

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-26-103
PROPOSED DEVELOPMENT:	Single Dwelling
LOCATION:	10 Boston Court Claremont
APPLICANT:	Wilson Homes Tasmania Pty Ltd
ADVERTISING START DATE:	21/07/2026
ADVERTISING EXPIRY DATE:	04/08/2026

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **04/08/2026**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **04/08/2026**, or for postal and hand delivered representations, by 5.00 pm on **04/08/2026**.

DA
TASMANIAN PLANNING SCHEME

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TOTAL FLOOR AREAS

MAIN DWELLING, GROUND FLOOR	
GARAGE	39.82
LIVING	284.21
PATIO	36.00
PORCH	5.06
	365.10 m²

HIGHLY REACTIVE /
PROBLEMATIC SOIL TYPE.
REFER TO HYDRAULICS PLANS
AND DETAILS PREPARED BY
GANDY AND ROBERTS

AS & NCC COMPLIANCE

- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH NCC 2022 AND APPLICABLE AUSTRALIAN STANDARDS AT TIME OF APPROVAL.
- SLAB IN ACCORDANCE WITH AS 2870. REFER TO ENGINEERS DETAILS FOR ALL SLAB DETAILS.
 - BRICK CONTROL JOINTS PROVIDED IN ACCORDANCE WITH NCC 2022.
 - ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-2020 OR AS/NZS 4600-2018.
 - INSULATION TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 AND ALL APPLICABLE AUSTRALIAN STANDARDS.
 - TERMITE PROTECTION IN ACCORDANCE WITH AS 3660 AND NCC 2022.
 - GLAZING IN ACCORDANCE WITH AS 1288 AND NCC 2022.
 - SMOKE ALARMS IN ACCORDANCE WITH AS 3786 AND NCC 2022.
 - INTERNAL WATERPROOFING IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS PART 10.2.
 - EXTERNAL WATERPROOFING IN ACCORDANCE WITH AS 3740 AND AS 4654.
 - WET AREA FLOORS TO FALL TO FLOOR WASTES AT MIN. 1:80 AND MAX. 1:50 GRADE (IF APPLICABLE).
 - CONDENSATION MANAGEMENT IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS PART 10.8.
 - BUILDING SEALING IN ACCORDANCE WITH NCC 2022.
 - SERVICES IN ACCORDANCE WITH NCC 2022.
 - EARTHWORKS IN ACCORDANCE WITH AS 3798-2007.
 - EXTERNAL WALL WRAP (SARKING) IN ACCORDANCE WITH NCC 2022 (IF APPLICABLE).
 - EXHAUST FANS DUCTED TO OUTSIDE AIR (IF APPLICABLE).

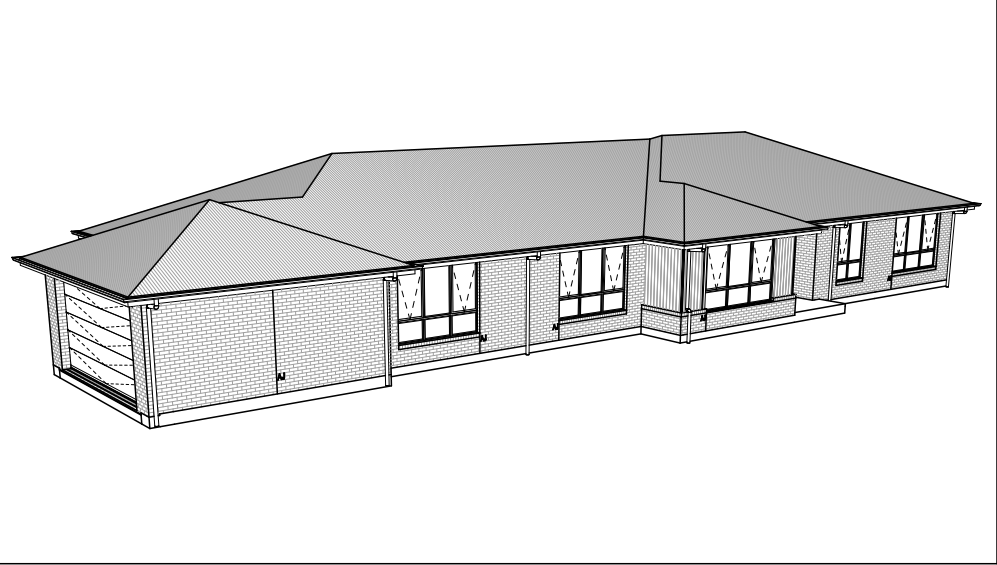
SITE SPECIFIC CONTROLS

CONTROL	DETAILS
ACID SULPHATE SOIL	NO
BIODIVERSITY	NO
BUILDING ENVELOPE	NO
BUSHFIRE	BAL-LOW
CLIMATE ZONE (NCC)	ZONE 7 - COOL TEMPERATE
DESIGN WIND CLASSIFICATION	N3 (EXPOSED TBC)
ESTATE/DEVELOPER GUIDELINES	NO
FLOOD OVERLAY	NO
HERITAGE	NO
LANDSLIP HAZARD	NO
MINIMUM FLOOR LEVEL	NO
NATURAL ASSET CODE	NO
NOISE ATTENUATION	NO
SALINE SOIL	NO
SHIELDING FACTOR	NS - NO SHIELDING
SITE CLASSIFICATION	P
SPECIFIC AREA PLAN OVERLAY	NO
TERRAIN CATEGORY	TC2
TOPOGRAPHIC CLASSIFICATION	T2
WATERWAY & COASTAL OVERLAY	NO
WIND REGION	A - NORMAL
WITHIN 1km CALM SALT WATER	NO
WITHIN 50km BREAKING SURF	23.00km
ZONING	LOW DENSITY RESIDENTIAL
LOCAL GOVERNMENT AUTHORITY	
PRIORITY VEGETATION AREA	

BUILDING CONTROLS & COMPLIANCE

CONTROL	REQUIRED	PROPOSED
SETBACKS		
FRONT	MIN. 8,000mm	4,986mm
SIDE A	MIN. 5,000mm	6,000mm
SIDE B	MIN. 5,000mm	6,138mm
REAR	MIN. 5,000mm	3,173mm
BULK & SCALE		
SITE AREA	1,132m²	
SITE COVERAGE	MAX. 30%	32.25%
LANDSCAPE		
NO APPLICABLE CONTROLS		
EARTHWORKS		
CUT DEPTH	MAX. 2,000mm	837mm
FILL DEPTH	MAX. 800mm	799mm
ACCESS & AMENITY		
PARKING SPACES	MIN. 2 SPACES	2 SPACES

3D PERSPECTIVE



NOTE TO OWNER

THESE PLANS MAY FEATURE WORKS THAT ARE EXCLUDED FROM THE SCOPE OF WORKS WITH THE BUILDER, BUT THEY HAVE BEEN INCLUDED IN THESE DRAWINGS TO ASSIST IN THE OVERALL PLANNING AND ASSESSMENT OF THE BUILDING PROJECT. EXAMPLES OF SOME REGULARLY EXCLUDED WORKS INCLUDE DRIVEWAYS, RETAINING WALLS, SOLAR PANEL SPACING AND SITE DRAINAGE. PLEASE REFER TO YOUR SCOPE OF WORKS AND COLOUR SELECTIONS DOCUMENTATION FOR DETAILS OF INCLUDED WORKS. SOME DETAILS ARE INDICATIVE ONLY FOR EXAMPLE FLOORING, TILING, BRICKWORK AND CLADDING (EXPANSION JOINTS, ORIENTATION AND LAYOUT) AND ARE SUBJECT TO CHANGE.

LOCATION MAP



This Plan has been prepared prior to the receipt of one or more of the following documents:-
Certificate of Title inclusive of lot specific zoning, easement and covenant documents, BAL report and rating, approved subdivision plans providing crossover locations and service connection points, power and communications connection point information, Geotechnical Site Investigation, Contour Survey. Dial Before You Dig Information, Planning Approval.

BUILDING INFORMATION

GROUND FLOOR TOP OF WALL HEIGHT(S) 2755mm	
NOTE: CEILING HEIGHT 45mm LOWER THAN TOP OF WALL	
ROOF PITCH (U.N.O.)	23.0°
ELECTRICITY SUPPLY	SINGLE PHASE
GAS SUPPLY	NONE
ROOF MATERIAL	SHEET METAL
ROOF COLOUR	N/A
WALL MATERIAL	BRICK VENEER CLADDING
SLAB CLASSIFICATION	TBC

INSULATION

ROOF	SARKING UNDER ROOFING
CEILING	R4.1 BATTS (EXCL. GARAGE)
EXT. WALLS	R2.0 BATTS (EXCL. GARAGE) WALL WRAP TO ENTIRE HOUSE
INT. WALLS	R2.0 BATTS ADJACENT TO GARAGE AND AS PER PLAN
FLOOR	BIAX SLAB R0.60

NCC 2022 LIVABLE HOUSING COMPLIANCE

ACCESSIBLE SANITARY COMPARTMENT: PWD
ACCESSIBLE SHOWER LOCATION: BATH

GENERAL NOTES:

- THRESHOLD OF ACCESSIBLE SHOWER ENTRY TO BE MAX. 5MM
- 1 EXTERIOR DOOR NOMINATED AS 870 OR GREATER TO ACHIEVE MIN 820MM CLEAR OPENING
- REFER TO APPLICABLE WET AREA PLANS AND INTERIOR ELEVATIONS OR LOCATIONS OF REQUIRED WALL REINFORCEMENT FOR FUTURE GRAB RAIL INSTALLATION.

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. **PLN-26-103**
DATE RECEIVED **07.05.2026**

THE OWNERS ACKNOWLEDGE THAT THESE CONTRACT PLANS MAY NOT REFLECT ALL THE SELECTIONS THAT HAVE BEEN MADE OR CHANGES REQUESTED. THE OWNERS AGREE THAT FOLLOWING THE COLOUR SELECTIONS VARIATION OR UPDATING OF PLANS, THEY WILL BE PROVIDED WITH CONSTRUCTION PLANS FOR SIGNATURE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

SIGNATURE:

DATE:

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

PRELIMINARY PLAN SET

7	PRELIMINARY PLAN SET - INITIAL ISSUE	ALL	2026.04.29	TDI	-
No.	AMENDMENT	SHEET	DATE	DRAWN	CHECK

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	3	CONSOLIDATE PROPOSAL 1 - UPDATE		HMI	05/02/2026	MATTHEW JOHN CRAWFORD & KIM MARIE PARISH		SWANSEA 35		H-WATSWS10SA		
	4	CONSOLIDATE PROPOSAL 2		HMI	19/02/2026	ADDRESS:		FACADE DESIGN:		FACADE CODE:		
	5	CONSOLIDATE PROPOSAL 2 - UPDATE		HMI	03/03/2026	10 BOSTON CT, CLAREMONT TAS 7011		CLASSIC		F-WATSWS10CLASA		
	6	CONSOLIDATE PROPOSAL 3		HMI	09/04/2026	LOT / SECTION / CT:	COUNCIL:	SHEET TITLE:		SHEET No.:	SCALES:	
	7	PRELIM PLANS - INITIAL ISSUE		TDI	29/04/2026	14 / - / 186897	CLARENCE	COVER SHEET		1 / 21		

APPROX. CUT/FILL		
CUT	107.07m³	240.91
FILL	96.31m³	216.70
DIFFERENCE	10.76m³	24.21
24 TONNES OF EXPORT FILL		



PLAN ACCEPTANCE BY OWNER

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED
AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

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GRADE CODE: _____

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Version: 1, Version Date:



Document Set ID: 3642360

Version: 1, Version Date: 06/03/2026

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3	CONSOLIDATE PROPOSAL 1 - UPDATE
4	CONSOLIDATE PROPOSAL 2
5	CONSOLIDATE PROPOSAL 2 - UPDATE
6	CONSOLIDATE PROPOSAL 3
7	PRELIM PLANS - INITIAL ISSUE

DRAWN		CLIENT:	
HMI	05/02/2026	MATTHEW JOHN CRAWFORD	
HMI	19/02/2026	ADDRESS:	
HMI	03/03/2026	10 BOSTON CT, CLAREMONT	
HMI	09/04/2026	LOT / SECTION / CT:	CO
TDI	29/04/2026	14 / - / 186897	C

ORD & KIM MARIE PARISH

ONT TAS 7011

COUNCIL:

LARENCE

HOUSE DESIGN: SWANSEA 35	
FACADE DESIGN: CLASSIC	
SHEET TITLE: SITE PLAN	SHEET No.: 2 / 21

HOUSE CODE:	H-WATSWWS10SA
FACADE CODE:	F-WATSWWS10CLASA
SCALES:	1:200

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Template Version: 24.042
Last Published: Wednesday, April 29, 2026 10:03 PM

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

ALL MECHANICAL VENTILATION TO BE DISCHARGED TO OUTDOOR AIR AS PER NCC 2022 REQUIREMENTS

FIRE RESISTANT PLASTERBOARD TO BE INSTALLED BEHIND COOKTOP

ALL GROUND FLOOR BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2155 ABOVE FFL UNLESS NOTED OTHERWISE

REFER TO WINDOW AND DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS. PLEASE NOTE WINDOW AND DOOR SIZES ARE BASED ON MANUFACTURERS SPECIFICATIONS AT DEPOSIT STAGE AND MAY DIFFER SLIGHTLY TO THE SIZES NOMINATED IN THE SCOPE OF WORKS DUE TO MANUFACTURING CHANGES AT THE TIME OF CONSTRUCTION.

