

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-26-126
PROPOSED DEVELOPMENT:	Single Dwelling
LOCATION:	35 Wallcrest Road Berriedale
APPLICANT:	Tassie Homes Pty Ltd
ADVERTISING START DATE:	10/07/2026
ADVERTISING EXPIRY DATE:	24/07/2026

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **24.07.2026**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **24.07.2026**, or for postal and hand delivered representations, by 5.00 pm on **24.07.2026**.

H1420 - PROPOSED HOUSE FOR CASTELO & GABRIEL
AT 35 WALLCREST ROAD BERRIEDALE

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No ...PLN-26-126
DATE RECEIVED ...02/06/2026

TH

TASSIE HOMES

Unit 4/37 Ascot Drive, Huntingfield, Tasmania. 7055
Ph. (03) 62 833 273 www.tassiehomes.com.au

Architectural Drawing No.	Description	Architectural Drawing No.	Description
01	A	09	LIGHTING CALCULATIONS, INSULATION & WINDOW SCHEDULE
02		10	COMPLIANCE NOTES
03	A	10a	LIVABLE HOUSING NOTES 1 of 3
04	A	10b	LIVABLE HOUSING NOTES 2 of 3
04a	A	10c	LIVABLE HOUSING NOTES 3 of 3
04b	A	11	WET AREA SPECIFICATIONS
05		11a	STAIR NOTES
06		11b	BALUSTRADE NOTES
07		12	B.A.L. CONSTRUCTION REQUIREMENTS
08			



PROTECTIVE COATINGS FOR STEELWORK			
ENVIRONMENT	LOCATION	MINIMUM PROTECTION COATING	
		General structural steel members	Lintels in masonry
LOW mild steel corrosion rate 1.3 to 25 µm/year Typically remote inland areas or more than 1 km from sheltered bays	INTERNAL	No protection required	
	EXTERNAL	Option 1	Hot dip galvanising - HDG75
		Option 2	Duplex system. See N.C.C. Table 6.3.9c
		Option 3	Paint. See N.C.C. Table 6.3.9b - ALC2, ACC2, IZS1, PUR2A

NOTES:
1. Heavy industrial areas means industrial environments around major industrial complexes. There are only a few such regions in Australia, examples of which occur around Port Pirie and Newcastle.
2. The outer leaf and cavity of an external masonry wall of a building, including walls under open carports are considered to be external environments. A part of an internal leaf of an external masonry wall which is located in the roof space is considered to be in an internal environment.
3. Where a paint finish is applied the surface of the steel work must be hand or power tool cleaned to remove any rust immediately prior to painting.
4. All zinc coatings (including inorganic zinc) require a barrier coat to stop conventional domestic enamels from peeling.
5. Refer to the paint manufacturer where decorative finishes are required on top of the minimum coating specified in the table for protection of the steel against corrosion.
6. Internal locations subject to moisture, such as in close proximity to kitchen or bathroom exhaust fans are not considered to be in a permanently dry location and protection as specified for external locations is required.
7. For applications outside the scope of this table, seek specialist advice.

REVISION	DATE	SHEETS	DESCRIPTION
A	25 May 2026	01, 03 - 04b	Increase size of house & deck, Window changes, Kitchen layout change, Entry change, Add wall to Bath, Add brick subfloor to part of house

THIS PLAN IS ACCEPTED BY:

PLEASE NOTE: no variations will be permitted after plans are signed by the client (with exception of Council requirements / approvals).
SIGNATURE:

DATE:

Climate Zone - 7
C.T. No. 182104/26
Wind Speed - TBC
Soil Classification - TBC
Corrosion Environment - LOW

FLOOR AREA = 124.5m²

= 13.4 sq

BAL - TBC

NOTES:

While all reasonable effort has been made to locate all visible above ground services, there may be other services which were not located during the field survey.

The title boundaries as shown on this plan were not marked at the time of the survey and have been determined by existing title dimensions and occupation (where available) only and not by field survey, and as a result are considered approximate only. This plan should not be used for building to boundary, or to prescribed set-backs, without further survey.

Prior to any demolition, excavation, final design or construction on this site, a full site inspection should be completed by the relevant engineers.

