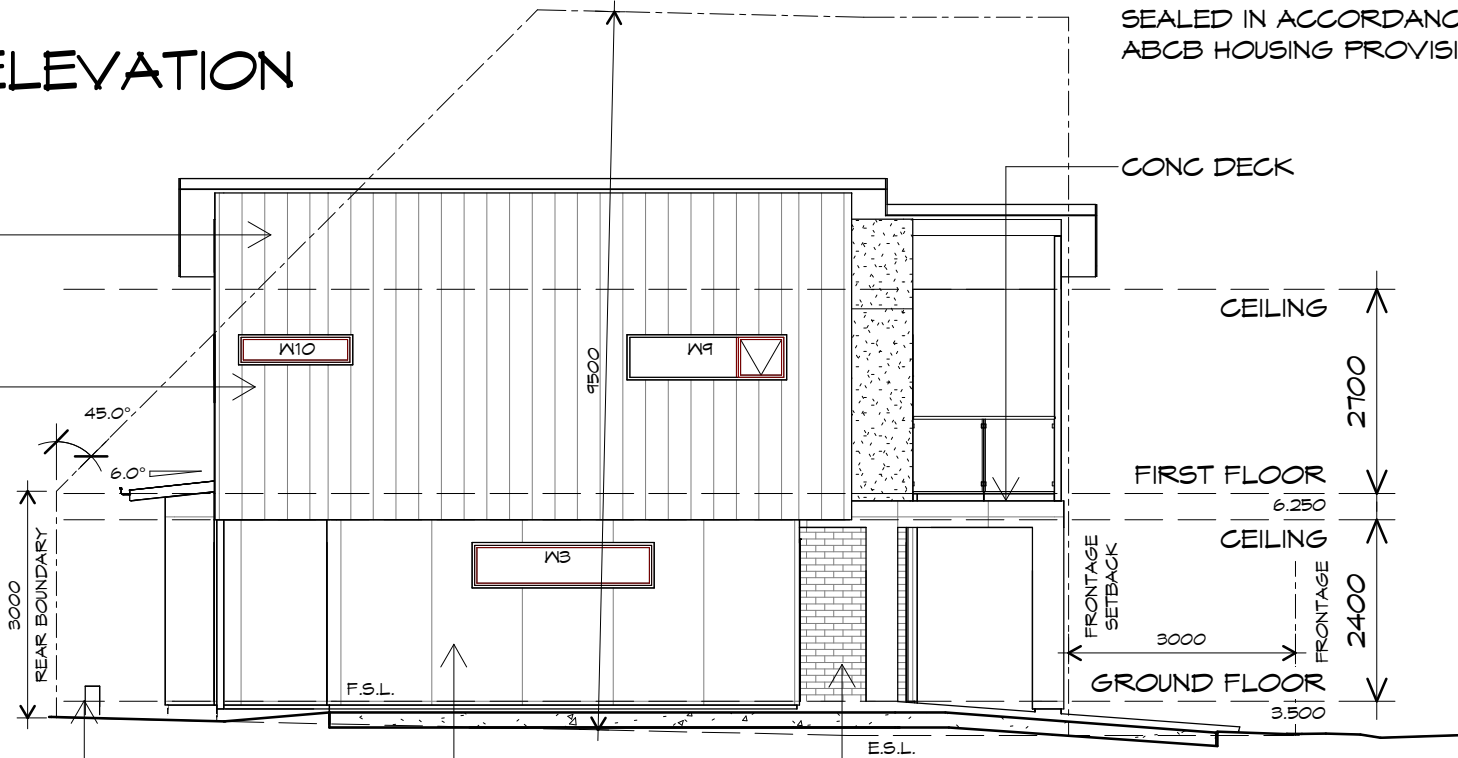
BRICKWORK
SELECTED FIRED CLAY
FACE BRICKS.
RAKED JOINTS, STRETCHER BOND
REFER ENGINEER FOR
ARTICULATION JOINTS
ALL MASONRY TO COMPLY
WITH ABCB HOUSING PROVISIONS PART 5