FINAL WINDOW AND EXTERIOR DOOR LOCATIONS MAY BE ADJUSTED ON SITE TO SUIT BRICKWORK GAUGE

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:



LEGEND

HS / WS	HOB SPOUT / WALL SPOUT
	FACE BRICK / COMMON BRICK
	RENDER
	R2.7 SOUND INSULATION
AJ	BRICK ARTICULATION JOINT
SDP	STANDARD DOWNSPIPE
CDP	CHARGED DOWNSPIPE
3D	DENOTES DRAWER SIDE
	MECHANICAL VENTILATION
L.B.W	LOAD BEARING WALL
PB	PLASTERBOARD
FC	FIBRE CEMENT
	THIS DOOR OPENS FIRST
	SMOKE ALARM
#	LIFT OFF HINGE
+	WATER POINT
	FLOOR WASTE
	GAS BAYONET

MAIN DWELLING, GROUND FLOOR	
GARAGE	39.82
LIVING	284.21
PATIO	36.00
PORCH	5.06
	365.10 m²

GLENORCHY CITY COUNCIL PLANNING SERVICES

APPLICATION No **PLN-26-103**

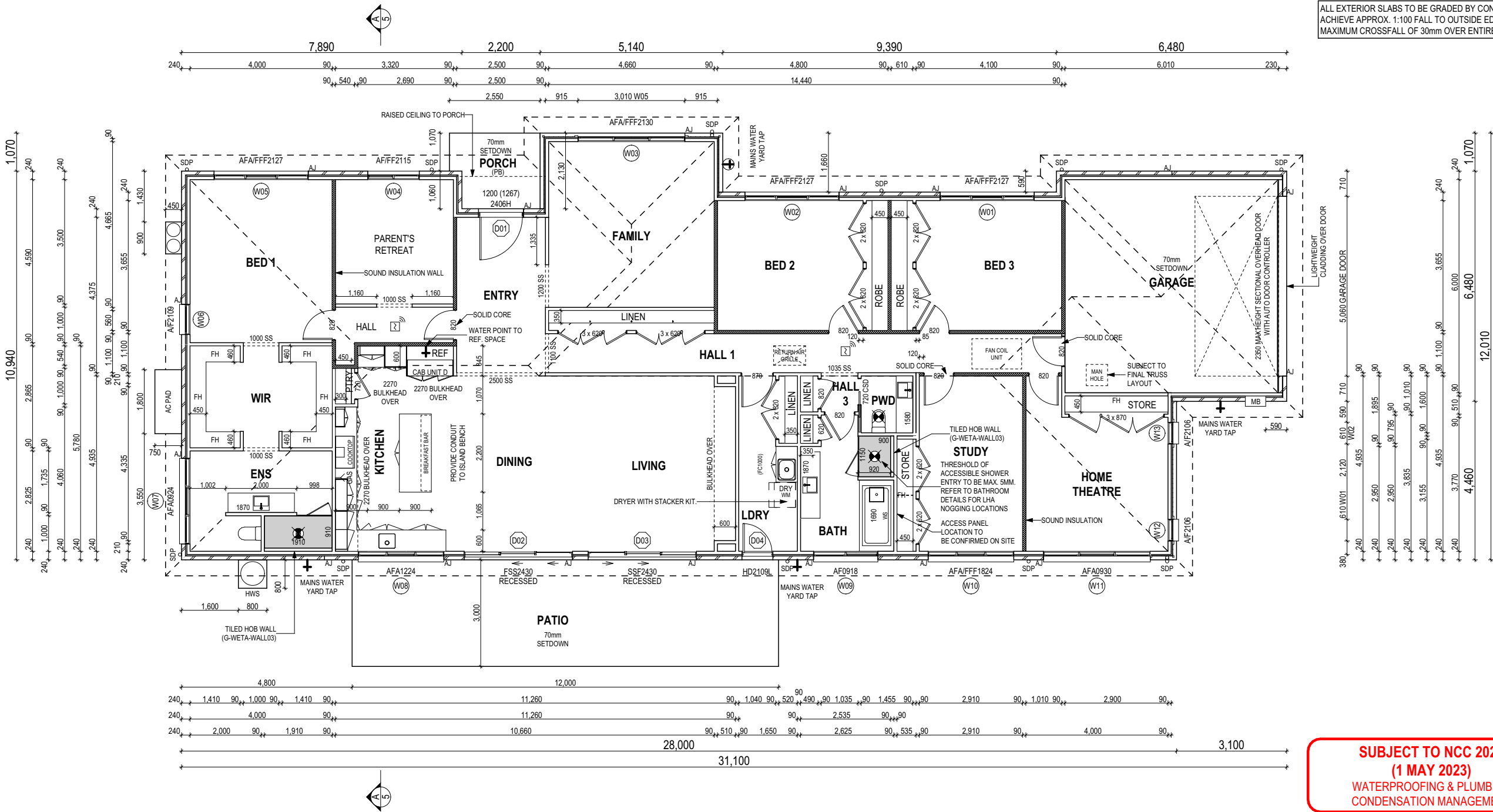
DATE RECEIVED **07.05.2026**

PROVIDE AND INSTALL SINGLE PHASE REVERSE CYCLE AIR CONDITIONING SYSTEM. NUMBER AND POSITIONING OF OUTLETS AND THE FINAL LOCATION OF THE RETURN AIR GRILLE WILL BE DETERMINED ON SITE BY THE AIR CONDITIONING CONTRACTOR AND IS SUBJECT TO TRUSS LAYOUT AND ANY OTHER CONSTRUCTION CONSTRAINTS.

FRAME MANUFACTURER TO PROVIDE CLEARANCE FOR PASSAGE OF FAN COIL UNIT FROM RETURN AIR OPENING TO FINAL FAN COIL LOCATION.

ANY PART OF THE FASCIA, GUTTERING OR DOWNPIPE THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH NCC 2022

ALL EXTERIOR SLABS TO BE GRADED BY CONCRETER TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.



ALL DIMENSIONS ARE FRAME DIMENSIONS

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SUBJECT TO NCC 2022

(1 MAY 2023)

WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

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SPECIFICATION:

NEXTGEN

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REVISION

3

CONSOLIDATE PROPOSAL 1 - UPDATE

4

CONSOLIDATE PROPOSAL 2

5

CONSOLIDATE PROPOSAL 2 - UPDATE

6

CONSOLIDATE PROPOSAL 3

7

PRELIM PLANS - INITIAL ISSUE

DRAWN

HMI

05/02/2026

HMI

19/02/2026

HMI

03/03/2026

HMI

09/04/2026

TDI

29/04/2026

CLIENT:

MATTHEW JOHN CRAWFORD & KIM MARIE PARISH

ADDRESS:

10 BOSTON CT, CLAREMONT TAS 7011

LOT / SECTION / CT:

14 / - / 186897

COUNCIL:

CLARENCE

HOUSE DESIGN:

SWANSEA 35

FACADE DESIGN:

CLASSIC

SHEET TITLE:

GROUND FLOOR PLAN

HOUSE CODE:

H-WATSWWS10SA

FACADE CODE:

F-WATSWWS10CLASA

SHEET No.:

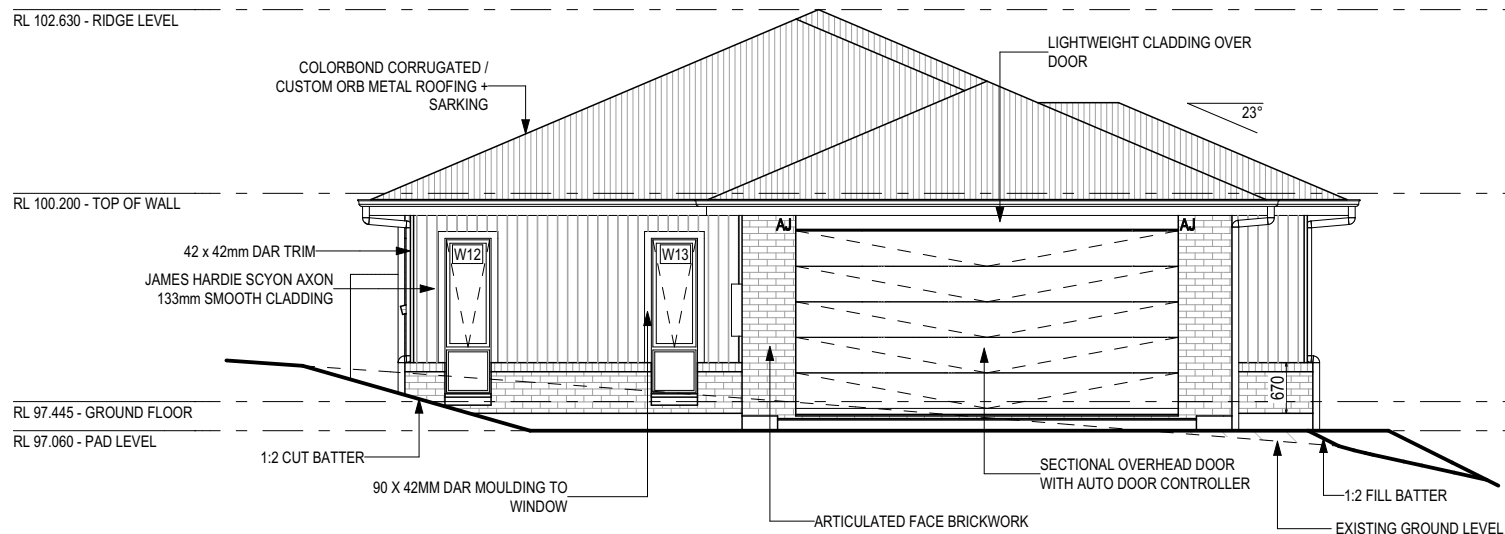
4 / 21

SCALES:

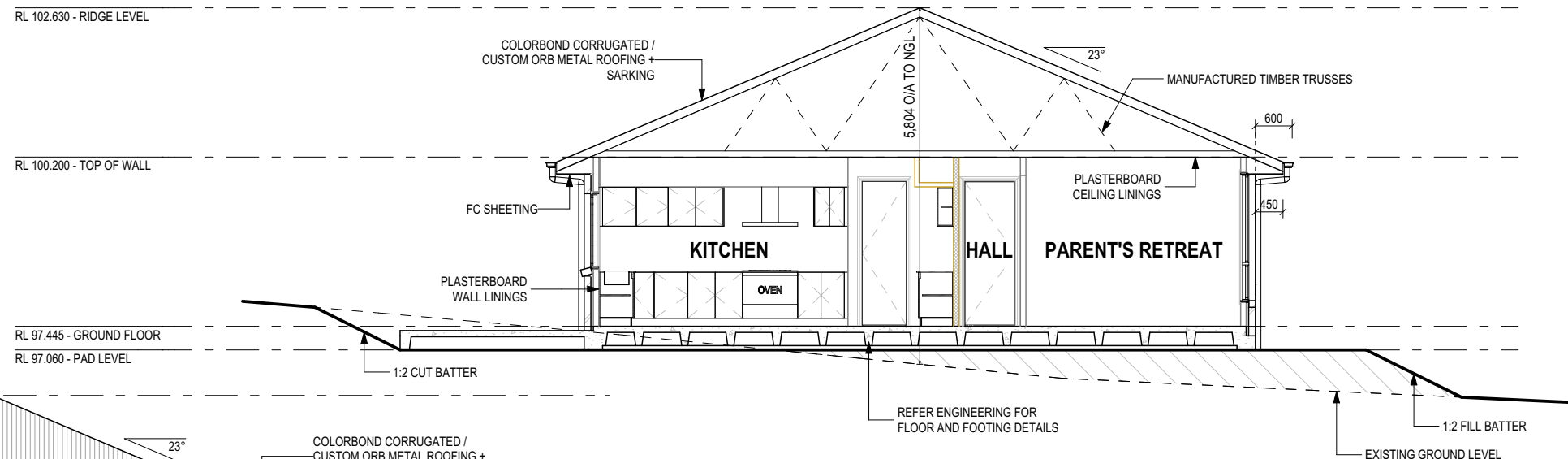
1:125

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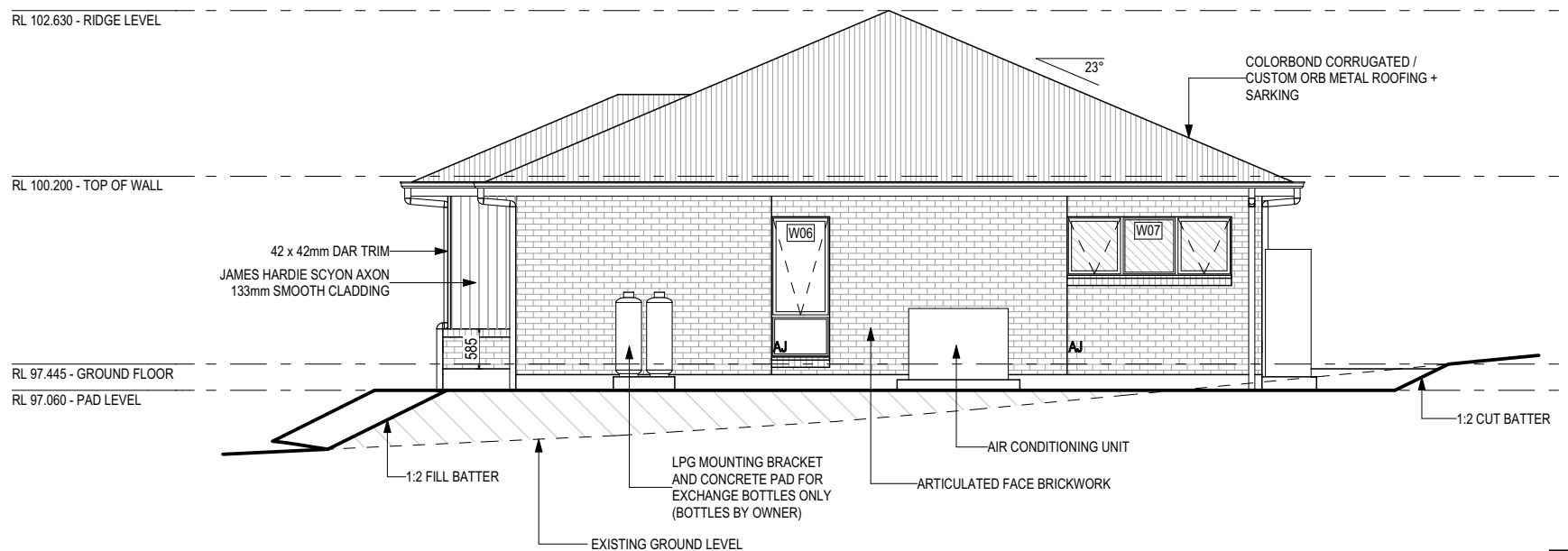
714542



NORTH WEST ELEVATION
SCALE: 1:100



SECTION A-A
SCALE: 1:100



SOUTH EAST ELEVATION
SCALE: 1:100

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No **PLN-26-103**

DATE RECEIVED **07.05.2026**

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

SOME DETAILS ON THIS SHEET ARE INDICATIVE ONLY FOR EXAMPLE BRICKWORK AND CLADDING (EXPANSION JOINTS, ORIENTATION AND LAYOUT) AND ARE SUBJECT TO CHANGE.