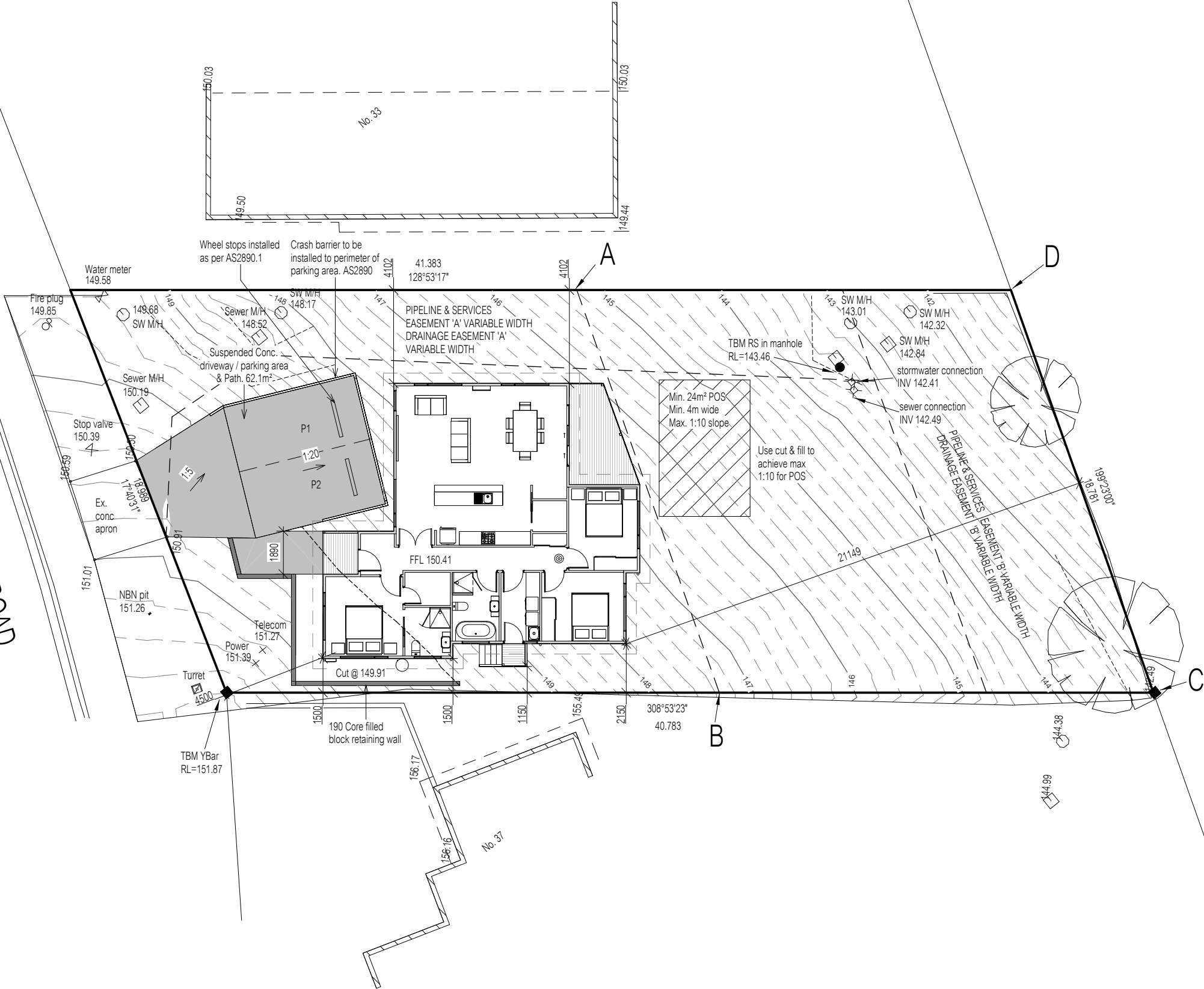
All survey data is 3D. The level (z-value) of any specific feature can be interrogated with a suitable CAD package. Spot heights of all features, including pipe inverts, are included in the model space but are not displayed on the PDF. Spot heights are organised into appropriate layers, and can be displayed as required.

DATUM - Vertical : AHD per SPM 9786 with reputed AHD level of 111.279 from SURCOM on 23/05/26

At the time of this survey, CT.182104-26 was owned by PROSEED CAPITAL PTY. LTD.
Date of Survey : 23/05/26

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No ...PLN-26-126...
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WALLCREST
ROAD



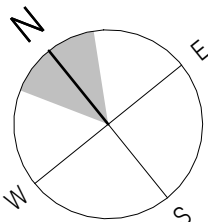
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FFL 150.41

Scale 1 : 200

PROPOSED HOUSE FOR CASTELO & GABRIEL
AT 35 WALLCREST ROAD BERRIEDALE

REVISION	DATE	DESCRIPTION
A	25 May 2026	Changes as per Cover Sheet

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Drafted by Cem Kali, Licence Number: 627300775

DRAWING: SITE PLAN

DATE: 15 May 2026
FILE NAME: H1420 - DA - Rev A - 290526
DRAWN BY: CK
DWG No:

NOTES:

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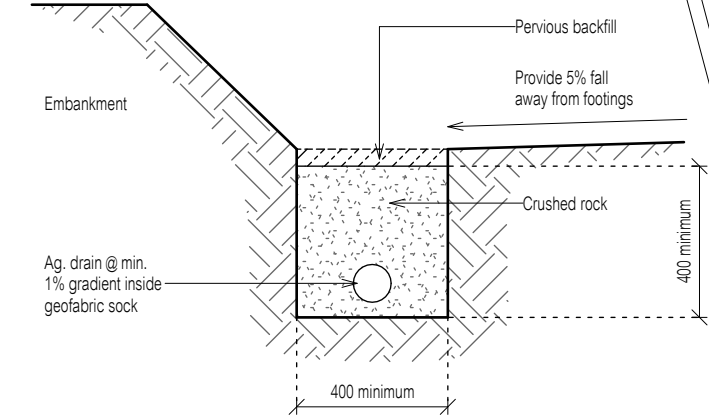
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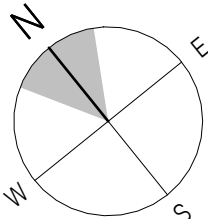
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APPLICATION No. PLN-26-126
DATE RECEIVED 02/06/2026

DRIVEWAY INFORMATION

Average 1:18 downslope from crossover to end of driveway. Provide pit to low end of driveway. Provide spoon drain to side & rear of driveway. Connect spoon drain into grated pit. Connect pit into stormwater. Driveway and path to be concrete, by builder.



All materials and construction to comply with AS/NZS3500, 2025 and to be inspected and approved by a qualified engineer.