NORTH WESTERN ELEVATION

1 : 100

DOORS AND WINDOWS TO BE
SEALED IN ACCORDANCE WITH
ABCB HOUSING PROVISIONS PART 13.4

CONC DECK



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GLENORCHY

Drawing:
ELEVATIONS

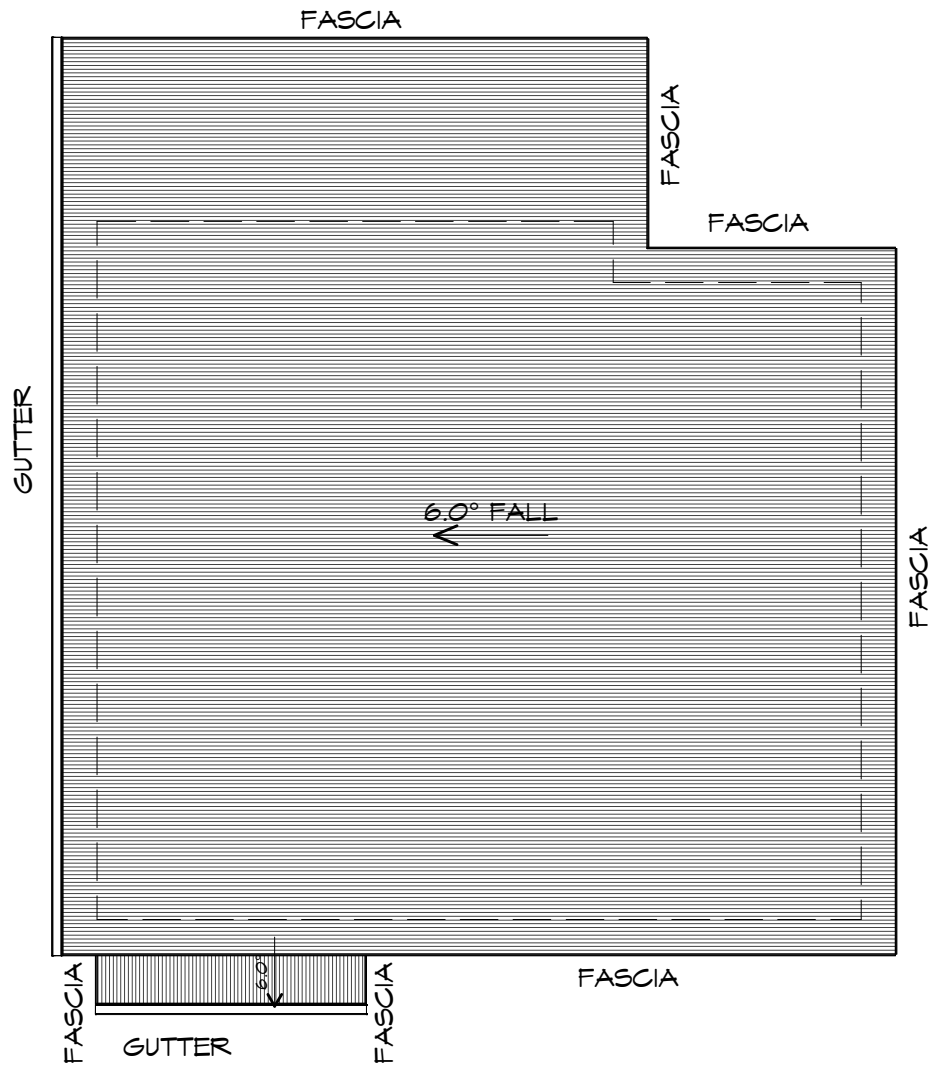
Date: 02.04.2026
Drafted by: D.D.H.
Approved by: Approver