SH = SNAP HEADER SILL

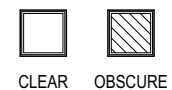
BEDROOM WINDOW OPENINGS ABOVE 2m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

ROOMS OTHER THAN BEDROOM WINDOW OPENINGS ABOVE 4m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

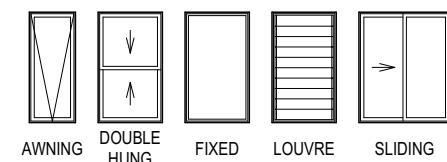
REFER TO THE FOLLOWING DETAILS:
BRICK COURSING **W-BRIC-001**

**SUBJECT TO NCC 2022
(1 MAY 2023)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

GLASS TYPE LEGEND



WINDOW TYPE LEGEND



PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

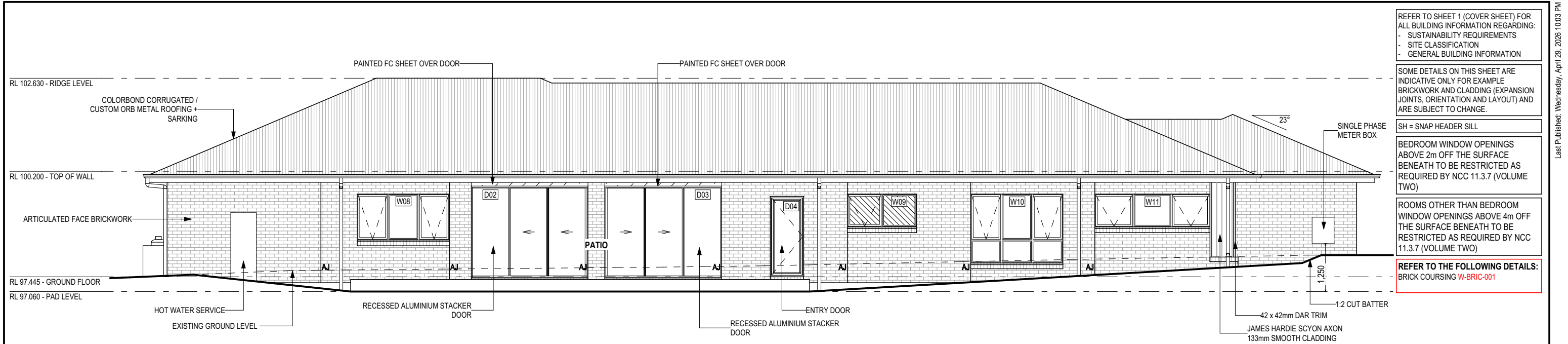
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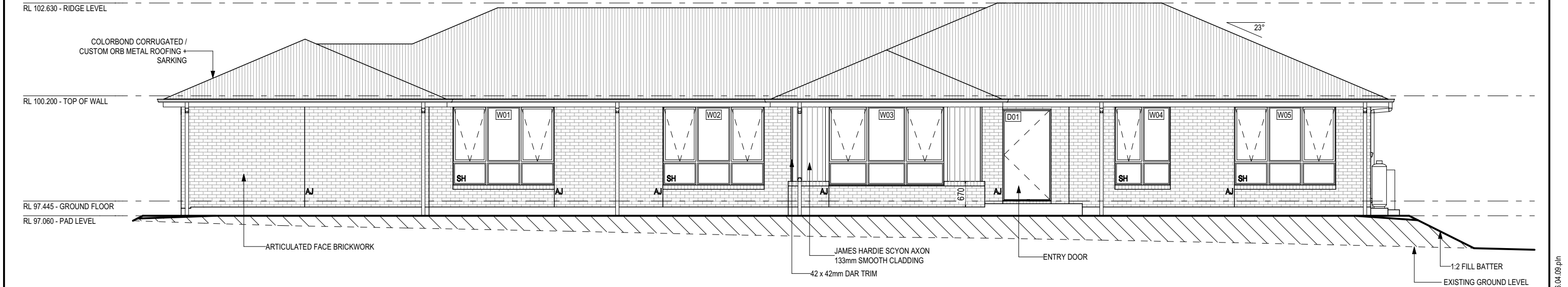


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	3	CONSOLIDATE PROPOSAL 1 - UPDATE	HMI	05/02/2026				
	4	CONSOLIDATE PROPOSAL 2	HMI	19/02/2026				
	5	CONSOLIDATE PROPOSAL 2 - UPDATE	HMI	03/03/2026				
	6	CONSOLIDATE PROPOSAL 3	HMI	09/04/2026				
	7	PRELIM PLANS - INITIAL ISSUE	TDI	29/04/2026				



NORTH EAST ELEVATION
SCALE: 1:100

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
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SOUTH WEST ELEVATION
SCALE: 1:100

**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT**

GLASS TYPE LEGEND	
	CLEAR
	OBSCURE

WINDOW TYPE LEGEND				
AWNING	DOUBLE HUNG	FIXED	LOUVRE	SLIDING

PLAN ACCEPTANCE BY OWNER	
SIGNATURE: _____	DATE: _____
SIGNATURE: _____	DATE: _____
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	NEXTGEN	3	CONSOLIDATE PROPOSAL 1 - UPDATE	HMI	05/02/2026	MATTHEW JOHN CRAWFORD & KIM MARIE PARISH			SWANSEA 35			H-WATSWS10SA
	COPYRIGHT:	4	CONSOLIDATE PROPOSAL 2	HMI	19/02/2026	ADDRESS:			FACADE DESIGN:			FACADE CODE:
	© 2026	5	CONSOLIDATE PROPOSAL 2 - UPDATE	HMI	03/03/2026	10 BOSTON CT, CLAREMONT TAS 7011			CLASSIC			F-WATSWS10CLASA
		6	CONSOLIDATE PROPOSAL 3	HMI	09/04/2026	LOT / SECTION / CT:	COUNCIL:	SHEET TITLE:	SHEET No.:	SCALES:		
		7	PRELIM PLANS - INITIAL ISSUE	TDI	29/04/2026	14 / - / 186897	CLARENCE	ELEVATIONS	6 / 21	1:100		714542

Template Version: 24/04/2024

EXTERIOR WINDOW & DOOR SCHEDULE ^{1,2} ASSUME LOOKING FROM OUTSIDE

STOREY	ID	CODE¹	TYPE	ROOM	HEIGHT	WIDTH	PERIMETER	AREA (m²)	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING AREA (m²)	GLAZING TYPE (SINGLE GLAZING U.N.O.)	ADDITIONAL INFORMATION²
WINDOW															
GROUND FLOOR	W01	AFA/FFF2127	AWNING	BED 3	2,057	2,650	9,414	5.45	ALUMINIUM	BAL-LOW	SNAP HEADER	SW	4.42	CLEAR, DOUBLE GLAZED	BP 600, MP 883-883/883-883
GROUND FLOOR	W02	AFA/FFF2127	AWNING	BED 2	2,057	2,650	9,414	5.45	ALUMINIUM	BAL-LOW	SNAP HEADER	SW	4.42	CLEAR, DOUBLE GLAZED	BP 600, MP 883-883/883-883
GROUND FLOOR	W03	AFA/FFF2130	AWNING	FAMILY	2,057	3,010	10,134	6.19	ALUMINIUM	BAL-LOW	NONE	SW	5.10	CLEAR, DOUBLE GLAZED	BP 600, MP 1003-1003/1003-1003
GROUND FLOOR	W04	AF/FF2115	AWNING	PARENT'S RETREAT	2,057	1,450	7,014	2.98	ALUMINIUM	BAL-LOW	SNAP HEADER	SW	2.39	CLEAR, DOUBLE GLAZED	BP 600, MP 725/725
GROUND FLOOR	W05	AFA/FFF2127	AWNING	BED 1	2,057	2,650	9,414	5.45	ALUMINIUM	BAL-LOW	SNAP HEADER	SW	4.42	CLEAR, DOUBLE GLAZED	BP 600, MP 883-883/883-883
GROUND FLOOR	W06	A/F2109	AWNING	BED 1	2,057	850	5,814	1.75	ALUMINIUM	BAL-LOW	ANGLED	SE	1.37	CLEAR, DOUBLE GLAZED	BP 600
GROUND FLOOR	W07	AFA0924	AWNING	ENS	857	2,410	6,534	2.07	ALUMINIUM	BAL-LOW	ANGLED	SE	1.56	OBSCURE, DOUBLE GLAZED, TOUGHENED	MP 803-803
GROUND FLOOR	W08	AFA1224	AWNING	KITCHEN	1,200	2,410	7,220	2.89	ALUMINIUM	BAL-LOW	ANGLED	NE	2.28	CLEAR, DOUBLE GLAZED	MP 803-803
GROUND FLOOR	W09	AF0918	AWNING	BATH	857	1,810	5,334	1.55	ALUMINIUM	BAL-LOW	ANGLED	NE	1.22	OBSCURE, DOUBLE GLAZED, TOUGHENED	MP 905
GROUND FLOOR	W10	AFA/FFF1824	AWNING	STUDY	1,800	2,410	8,420	4.34	ALUMINIUM	BAL-LOW	ANGLED	NE	3.43	CLEAR, DOUBLE GLAZED	BP 600, MP 803-803/803-803
GROUND FLOOR	W11	AFA0930	AWNING	HOME THEATRE	857	3,010	7,734	2.58	ALUMINIUM	BAL-LOW	ANGLED	NE	2.01	CLEAR, DOUBLE GLAZED	MP 1003-1003
GROUND FLOOR	W12	A/F2106	AWNING	HOME THEATRE	2,057	610	5,334	1.25	ALUMINIUM	BAL-LOW	ANGLED	NW	0.93	CLEAR, DOUBLE GLAZED	BP 600
GROUND FLOOR	W13	A/F2106	AWNING	HOME THEATRE	2,057	610	5,334	1.25	ALUMINIUM	BAL-LOW	ANGLED	NW	0.93	CLEAR, DOUBLE GLAZED	BP 600
							97,114 mm	43.21					34.47		
DOOR															
GROUND FLOOR	D01	1200	SWINGING	ENTRY	2,406	1,267	7,346	3.05	TIMBER	BAL-LOW	SNAP HEADER	SW	---	DOOR(S): N/A - SIDELIGHT(S): N/A	LEAF SIZE: 2340 x 1200mm
GROUND FLOOR	D02	FSS2430	STACKER	DINING	2,400	3,048	10,896	7.32	ALUMINIUM	BAL-LOW	SNAP HEADER	NE	6.53	CLEAR, DOUBLE GLAZED, TOUGHENED	
GROUND FLOOR	D03	SSF2430	STACKER	LIVING	2,400	3,048	10,896	7.32	ALUMINIUM	BAL-LOW	SNAP HEADER	NE	6.53	CLEAR, DOUBLE GLAZED, TOUGHENED	
GROUND FLOOR	D04	HD2109L	SWINGING	LDRY	2,100	870	5,940	1.83	ALUMINIUM	BAL-LOW	SNAP HEADER	NE	1.22	CLEAR	
							35,078 mm	19.51					14.27		
							132,192 mm	62.72					48.74		

Window Manufacturer: Dowell Windows

No BAL / BAL 12.5

Window Type

Sliding Window

Awning Window

Fixed External Window

Sliding Door

Stacking Door

Hinged Door

Bi-Fold Door

BAL 19

Window Type

Sliding Window

Awning Window

Fixed External Window

Sliding Door

Stacking Door

Hinged Door

Bi-Fold Door

BAL 29

Window Type

Sliding Window

Awning Window

Fixed External Window

Sliding Door

Stacking Door

Hinged Door

WERS Code

DOW-022-003

DOW-005-001

DOW-038-001

DAR-034-001

DAR-034-001

DOW-017-001

DOW-020-001

U Value

2.9

3.9

3.03

3.97

3.97

4.1

4.1

SHGC

0.64

0.58

0.71

0.63

0.63

0.55

0.54

WERS Code

TND-034-001

STG-001-066

DOW-038-005

AUW-009-009

AUW-009-009

GRN-009-001

DOW-020-001

U Value

3.1

3.91

3.02

4.03

4.03

4.29

SHGC

0.61

0.54

0.66

0.59

0.59

NOTE:

Windows supplied MUST HAVE Uw better and or equal to stated figures and SHGC within +/- 5% of stated figures. Restricted windows to have their openability restricted as per N.C.C 11.3.6.

PICTURE, TV RECESS AND SS WINDOW OPENINGS

QTY	TYPE	HEIGHT	WIDTH	AREA (m²)
-----	------	--------	-------	-----------

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No **PLN-26-103**

DATE RECEIVED **07.05.2026**

SUBJECT TO NCC 2022
(1 MAY 2023)

WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED
AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

INTERIOR WINDOW & DOOR SCHEDULE

STOREY	QTY	CODE	TYPE	HEIGHT	WIDTH	GLAZING TYPE	ADDITIONAL INFORMATION
DOOR							
GROUND FLOOR	3	1000 SS	SQUARE SET OPENING	2,455	1,000	N/A	
GROUND FLOOR	1	1035 SS	SQUARE SET OPENING	2,455	1,035	N/A	
GROUND FLOOR	1	1100 SS	SQUARE SET OPENING	2,455	1,100	N/A	
GROUND FLOOR	1	1200 SS	SQUARE SET OPENING	2,455	1,200	N/A	
GROUND FLOOR	2	2 x 620	SWINGING	2,340	1,240	N/A	
GROUND FLOOR	5	2 x 820	SWINGING	2,340	1,640	N/A	
GROUND FLOOR	1	2500 SS	SQUARE SET OPENING	2,455	2,500	N/A	
GROUND FLOOR	2	3 x 620	SWINGING	2,340	1,894	N/A	
GROUND FLOOR	1	3 x 870	SWINGING	2,340	2,644	N/A	
GROUND FLOOR	1	620	SWINGING	2,340	620	N/A	
GROUND FLOOR	1	720	SWINGING	2,340	720	N/A	
GROUND FLOOR	1	720 CSD	CAVITY SLIDING	2,340	720	N/A	
GROUND FLOOR	9	820	SWINGING	2,340	820	N/A	
GROUND FLOOR	1	870	SWINGING	2,340	870	N/A	

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

NOTE: INTERNAL DOORS TO WET AREAS WITH MECHANICAL VENTILATION TO BE UNDERCUT 20mm

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SPECIFICATION:
NEXTGEN

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REVISION

3 CONSOLIDATE PROPOSAL 1 - UPDATE

HMI

05/02/2026

4 CONSOLIDATE PROPOSAL 2

HMI

19/02/2026

5 CONSOLIDATE PROPOSAL 2 - UPDATE

HMI

03/03/2026

6 CONSOLIDATE PROPOSAL 3

HMI

09/04/2026

7 PRELIM PLANS - INITIAL ISSUE

TDI

29/04/2026

DRAWN

CLIENT:

MATTHEW JOHN CRAWFORD & KIM MARIE PARISH

ADDRESS:

10 BOSTON CT, CLAREMONT TAS 7011

LOT / SECTION / CT:

14 / - / 186897

COUNCIL:

CLARENCE

HOUSE DESIGN:

SWANSEA 35

FACADE DESIGN:

CLASSIC

SHEET TITLE:

WINDOW & DOOR SCHEDULES

HOUSE CODE:

H-WATSWWS10SA

FACADE CODE:

F-WATSWWS10CLASA

SCALES:

7 / 21

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714542

NATURAL LIGHT AND VENTILATION

ROOM	AREA (m2)	WINDOW ID	LIGHT REQUIRED (m2)	LIGHT ACHIEVED (m2)	VENTILATION REQ'D (m2)	VENTILATION ACH'D (m2)
OPEN KITCHEN/ LIVING/ DINING	56.92 m²	W08, D02, D03	5.69 m²	15.34 m²	2.85 m²	10.96 m²
BED 1	18.36 m²	W05, W06	1.84 m²	5.79 m²	0.92 m²	3.55 m²
BED 2	17.21 m²	W02	1.72 m²	4.42 m²	0.86 m²	2.40 m²
BED 3	17.22 m²	W01	1.72 m²	4.42 m²	0.86 m²	2.40 m²
PARENT'S RETREAT	11.62 m²	W04	1.16 m²	2.39 m²	0.58 m²	0.97 m²
FAMILY	21.74 m²	W03	2.17 m²	5.10 m²	1.09 m²	2.74 m²
HOME THEATRE	17.74 m²	W11, W12, W13	1.77 m²	3.87 m²	0.89 m²	3.20 m²
STUDY	16.05 m²	W10	1.61 m²	3.43 m²	0.80 m²	1.78 m²

PART 10.5.1 LIGHT: Minimum 10% of the floor area of a habitable room required (natural light)

PART 10.6 VENTILATION: Minimum 5% of the floor area of a habitable room required. (An exhaust fan may be used for sanitary compartment, laundry or bathroom provided contaminated air discharges directly to the outside of the building by way of ducts).