Scale As indicated

NOTES:

- All drainage to be installed in accordance with AS/NZ3500 Part 2 & Part 3
- Water connection & metering work to be carried out in accordance with Water Services Association of Australia (WSAA) codes & TasWater supplementary codes, guides and technical specifications.
- Property sewer connections must be in accordance with the Sewerage Code of Australia Melbourne Retail Water Agencies Code section 6 of WSA 02—2014-3.1 MRWA Version 2.
- Sewer inspection openings (property sewer connection points) are to be in accordance with the Sewerage Code of Australia Melbourne Retail Water Agencies Code WSA 02—2014-3.1 MRWA Version 2 standard drawings MRWA-S-301 to MRWA-S-304 and TasWater's supplement to the code



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DRAINAGE LEGEND

1	WC	100 dia
2	HANDBASIN	40 dia
3	SHOWER	50 dia
4	BATH	40 dia
5	LAUNDRY TROUGH	50 dia
6	KITCHEN SINK	50 dia
7	VENT	50 dia
8	TAP CHARGED O.R.G. MIN. 150mm BELOW FFL	
9	DOWNPIPE	90 dia
10	TAP	
11	INSPECTION OPENING TO GROUND LEVEL	
f/w	FLOOR WASTE	

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DRAINAGE PLAN - scale 1:200

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DRAWING: DRAINAGE PLAN

DATE: 29 May 2026
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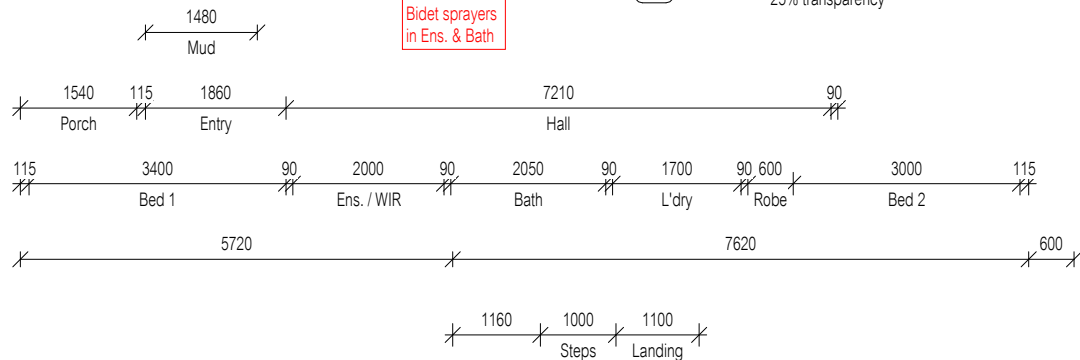
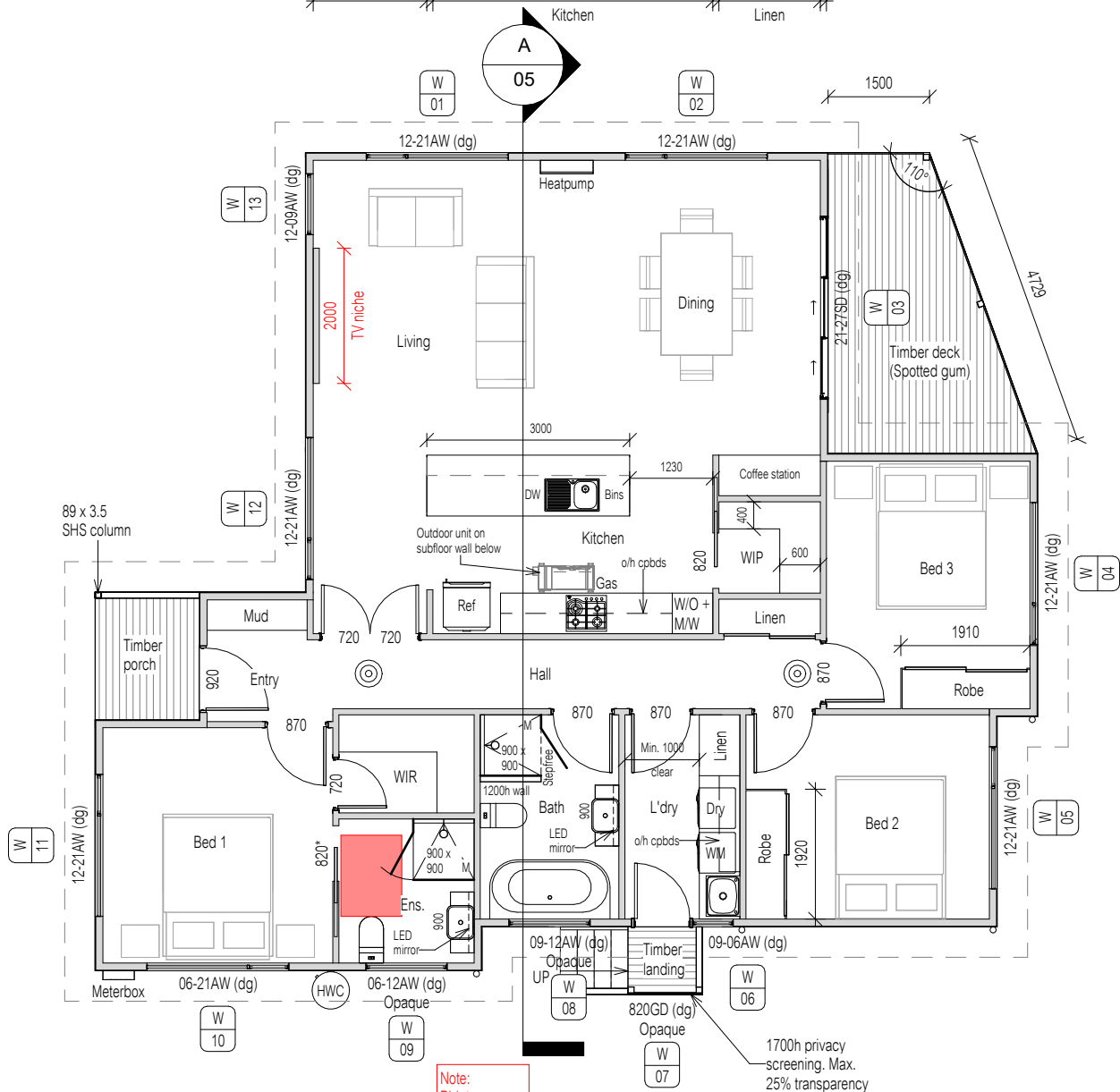
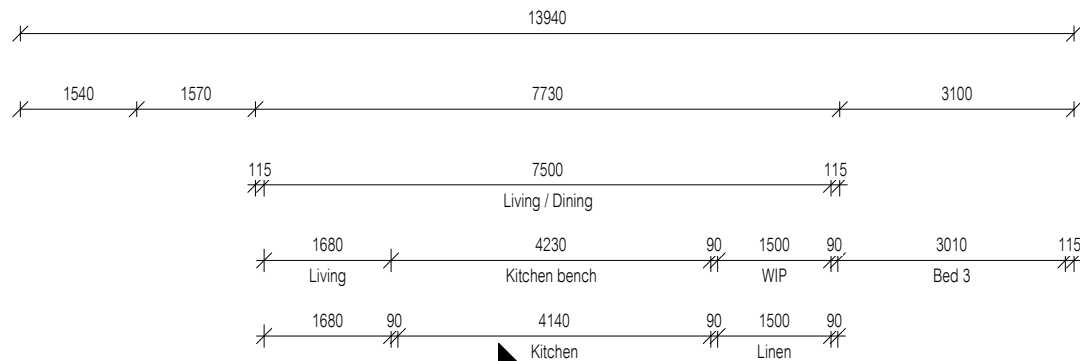
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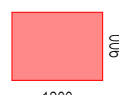
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Liveable Housing Design (H8):
820* - Part 3: Ensure CSD installed flush when open to allow for a clear opening width of 820mm