Project/Drawing no: PDH25098 - 08
Scale: 1 : 100
Revision: 01

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ROOF PLAN
1 : 100



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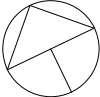
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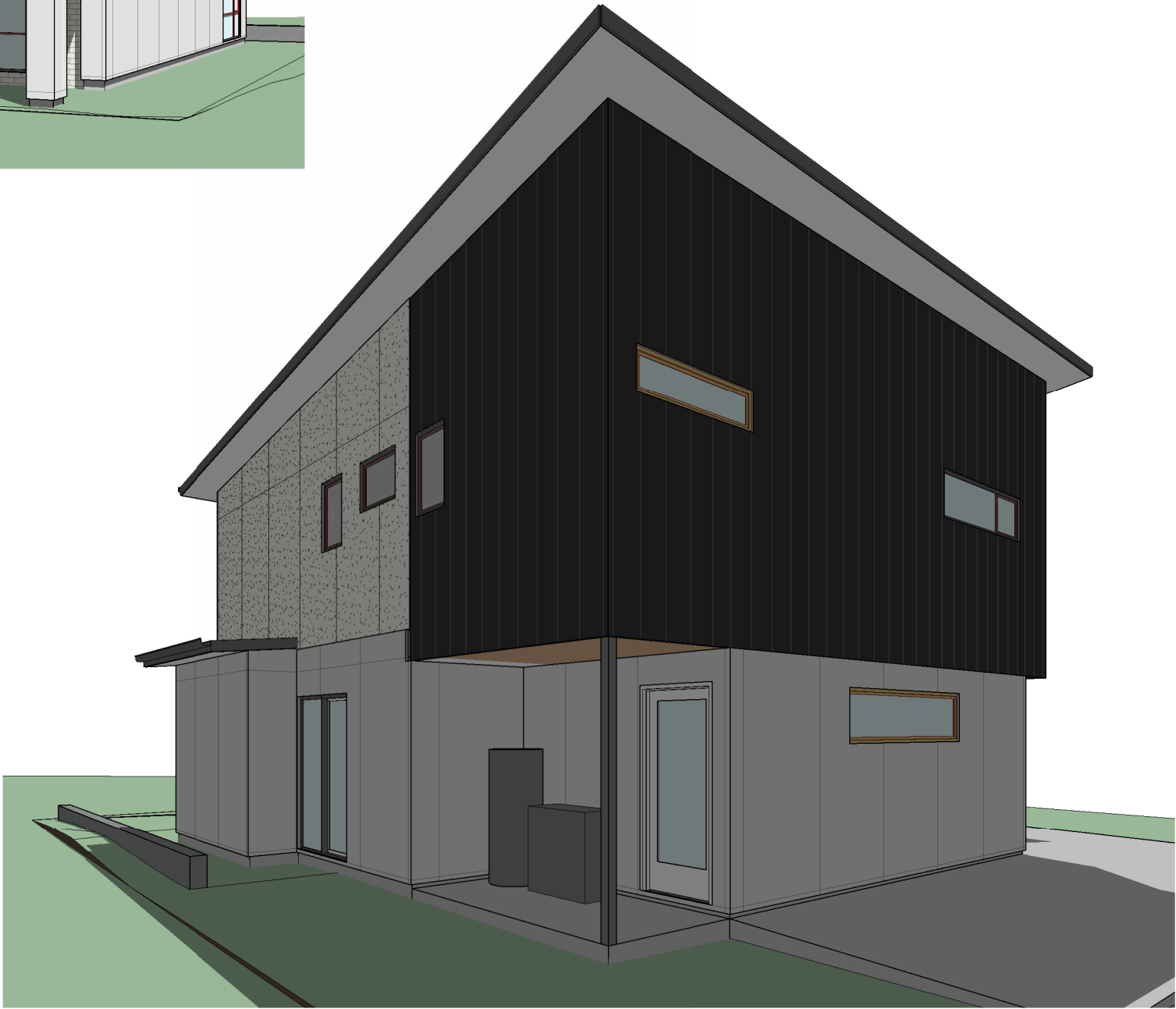
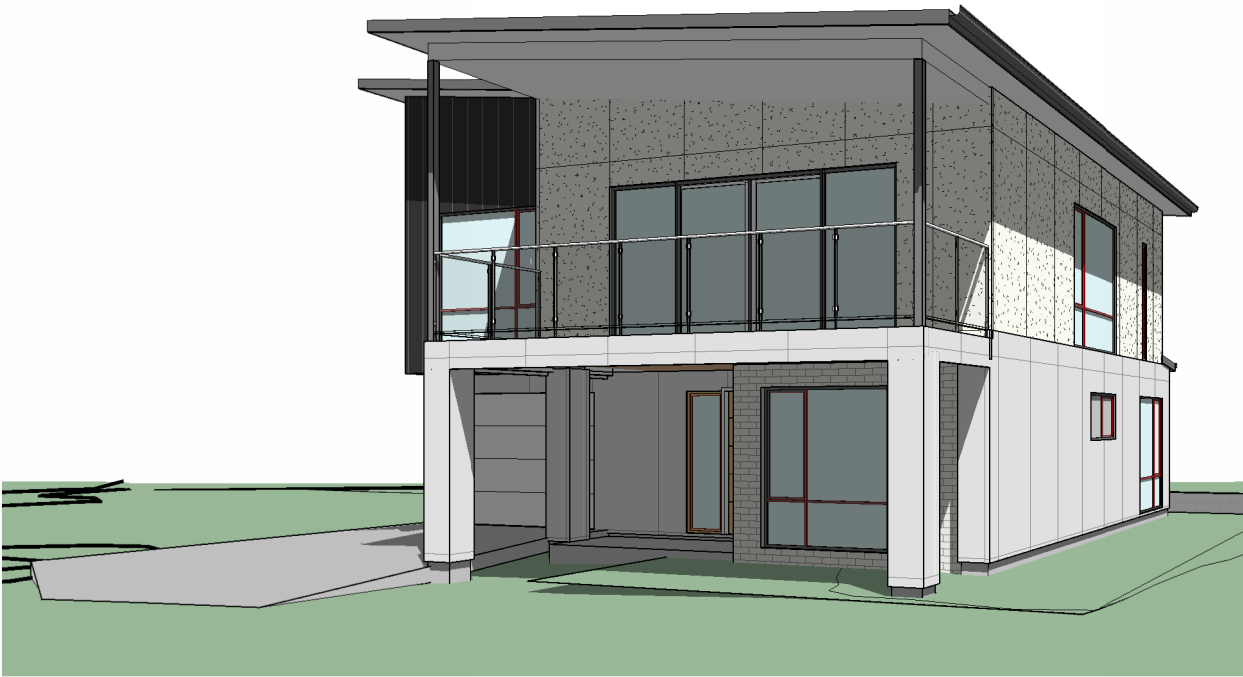
Drawing:
ROOF PLAN