GLENORCHY CITY COUNCIL
PLANNING SERVICES

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SUBJECT TO NCC 2022
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WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER

SIGNATURE:DATE:

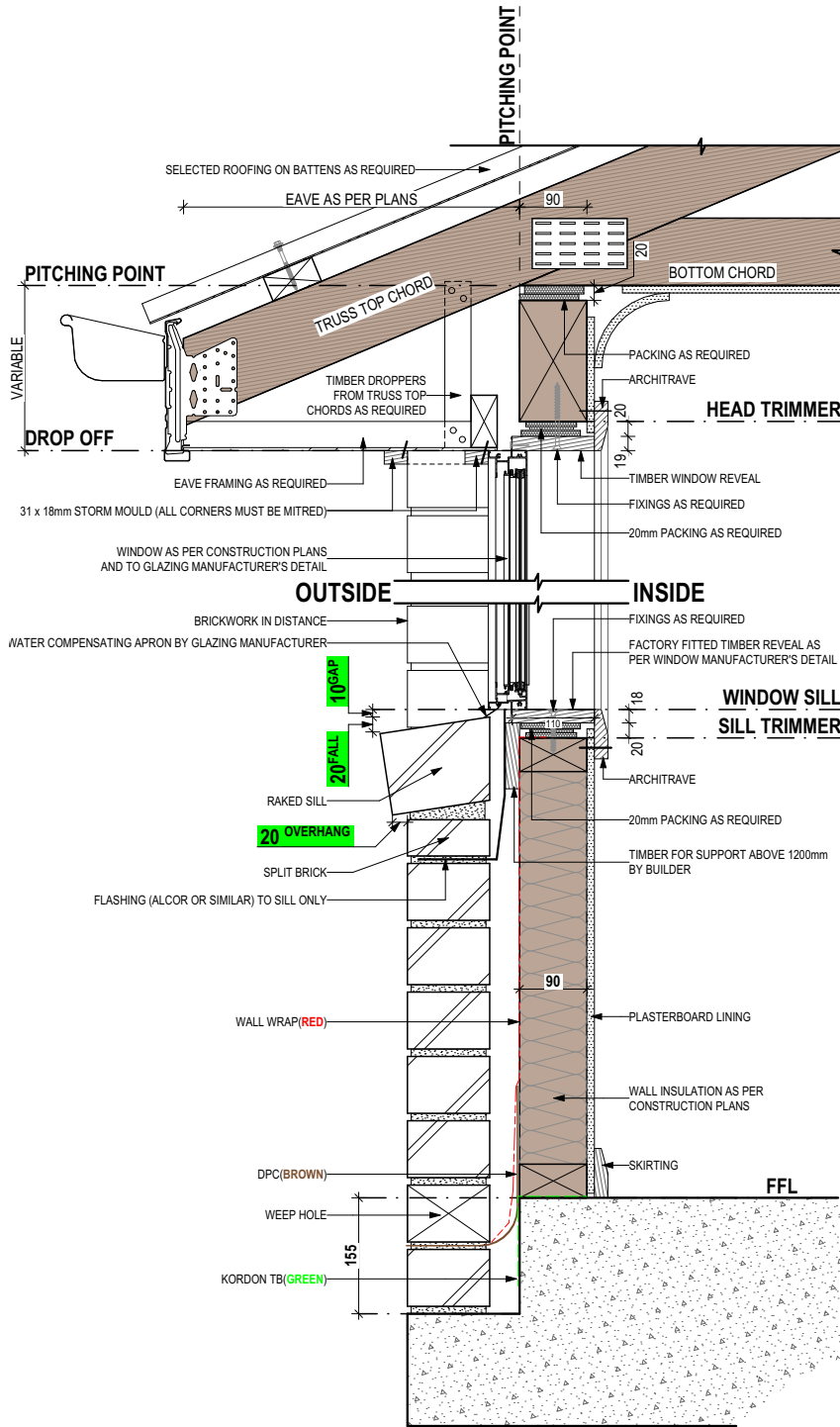
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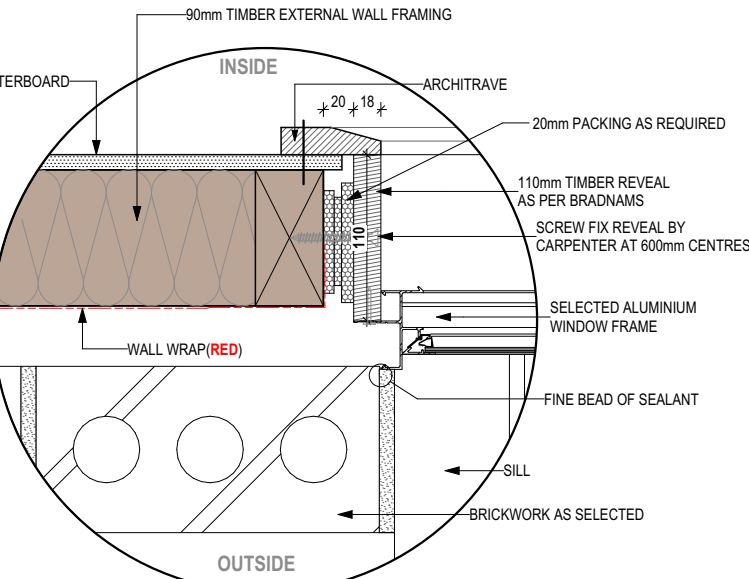
REFER TO SHEET 1 (COVER SHEET) FOR
ALL BUILDING INFORMATION REGARDING:
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- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

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		4	CONSOLIDATE PROPOSAL 2	HMI 19/02/2026	ADDRESS:	FACADE DESIGN:		FACADE CODE:	
		5	CONSOLIDATE PROPOSAL 2 - UPDATE	HMI 03/03/2026	10 BOSTON CT, CLAREMONT TAS 7011	CLASSIC		F-WATSWWS10CLASA	
		6	CONSOLIDATE PROPOSAL 3	HMI 09/04/2026	LOT / SECTION / CT:	SHEET TITLE:	SHEET No.:	SCALES:	
		7	PRELIM PLANS - INITIAL ISSUE	TDI 29/04/2026	14 / - / 186897	COUNCIL: CLARENCE	8 / 21		



SECTIONS
SCALE: 1:10



DETAILS
SCALE: 1:5

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
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CONDENSATION MANAGEMENT**

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

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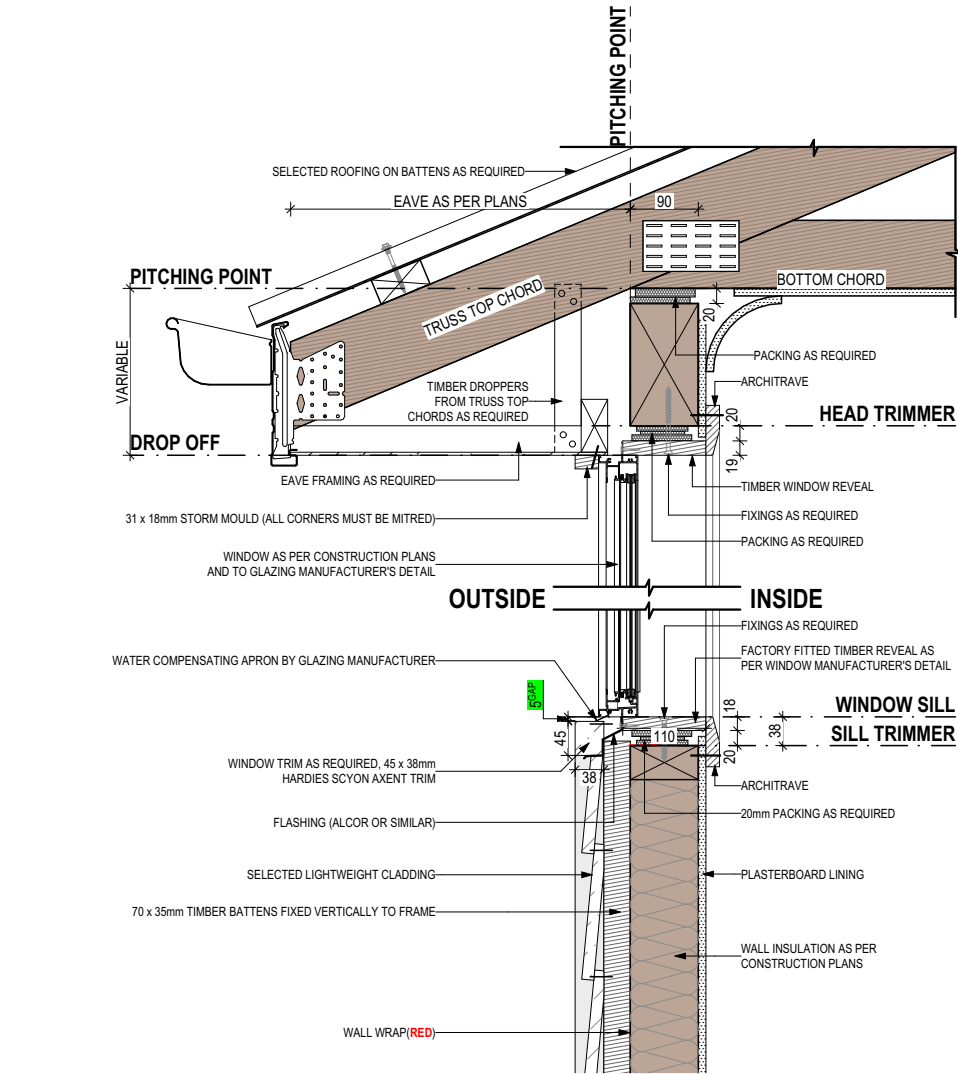
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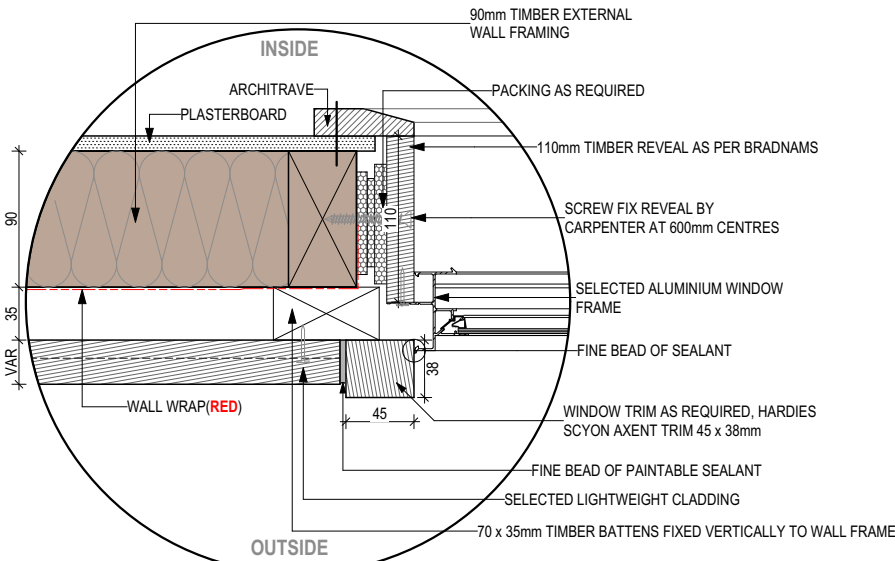


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REFER TO W-CLAD-001 & W-CLAD-002 FOR FULL DETAIL



SECTIONS
SCALE: 1:10



DETAILS
SCALE: 1:5

THIS DWELLING IS BEING CONSTRUCTED IN A [Unused] AREA
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GLENORCHY CITY COUNCIL
PLANNING SERVICES
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DATE RECEIVED 07.05.2026

SHEET CLADDING

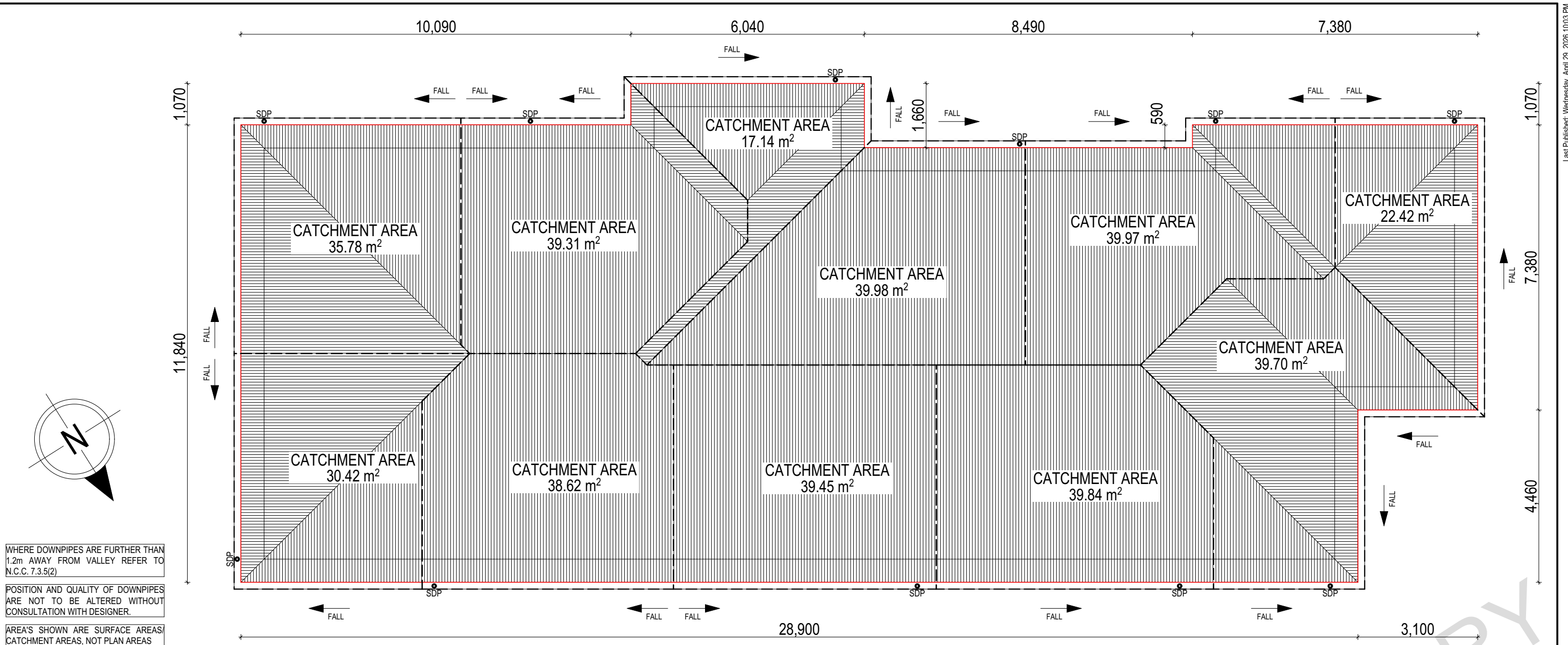
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SIGNATURE:

DATE:



SPECIFICATION: NEXTGEN	REVISION 3 CONSOLIDATE PROPOSAL 1 - UPDATE	DRAWN HMI 05/02/2026	CLIENT: MATTHEW JOHN CRAWFORD & KIM MARIE PARISH	HOUSE DESIGN: SWANSEA 35	HOUSE CODE: H-WATSWS10SA	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 714542
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	5 CONSOLIDATE PROPOSAL 2 - UPDATE	HMI 03/03/2026	LOT / SECTION / CT: 14 / - / 186897	SHEET TITLE: DETAILS (CLADDING)	SHEET No.: 10 / 21	
	6 CONSOLIDATE PROPOSAL 3	HMI 09/04/2026	COUNCIL: CLARENCE		SCALES:	
	7 PRELIM PLANS - INITIAL ISSUE	TDI 29/04/2026				



WHERE DOWNPIPES ARE FURTHER THAN 1.2m AWAY FROM VALLEY REFER TO N.C.C. 7.3.5(2)

POSITION AND QUALITY OF DOWNPIPES ARE NOT TO BE ALTERED WITHOUT CONSULTATION WITH DESIGNER.