- Part 4: 900 x 1200 circulation space

IMPORTANT NOTE:

External wall dimension of 115mm includes battens and cladding thickness.
Internal walls dimensioned to stud frame only.

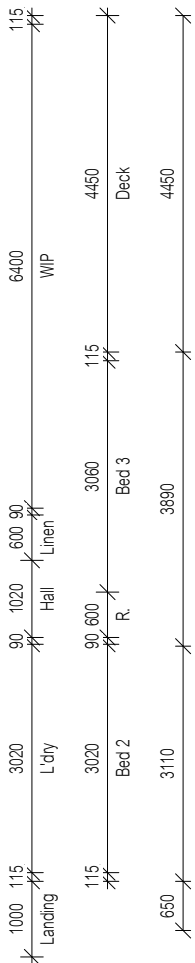


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FLOOR AREA = 124.5m²

Landing/Deck Areas = 12.6m²
Porch Area = 2.9m²



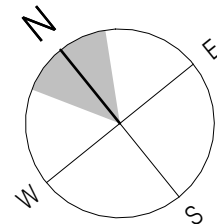
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REVISION	DATE	DESCRIPTION
A	25 May 2026	Changes as per Cover Sheet

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DRAWING: FLOOR PLAN

DATE: 15 May 2026
FILE NAME: H1420 - DA - Rev A - 290526
DRAWN BY: CK
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Scale 1 : 100