Date: 02.04.2026	Drafted by: D.D.H.	Approved by: Approver
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Project/Drawing no: PDH25098 - 09	Scale: 1 : 100	Revision: 01
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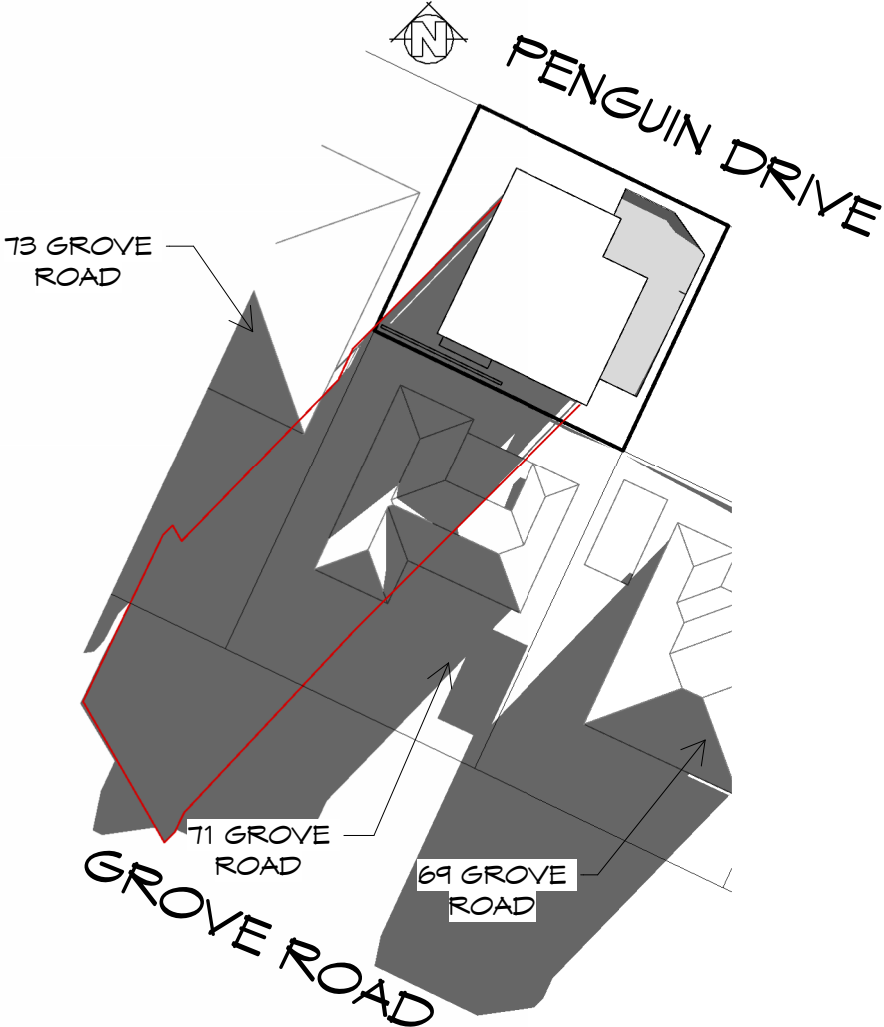
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Drawing:
PERSPECTIVES