AREA'S SHOWN ARE SURFACE AREAS/ CATCHMENT AREAS, NOT PLAN AREAS

Downpipe roof calculations (as per AS/NZA3500.3:2021)		
Ah	382.63	Area of roof catchment (including 115mm Slotted Quad Gutter) (m²)
Ac	462.98	Ah x Catchment Area Multiplier for slope (Table 3.4.3.2 from AS/NZS 3500.3:2021) (1.21 for 23° pitch) (m²)
Ae	6300	Cross sectional area of 57 x 115 Slotted Quad Gutter (mm²)
DRI	86	Design Rainfall Intensity (determined from Table E1 from AS/NZS 3500.3:2021)
Acdp	64	Catchment area per Downpipe (determined from Figure 3.5(A) from AS/NZS 3500.3:2021) (m²)
Required Downpipes	7.23	Ac / Acdp
Downpipes Provided	11	

**GLENORCHY CITY COUNCIL
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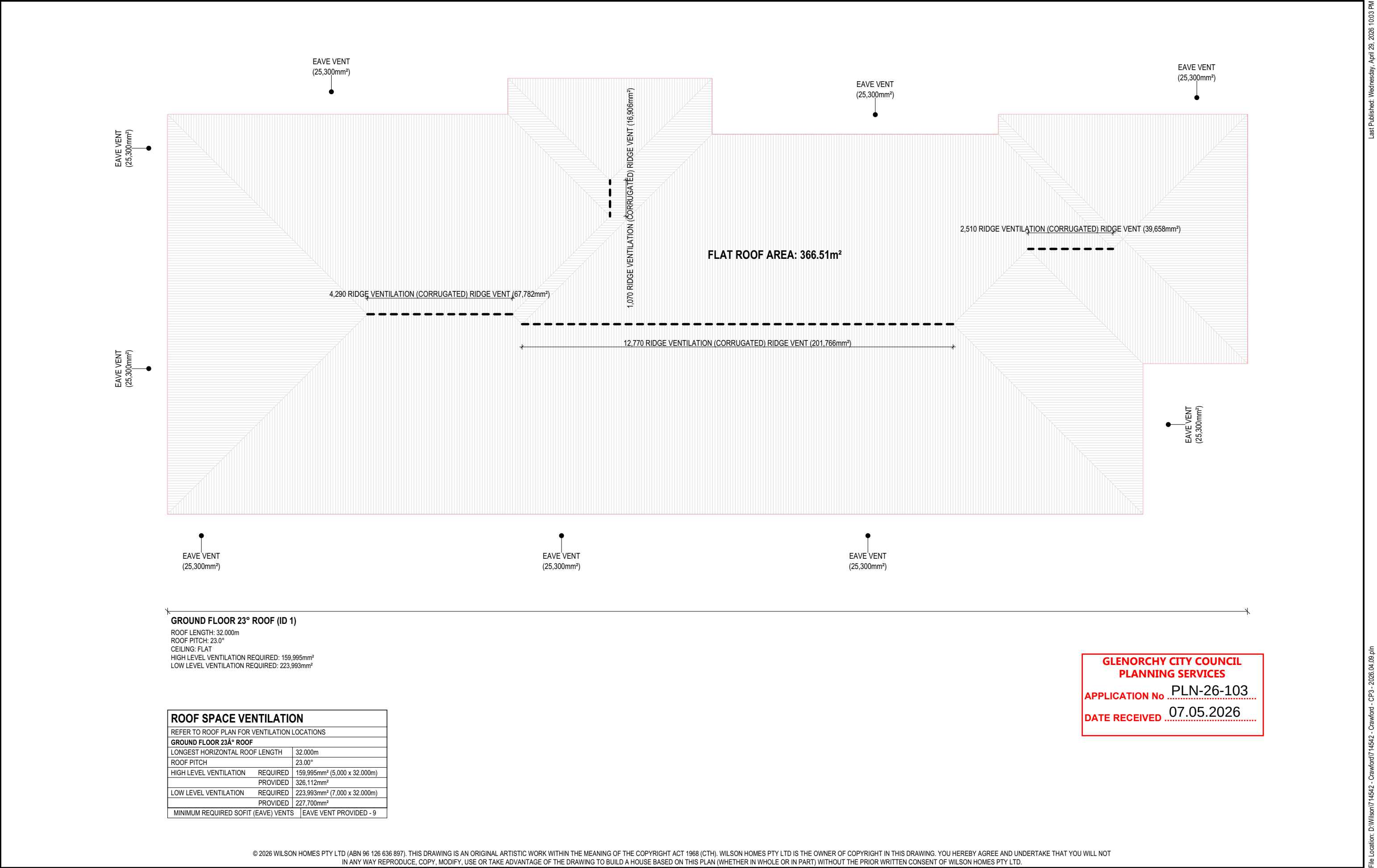
Roofing Data		
	366.51	Flat Roof Area (excluding gutter and slope factor) (m²)
	398.16	Roof Surface Area (includes slope factor, excludes gutter) (m²)

**SUBJECT TO NCC 2022
(1 MAY 2023)**

WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER	
SIGNATURE: _____	DATE: _____
SIGNATURE: _____	DATE: _____
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7		PRELIM PLANS - INITIAL ISSUE		TDI	29/04/2026	14 / - / 186897	CLARENCE	ROOF DRAINAGE PLAN		11 / 21	1:100		



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		6	CONSOLIDATE PROPOSAL 3	HMI 09/04/2026	LOT / SECTION / CT:	COUNCIL:	SHEET TITLE:	SHEET No.:	
		7	PRELIM PLANS - INITIAL ISSUE	TDI 29/04/2026	14 / - / 186897	CLARENCE	ROOF VENTILATION PLAN	12 / 21	
								SCALES:	714542
								1:100	

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Template Version: 24.042

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

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- SITE CLASSIFICATION
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FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.
TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

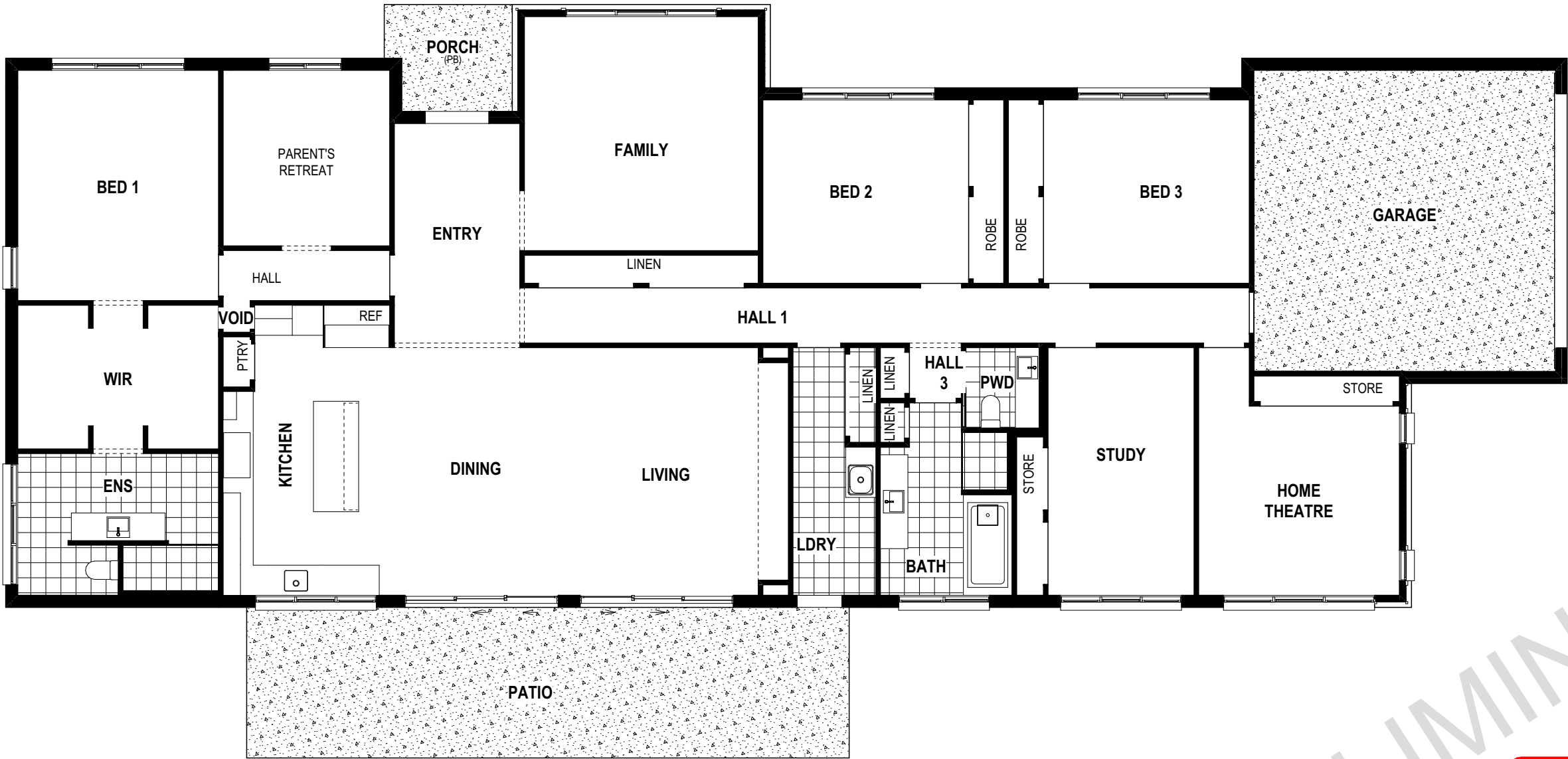
COVERINGS LEGEND

	NO COVERING
	COVER GRADE CONCRETE
	CARPET
	LAMINATE
	TILE (STANDARD WET AREAS)
	TILE (UPGRADED AREAS)
	DECKING

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No PLN-26-103

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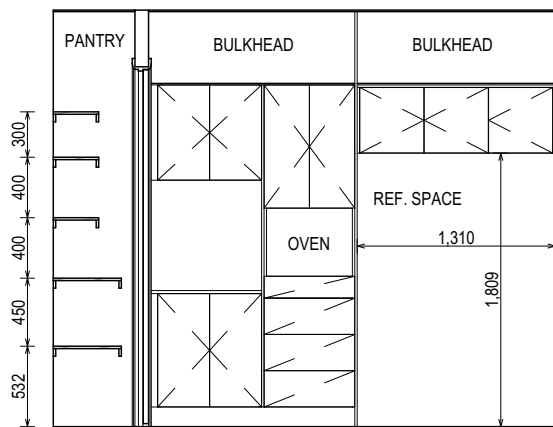
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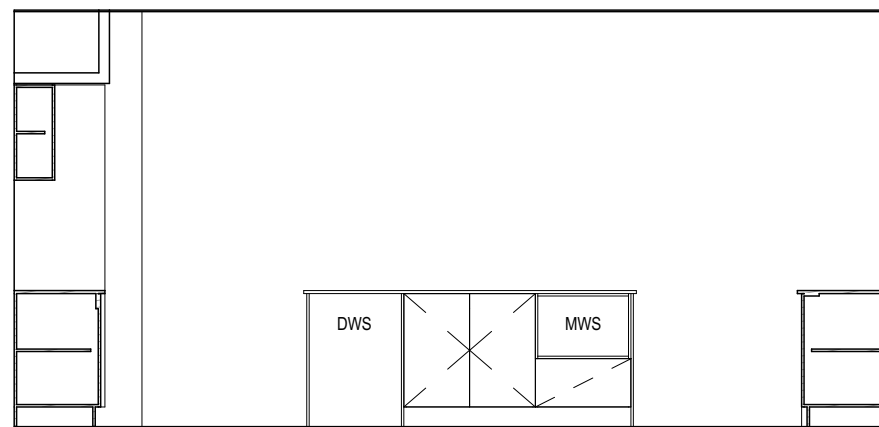
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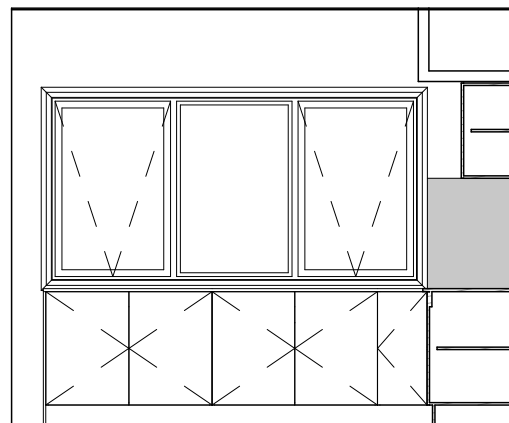
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COPYRIGHT: © 2026	3 CONSOLIDATE PROPOSAL 1 - UPDATE	HMI 05/02/2026	MATTHEW JOHN CRAWFORD & KIM MARIE PARISH	SWANSEA 35	H-WATSWS10SA	
	4 CONSOLIDATE PROPOSAL 2	HMI 19/02/2026	ADDRESS:	FACADE DESIGN:	FACADE CODE:	
	5 CONSOLIDATE PROPOSAL 2 - UPDATE	HMI 03/03/2026	10 BOSTON CT, CLAREMONT TAS 7011	CLASSIC	F-WATSWS10CLASA	
	6 CONSOLIDATE PROPOSAL 3	HMI 09/04/2026	LOT / SECTION / CT:	SHEET TITLE:	SHEET No.:	
	7 PRELIM PLANS - INITIAL ISSUE	TDI 29/04/2026	14 / - / 186897	FLOOR COVERINGS	13 / 21	714542
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			CLARENCE		1:100	