PROPOSED HOUSE FOR CASTELO & GABRIEL
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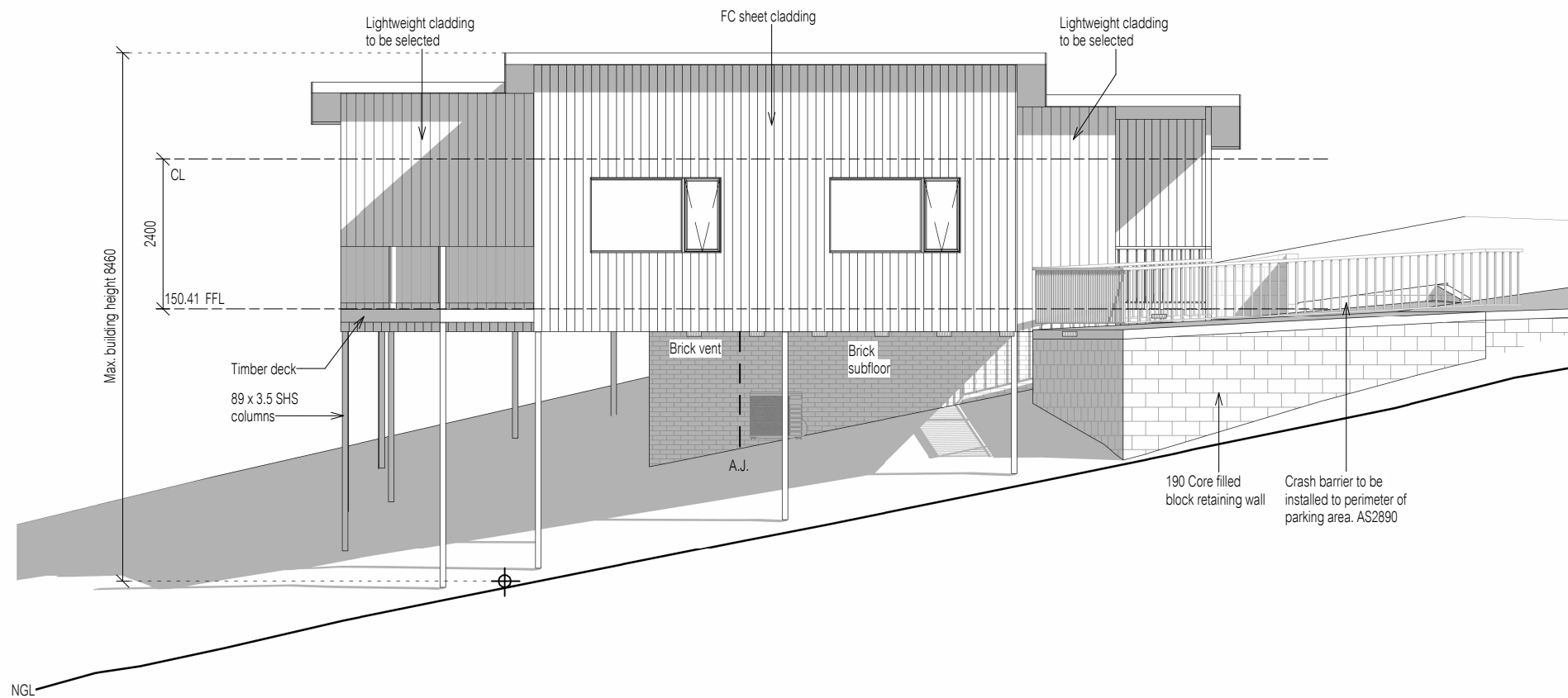
APPLICATION No **..PLN-26-126..**

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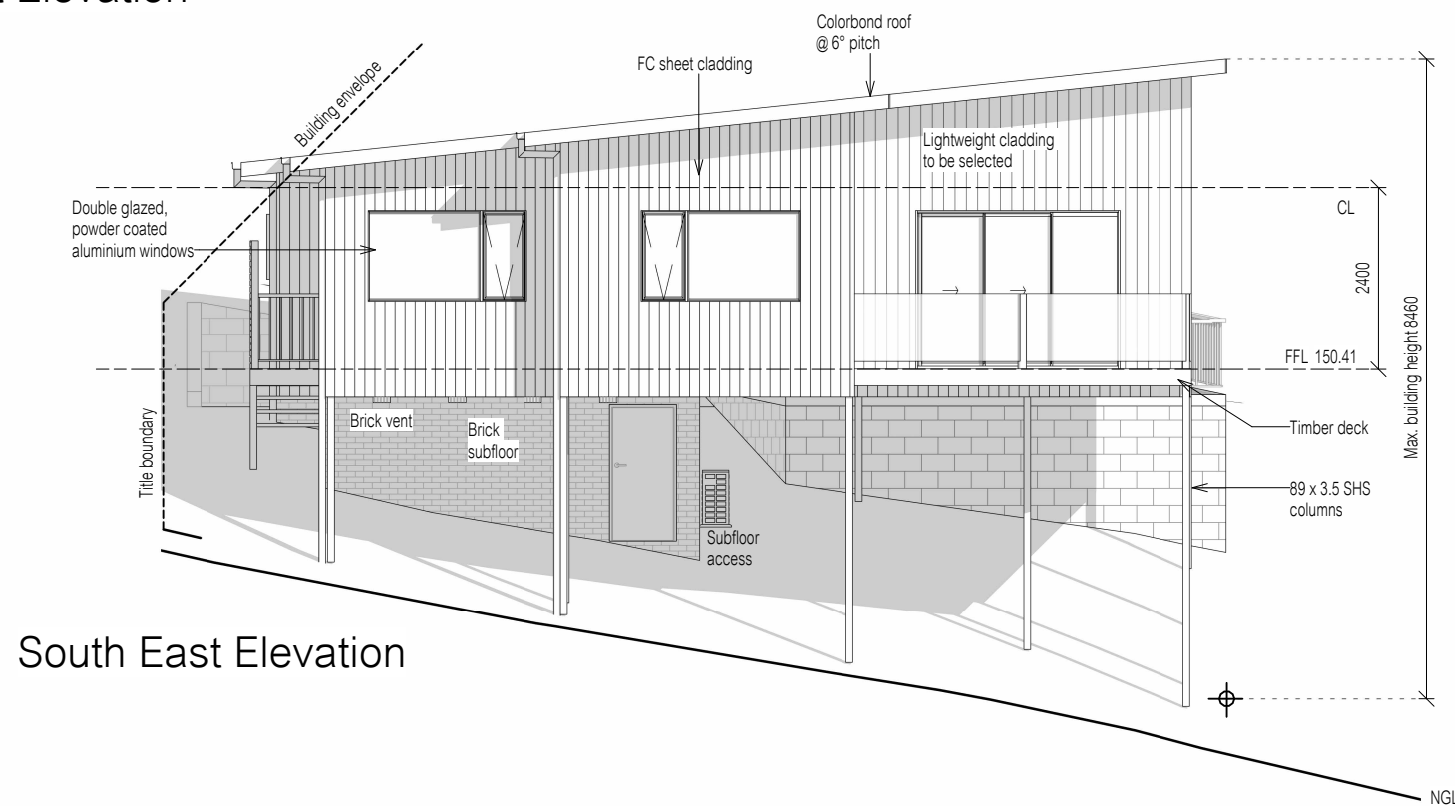