Date: 02.04.2026	Drafted by: D.D.H.	Approved by: Approver
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Project/Drawing no: PDH25098 - 10	Scale:	Revision: 01
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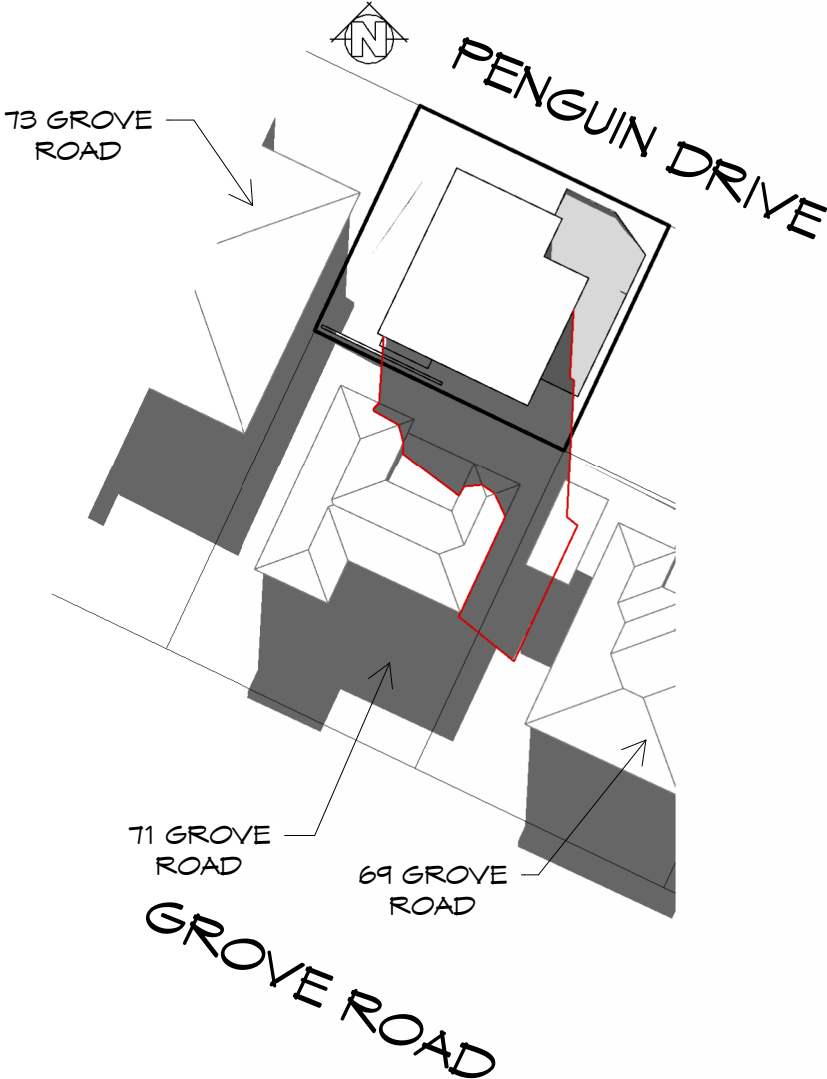
Accredited building practitioner: Frank Geskus -No CC246A
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SHADOW DIAGRAM @ 9AM