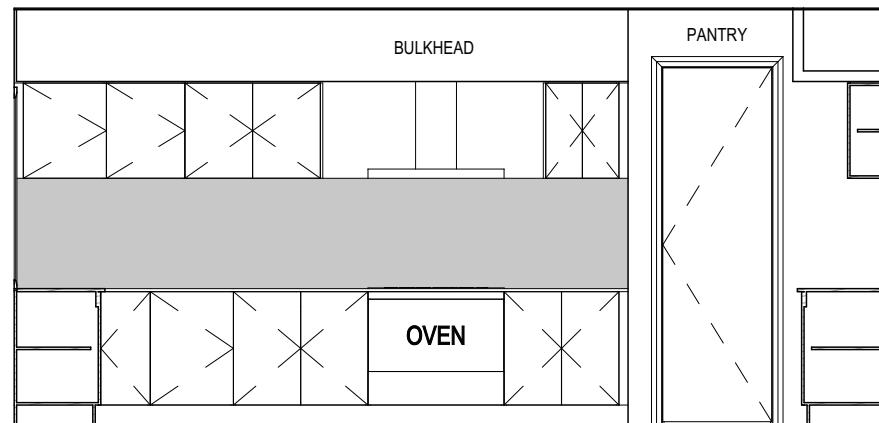
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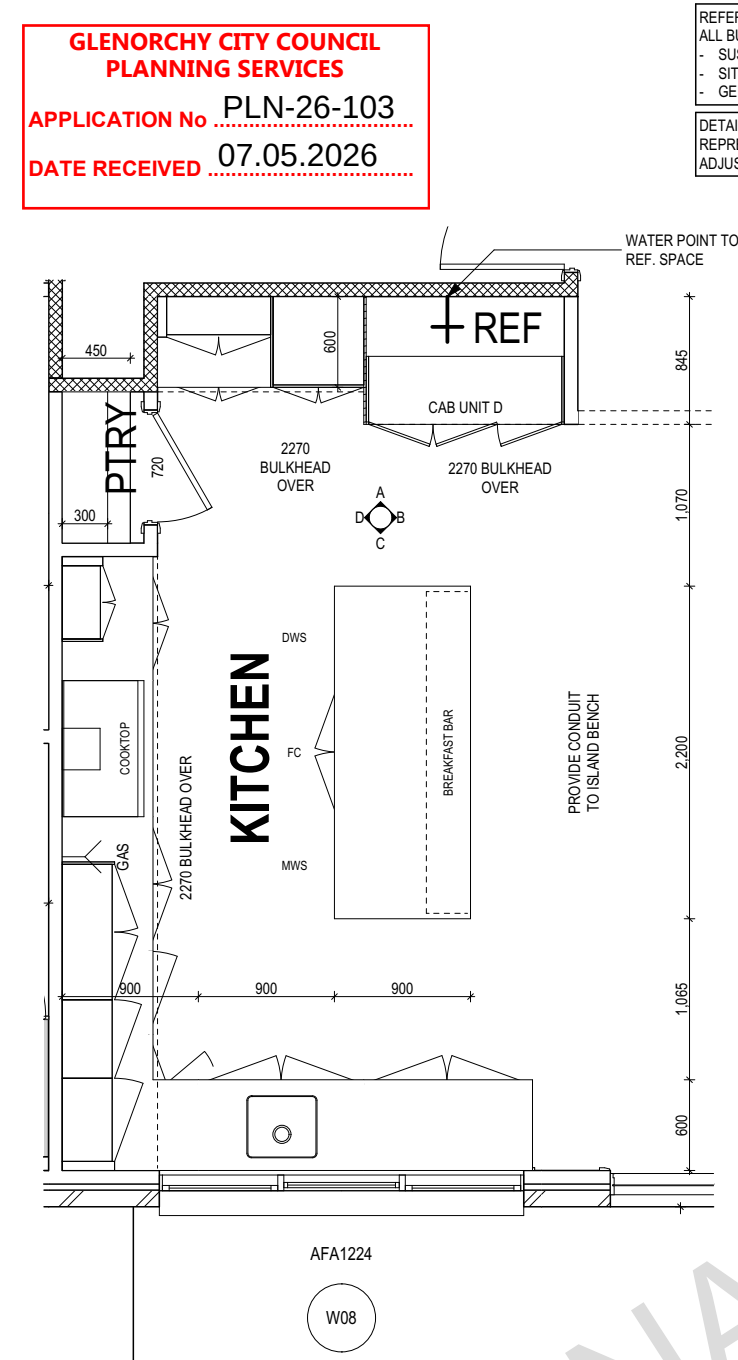
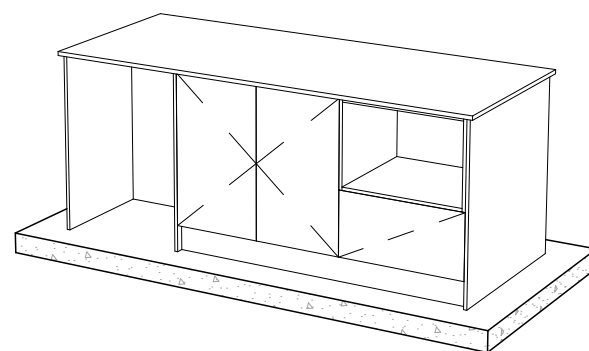
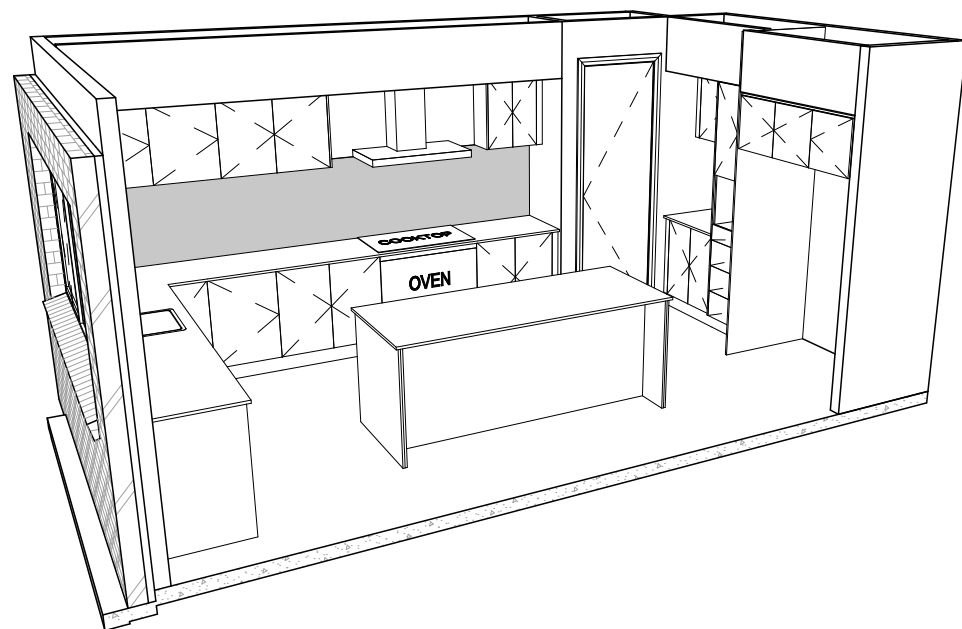
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ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50



KITCHEN PLAN
SCALE: 1:50

**SUBJECT TO NCC 2022
(1 MAY 2023)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER	
SIGNATURE: _____	DATE: _____
SIGNATURE: _____	DATE: _____
PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED	

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	NEXTGEN	3	CONSOLIDATE PROPOSAL 1 - UPDATE	HMI 05/02/2026	MATTHEW JOHN CRAWFORD & KIM MARIE PARISH		SWANSEA 35	H-WATSWWS10SA	
	COPYRIGHT:	4	CONSOLIDATE PROPOSAL 2	HMI 19/02/2026	ADDRESS:		FACADE DESIGN:	FACADE CODE:	
	© 2026	5	CONSOLIDATE PROPOSAL 2 - UPDATE	HMI 03/03/2026	10 BOSTON CT, CLAREMONT TAS 7011		CLASSIC	F-WATSWWS10CLASA	
		6	CONSOLIDATE PROPOSAL 3	HMI 09/04/2026	LOT / SECTION / CT:	COUNCIL:	SHEET TITLE:	SHEET No.:	
		7	PRELIM PLANS - INITIAL ISSUE	TDI 29/04/2026	14 / - / 186897	CLARENCE	KITCHEN DETAILS	14 / 21	
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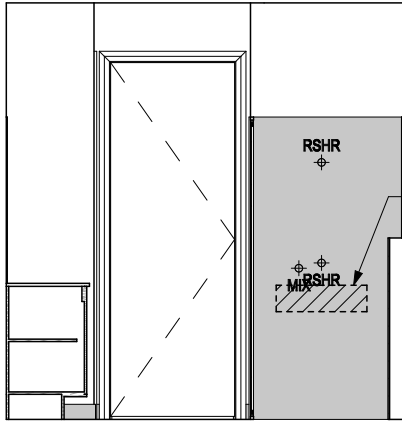
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GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No PLN-26-103
DATE RECEIVED 07.05.2026

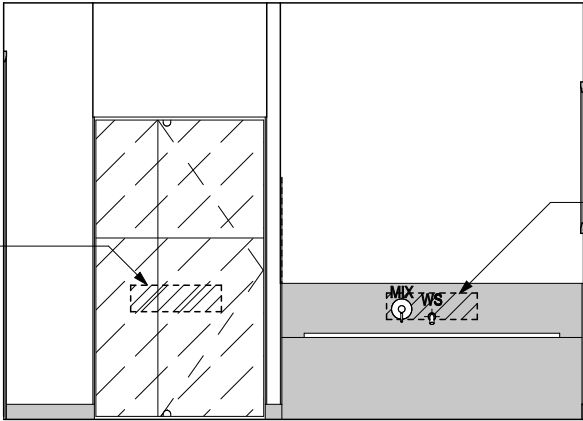
REFER TO THE FOLLOWING DETAILS:
VANITY DETAILS G-VANI-001
WINDOW OVER BATH HOB D-WIND-ALU001
STANDARD BATH HOB D-WETA-BATH003
WET AREA TILING LAYOUTS D-WETA-TILE002
SQUARE SET WINDOWS G-WIND-SSET02
FULL HEIGHT TILING D-LINI-WETA

REFER TO SHEET 1 (COVER SHEET) FOR
ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION
DETAILS DEPICTED ON THIS SHEET ARE A
REPRESENTATION ONLY

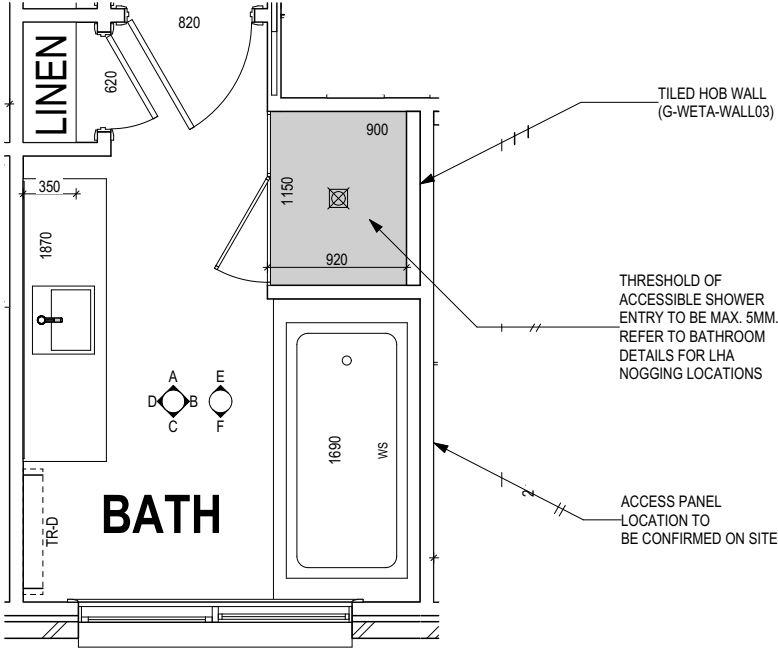
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ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT
WS	WALL SPOUT
SC	STOP COCK
TRH	TOILET ROLL HOLDER
TR-S	TOWEL RAIL - SINGLE
TR-D	TOWEL RAIL - DOUBLE
TL	TOWEL LADDER
TH	TOWEL HOLDER
TR	TOWEL RACK
TMB	TUMBLER HOLDER
RNG	TOWEL RING
RH	ROBE HOOK
SHLF	SHELF
SR	SHAMPOO RECESS
SOAP	SOAP HOLDER



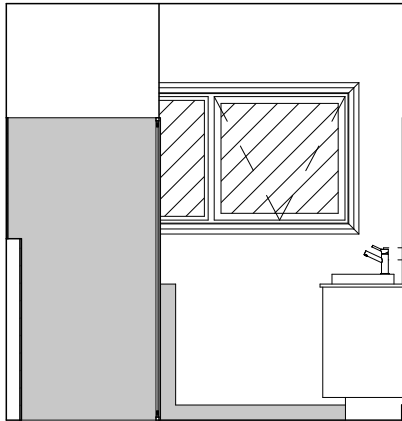
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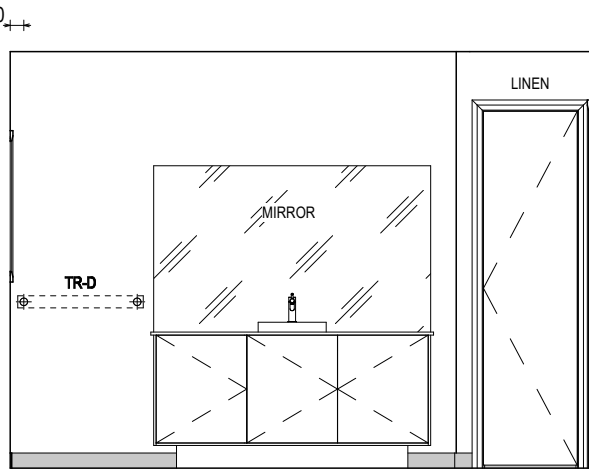
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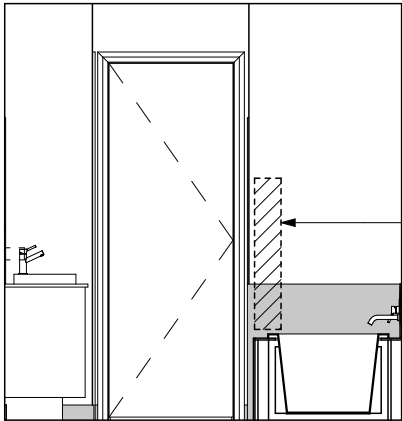
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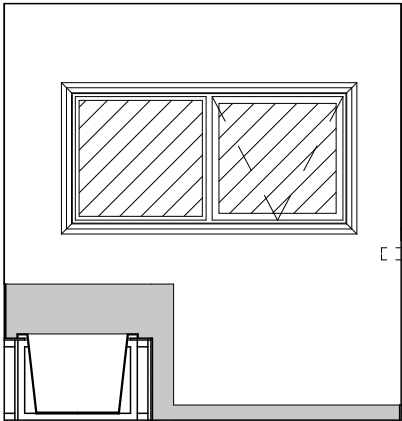
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ELEVATION D
SCALE: 1:50



ELEVATION E
SCALE: 1:50



ELEVATION F
SCALE: 1:50

**SUBJECT TO NCC 2022
(1 MAY 2023)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER	
SIGNATURE:	DATE:
SIGNATURE:	DATE:
PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED	