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North East Elevation



South East Elevation

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DRAWING: ELEVATIONS SHEET 1

DATE: 15 May 2026
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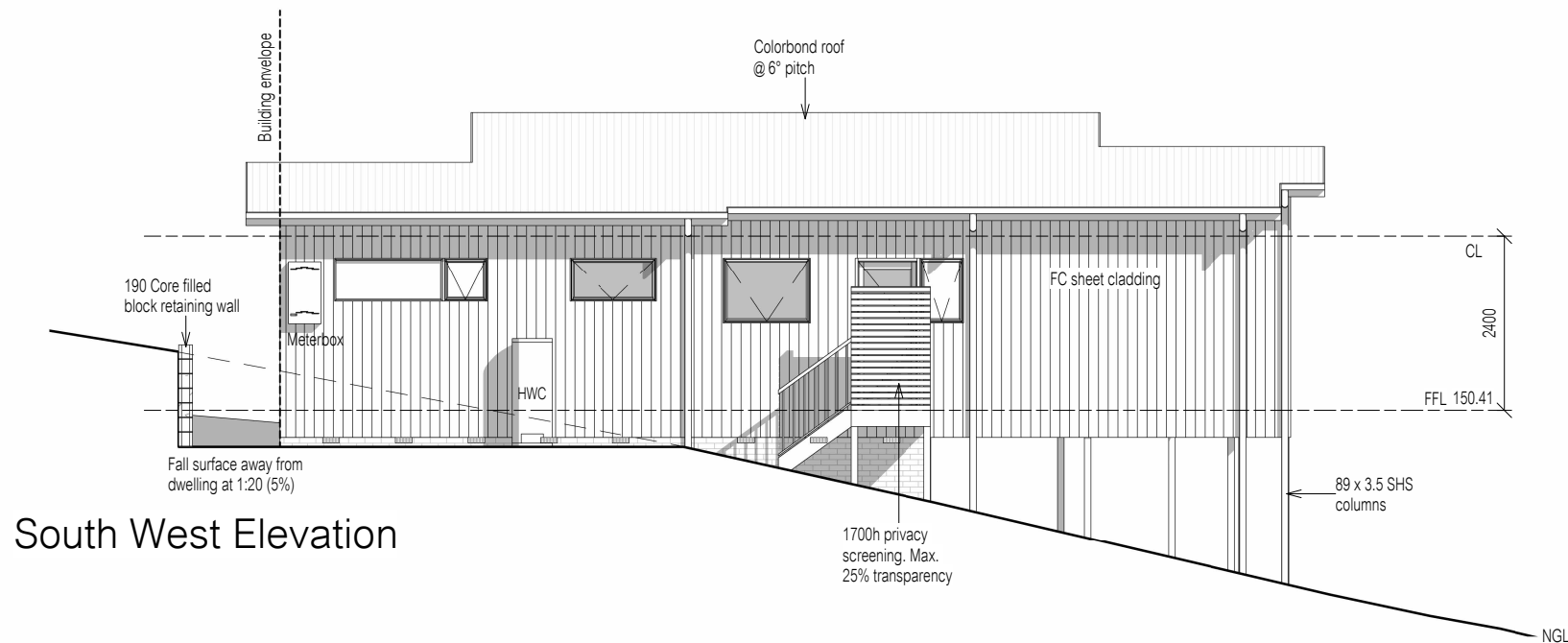
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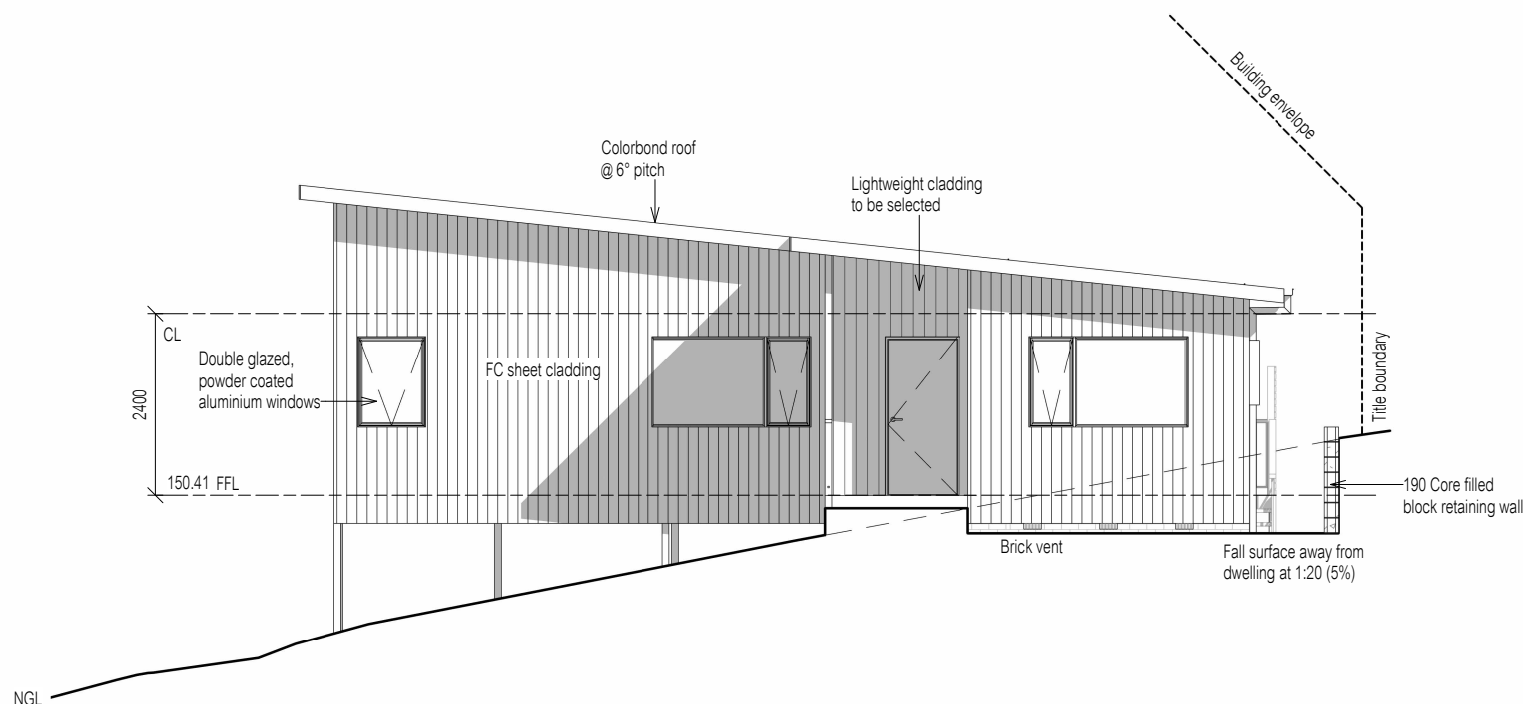