1 : 500

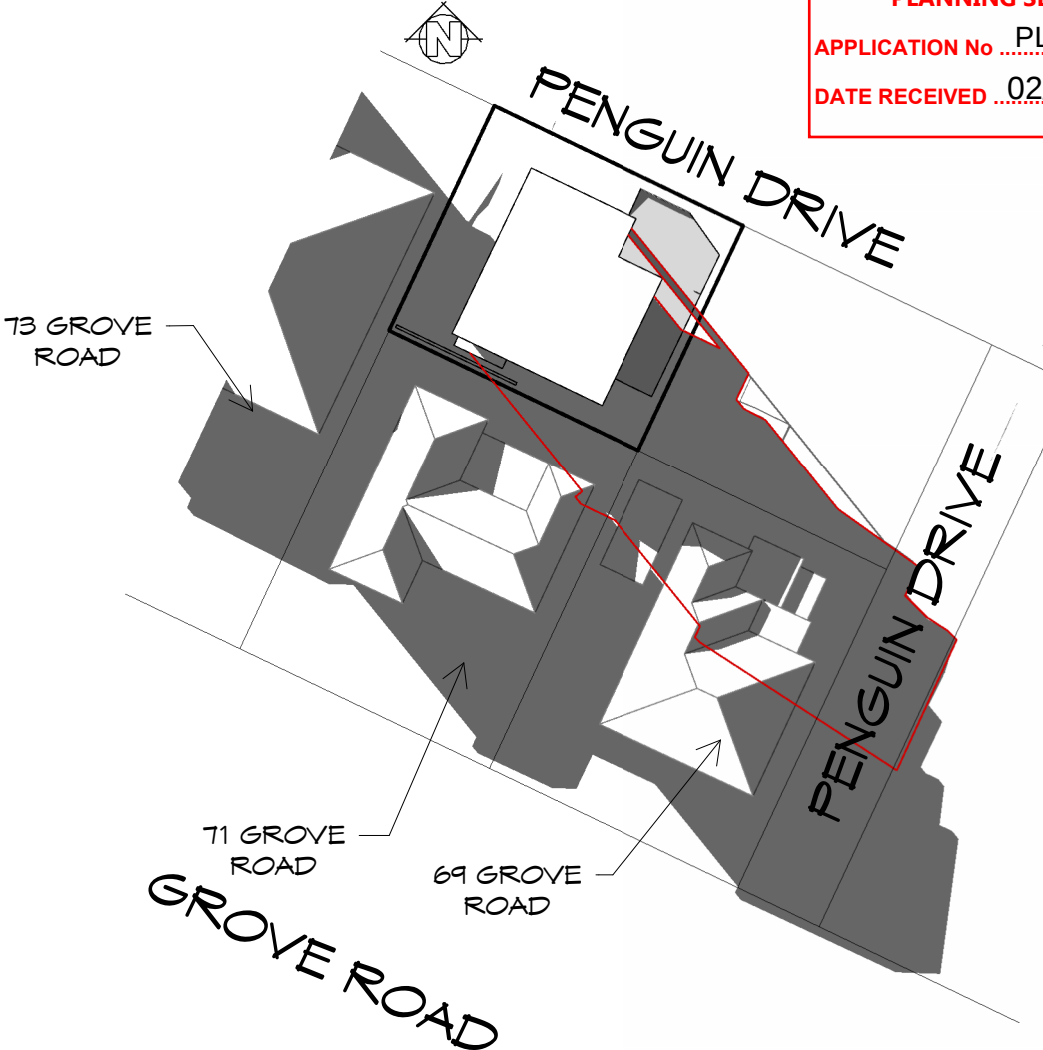
GENERAL INFORMATION
NORTH: TRUE NORTH
DAY LIGHT SAVINGS: OFF
DATE: JUNE 21st 2026
TIME: 9:00AM



SHADOW DIAGRAM @ 12PM

1 : 500

GENERAL INFORMATION
NORTH: TRUE NORTH
DAY LIGHT SAVINGS: OFF
DATE: JUNE 21st 2026
TIME: 12:00PM



SHADOW DIAGRAM @ 3PM

1 : 500

GENERAL INFORMATION
NORTH: TRUE NORTH
DAY LIGHT SAVINGS: OFF
DATE: JUNE 21st 2026
TIME: 3:00PM