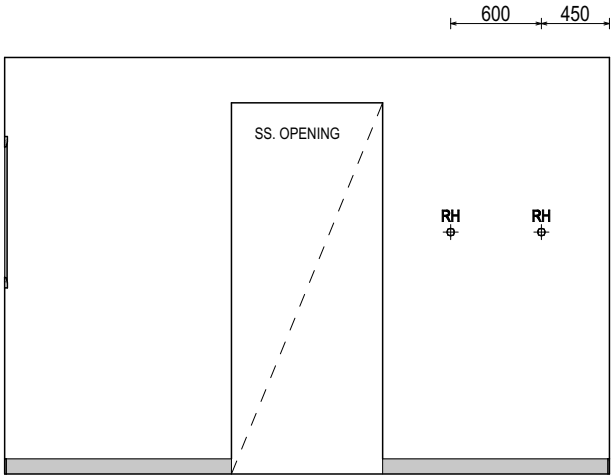
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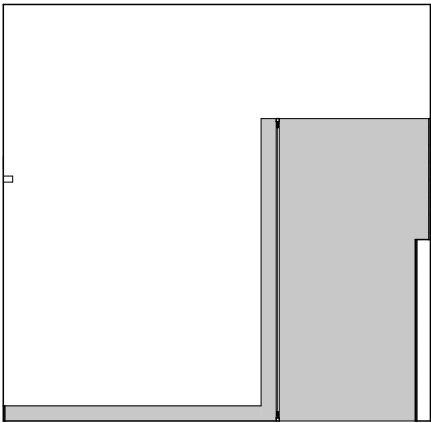
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	NEXTGEN	3	CONSOLIDATE PROPOSAL 1 - UPDATE		HMI	05/02/2026	MATTHEW JOHN CRAWFORD & KIM MARIE PARISH		SWANSEA 35		H-WATSWWS10SA		
	COPYRIGHT:	4	CONSOLIDATE PROPOSAL 2		HMI	19/02/2026	ADDRESS:		FACADE DESIGN:		FACADE CODE:		
	© 2026	5	CONSOLIDATE PROPOSAL 2 - UPDATE		HMI	03/03/2026	10 BOSTON CT, CLAREMONT TAS 7011		CLASSIC		F-WATSWWS10CLASA		
		6	CONSOLIDATE PROPOSAL 3		HMI	09/04/2026	LOT / SECTION / CT:	COUNCIL:	SHEET TITLE:		SHEET No.:	SCALES:	
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714542

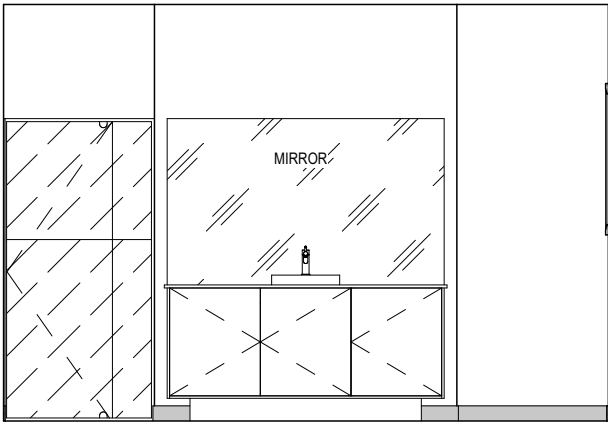
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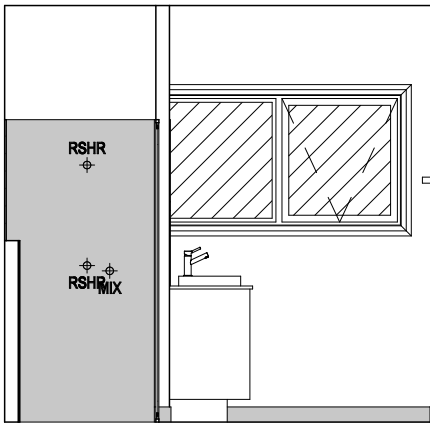
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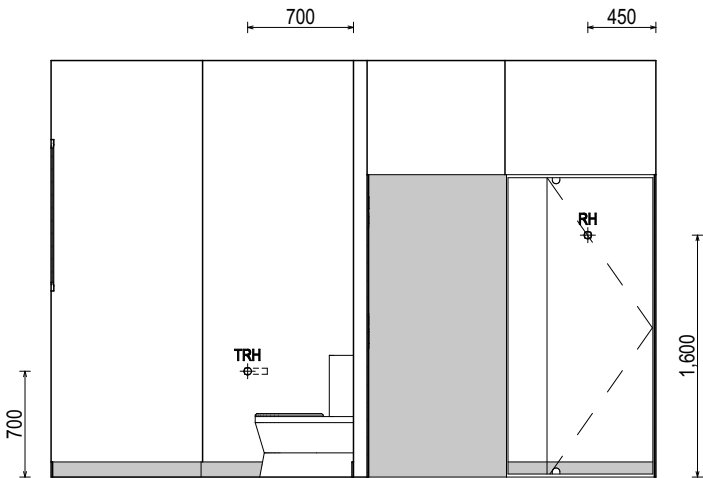
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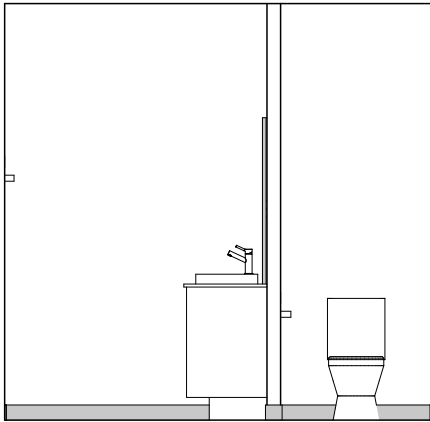
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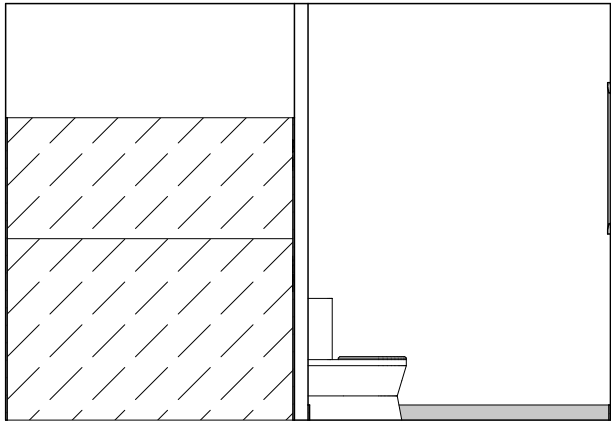
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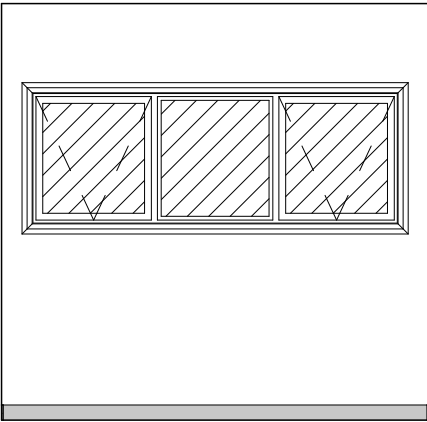
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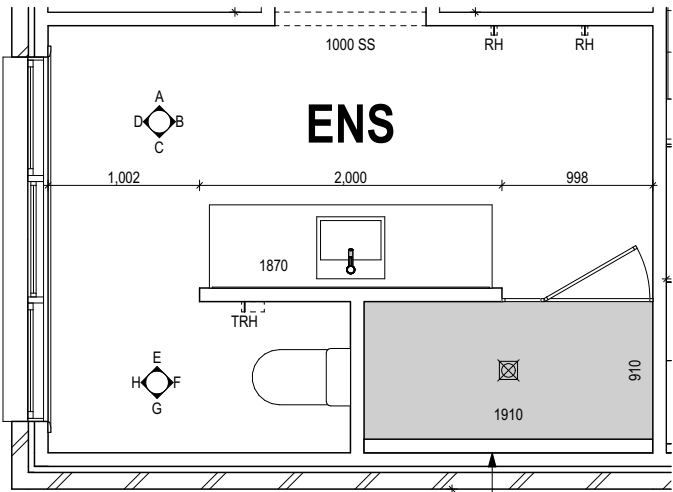
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ELEVATION G
SCALE: 1:50



ELEVATION H
SCALE: 1:50



ENSUITE PLAN
SCALE: 1:50

REFER TO THE FOLLOWING DETAILS:
VANITY DETAILS G-VANI-001
WINDOW OVER BATH HOB D-WIND-ALU001
STANDARD BATH HOB D-WETA-BATH003
WET AREA TILING LAYOUTS D-WETA-TILE002
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LEGEND

- RSHR RAIL SHOWER
- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW CONNECTION
- MIX MIXER TAP
- HT HOT TAP
- CT COLD TAP
- HS HOB SPOUT
- WS WALL SPOUT
- SC STOP COCK
- TRH TOILET ROLL HOLDER
- TR-S TOWEL RAIL - SINGLE
- TR-D TOWEL RAIL - DOUBLE
- TL TOWEL LADDER
- TH TOWEL HOLDER
- TR TOWEL RACK
- TMB TUMBLER HOLDER
- RNG TOWEL RING
- RH ROBE HOOK
- SHLF SHELF
- SR SHAMPOO RECESS
- SOAP SOAP HOLDER

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No. PLN-26-103
DATE RECEIVED 07.05.2026

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED
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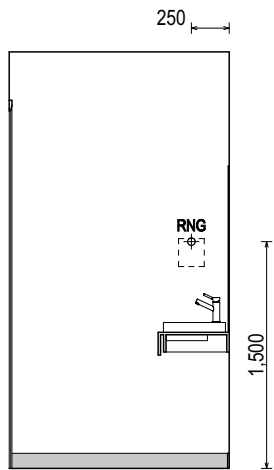
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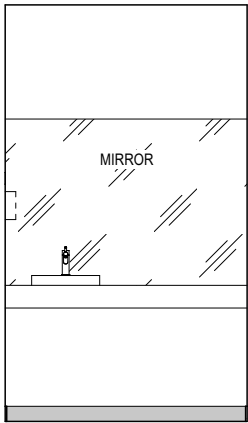
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	NEXTGEN	3	CONSOLIDATE PROPOSAL 1 - UPDATE		HMI	05/02/2026	MATTHEW JOHN CRAWFORD & KIM MARIE PARISH		SWANSEA 35		H-WATSWWS10SA		
	COPYRIGHT:	4	CONSOLIDATE PROPOSAL 2		HMI	19/02/2026	ADDRESS:		FACADE DESIGN:		FACADE CODE:		
	© 2026	5	CONSOLIDATE PROPOSAL 2 - UPDATE		HMI	03/03/2026	10 BOSTON CT, CLAREMONT TAS 7011		CLASSIC		F-WATSWWS10CLASA		
		6	CONSOLIDATE PROPOSAL 3		HMI	09/04/2026	LOT / SECTION / CT:	COUNCIL:	SHEET TITLE:	SHEET No.:	SCALES:		
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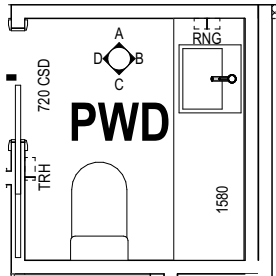
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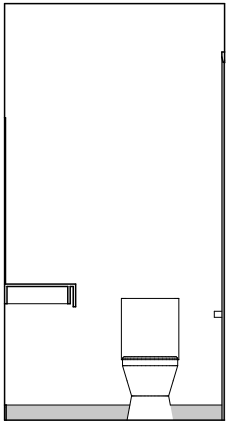
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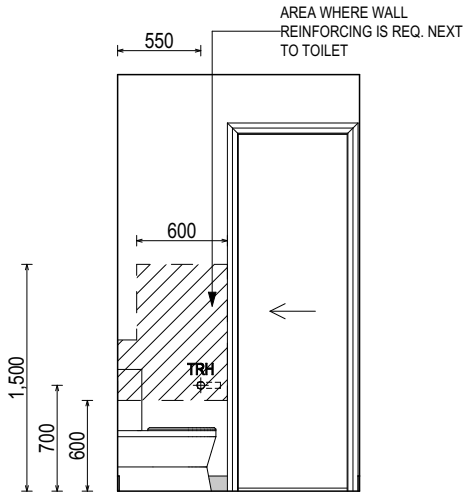
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SCALE: 1:50



POWDER ROOM PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

REFER TO THE FOLLOWING DETAILS:
VANITY DETAILS G-VANI-001
WINDOW OVER BATH HOB D-WIND-ALU001
STANDARD BATH HOB D-WETA-BATH003
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GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No PLN-26-103
DATE RECEIVED 07.05.2026

SUBJECT TO NCC 2022
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WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

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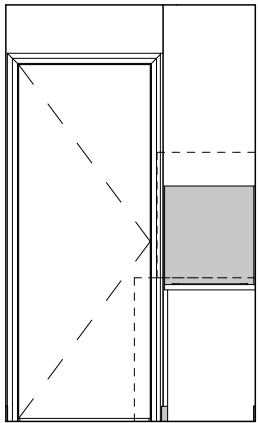
PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED
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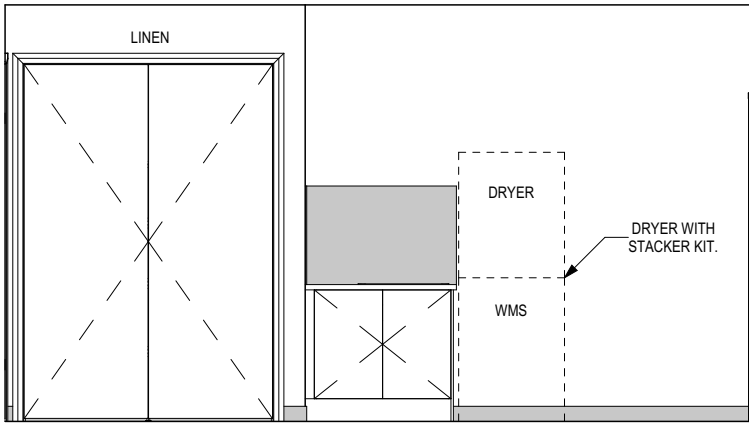
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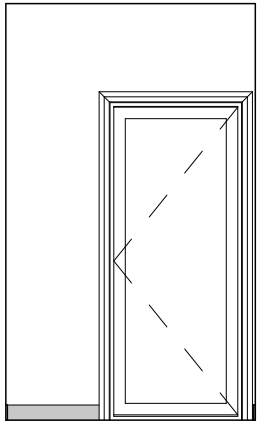
SPECIFICATION: NEXTGEN	REVISION 3 CONSOLIDATE PROPOSAL 1 - UPDATE	DRAWN HMI 05/02/2026	CLIENT: MATTHEW JOHN CRAWFORD & KIM MARIE PARISH	HOUSE DESIGN: SWANSEA 35	HOUSE CODE: H-WATSWWS10SA	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
COPYRIGHT: © 2026	4 CONSOLIDATE PROPOSAL 2	HMI 19/02/2026	ADDRESS: 10 BOSTON CT, CLAREMONT TAS 7011	FACADE DESIGN: CLASSIC	FACADE CODE: F-WATSWWS10CLASA	
	5 CONSOLIDATE PROPOSAL 2 - UPDATE	HMI 03/03/2026	LOT / SECTION / CT: 14 / - / 186897	SHEET TITLE: POWDER ROOM DETAILS	SCALES: 1:50	
	6 CONSOLIDATE PROPOSAL 3	HMI 09/04/2026	COUNCIL: CLARENCE	SHEET No.: 17 / 21		
	7 PRELIM PLANS - INITIAL ISSUE	TDI 29/04/2026				714542