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South West Elevation



North West Elevation

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DRAWING: ELEVATIONS SHEET 2

DATE: 15 May 2026
FILE NAME: H1420 - DA - Rev A - 290526
DRAWN BY: CK
DWG No:

Scale 1 : 100

PROPOSED HOUSE FOR CASTELO & GABRIEL
AT 35 WALLCREST ROAD BERRIEDALE

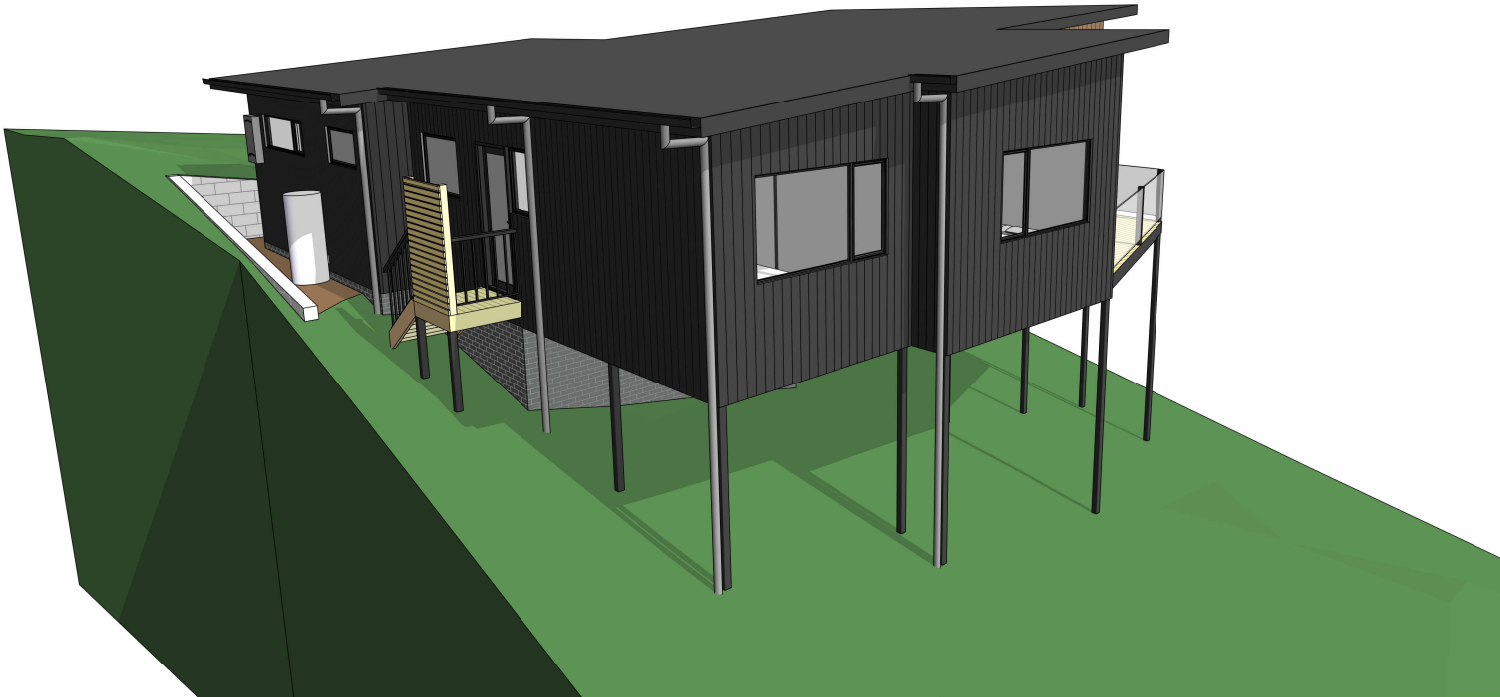


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PLANNING SERVICES
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DRAWING: PERSPECTIVES