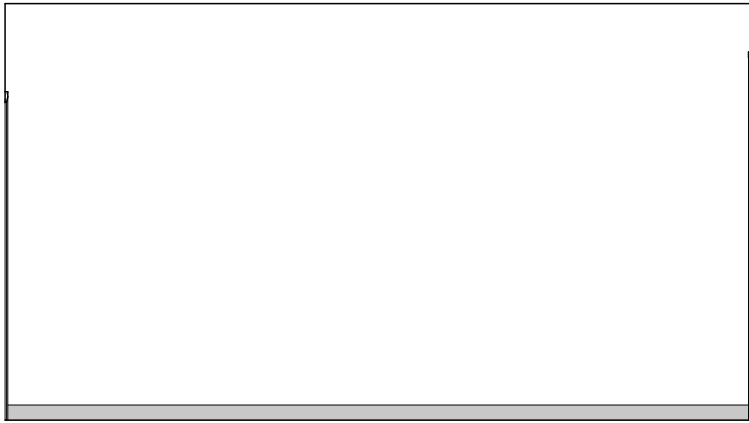
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ELEVATION B
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No PLN-26-103

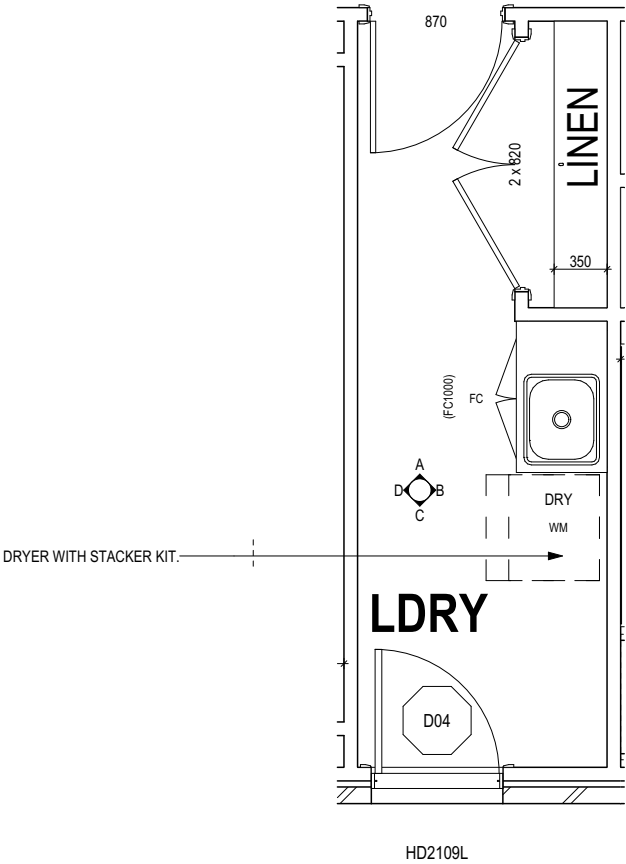
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PROVIDE ADDITIONAL NOGGING TO LAUNDRY FOR FIXING OF WALL MOUNTED CLOTHES DRYER AS PER D-FRAM-ELEC006



LAUNDRY PLAN
SCALE: 1:50

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

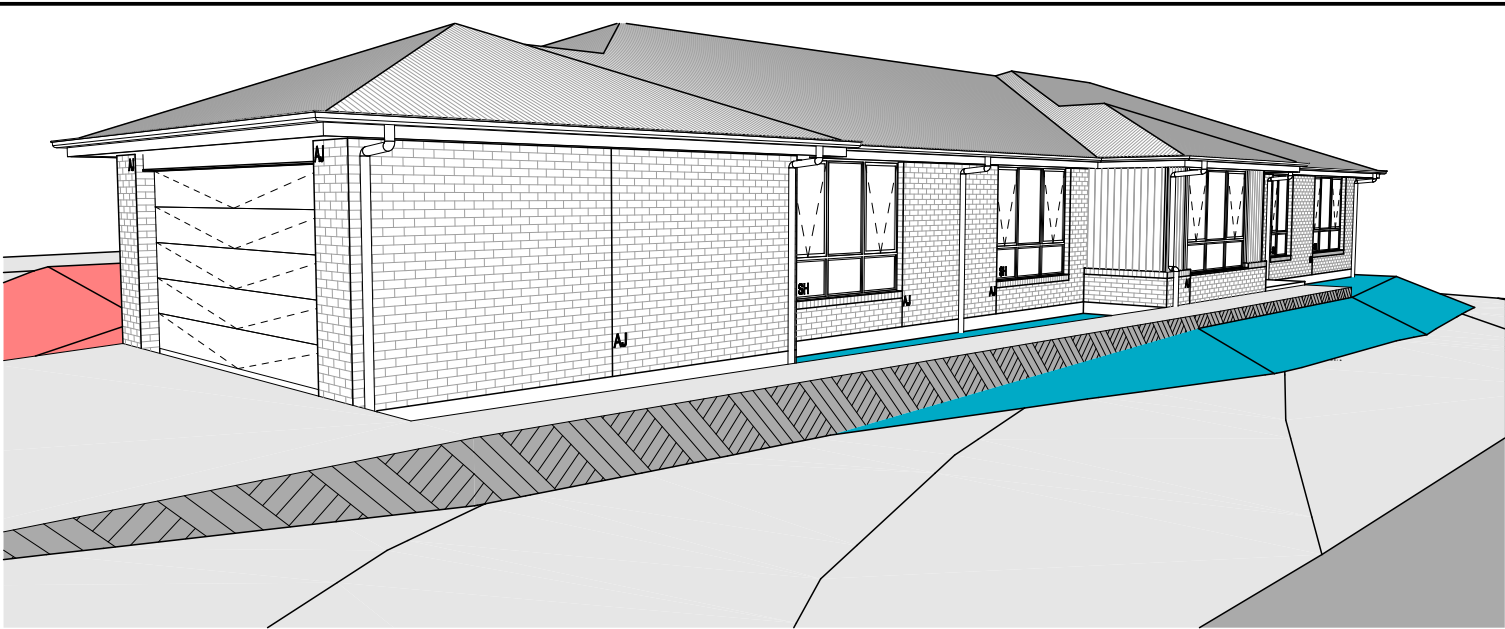
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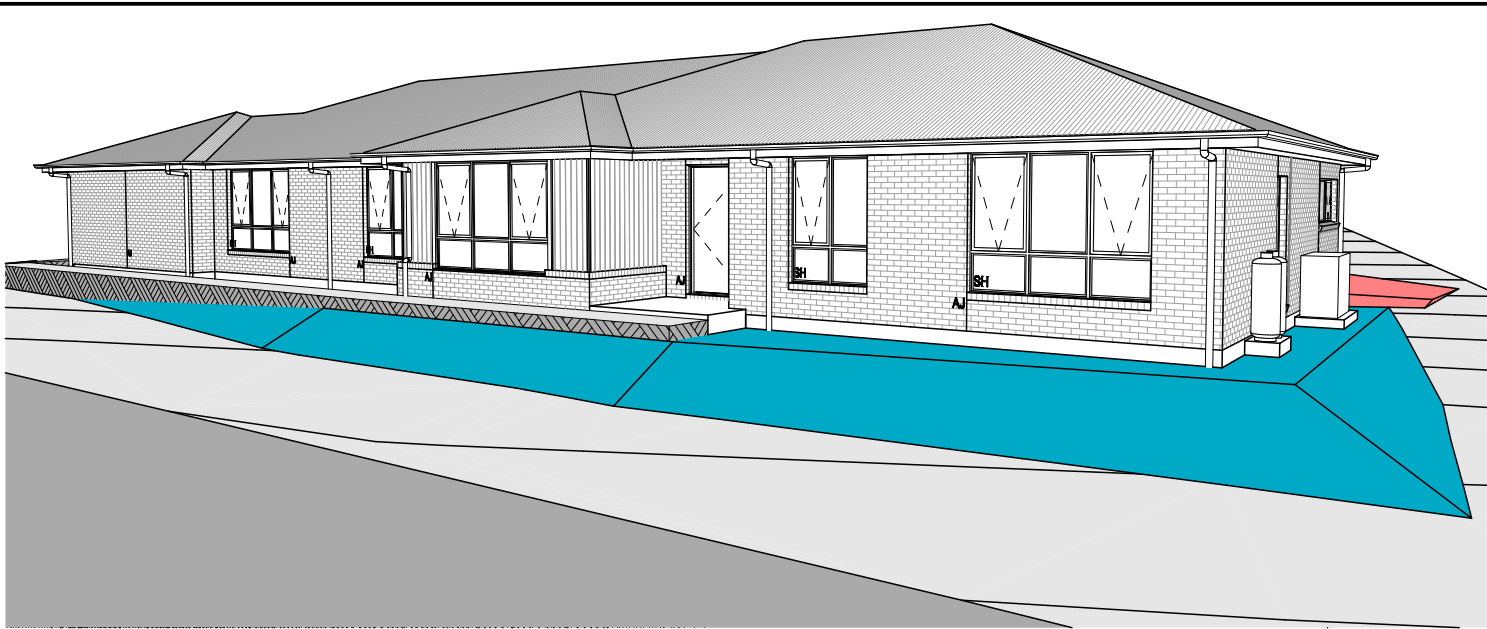
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			4	CONSOLIDATE PROPOSAL 2	HMI	19/02/2026	ADDRESS:		FACADE DESIGN:		FACADE CODE:		
			5	CONSOLIDATE PROPOSAL 2 - UPDATE	HMI	03/03/2026	10 BOSTON CT, CLAREMONT TAS 7011		CLASSIC		F-WATSWS10CLASA		
			6	CONSOLIDATE PROPOSAL 3	HMI	09/04/2026	LOT / SECTION / CT:	COUNCIL:	SHEET TITLE:		SHEET No.:	SCALES:	
			7	PRELIM PLANS - INITIAL ISSUE	TDI	29/04/2026	14 / - / 186897	CLARENCE	LAUNDRY DETAILS		18 / 21	1:50	

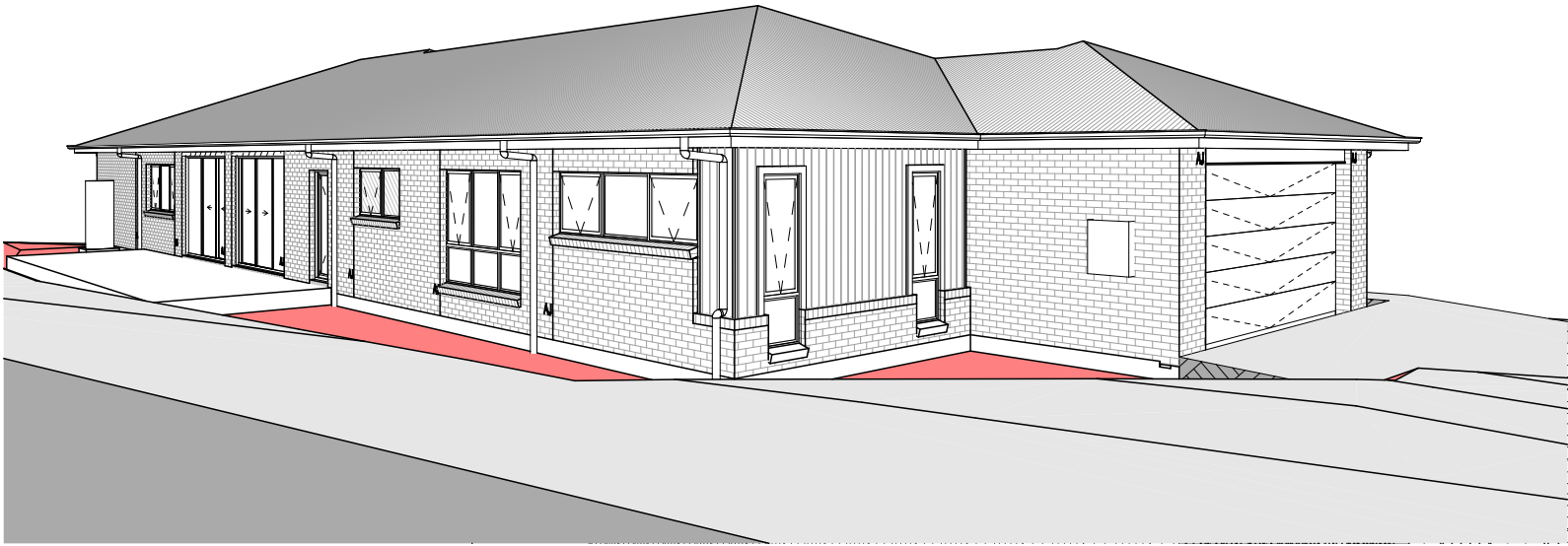


FRONT LEFT

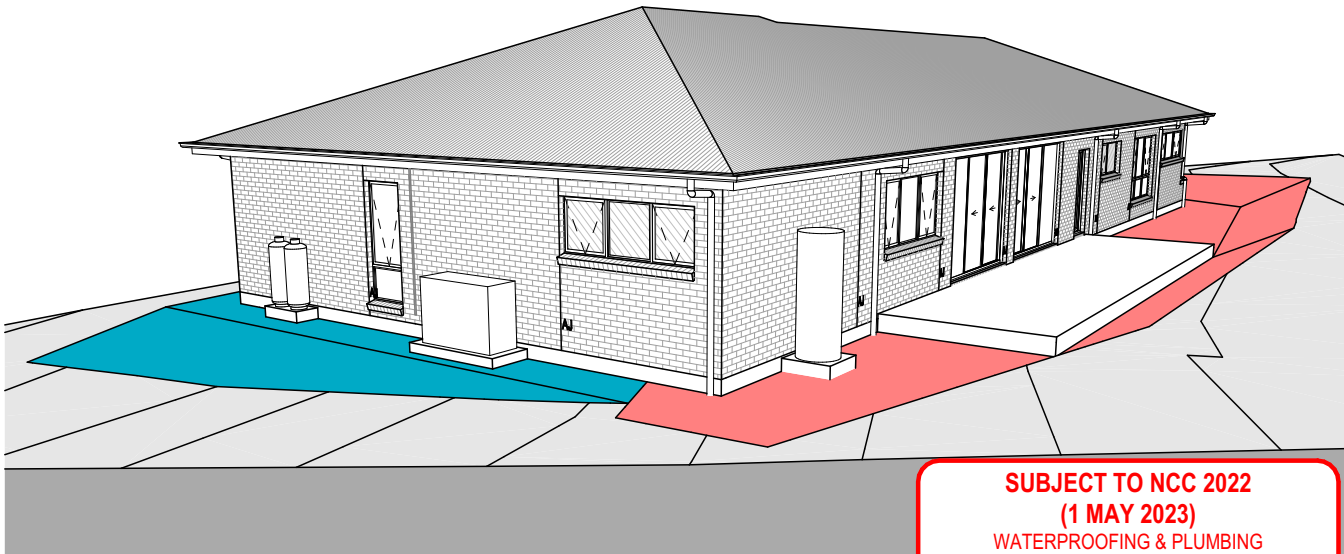


FRONT RIGHT

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No PLN-26-103
DATE RECEIVED 07.05.2026



REAR LEFT



REAR RIGHT

**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT**

PLAN ACCEPTANCE BY OWNER

SIGNATURE:	DATE:
SIGNATURE:	DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

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	3	CONSOLIDATE PROPOSAL 1 - UPDATE	HMI	05/02/2026				
	4	CONSOLIDATE PROPOSAL 2	HMI	19/02/2026				
	5	CONSOLIDATE PROPOSAL 2 - UPDATE	HMI	03/03/2026				
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