DATE: 15 May 2026
FILE NAME: H1420 - DA - Rev A - 290526
DRAWN BY: CK
DWG No:

Scale

PROPOSED HOUSE FOR CASTELO & GABRIEL
AT 35 WALLCREST ROAD BERRIEDALE

04b

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APPLICATION No **PLN-26-126**

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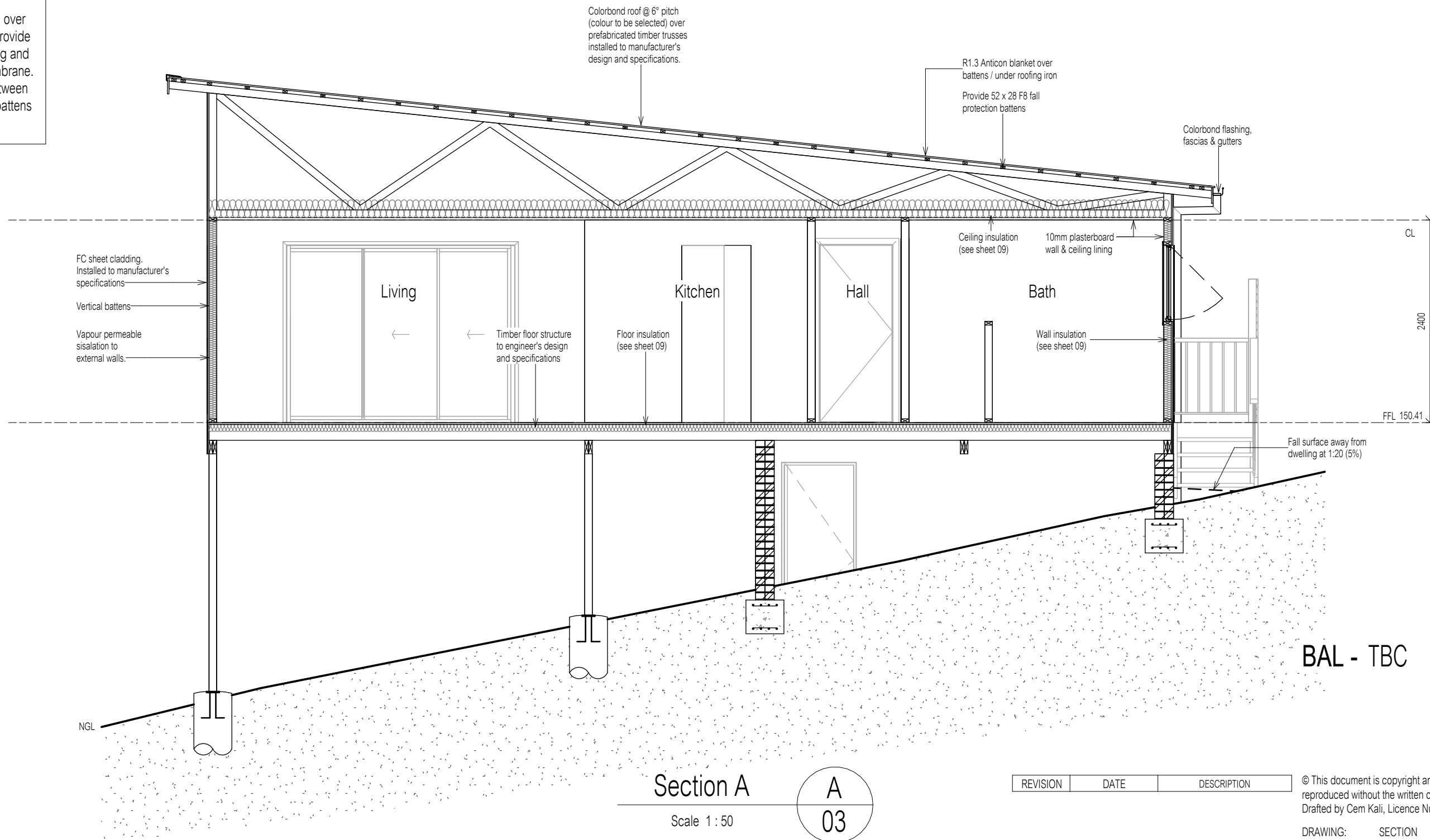


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IMPORTANT NOTES:

Cladding to be installed over min. 10mm battens to provide airflow between cladding and vapour permeable membrane. Provide 10mm gaps between horizontal and vertical battens to allow for air flow.



Section A

Scale 1:50

A

03

REVISION	DATE	DESCRIPTION
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DRAWING: SECTION

DATE: 29 May 2026
FILE NAME: H1420 - DA - Rev A - 290526
DRAWN BY: CK
DWG No:

Scale 1:50

PROPOSED HOUSE FOR CASTELO & GABRIEL
AT 35 WALLCREST ROAD BERRIEDALE

05

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ROOF VENTILATION CALCULATIONS
(6° Skillion Roof - Flat Ceiling)

200 x 400 eave vents (0.08m²)
Ceiling area = 118.6m² / 150 = 0.791m²

Exhaust:

25% of 0.791m² = 0.198m²
0.198m² / 0.08m² = 2.48 (x2) = 5 ridge vents
evenly spaced

Supply:

75% of 0.791m² = 0.593m²
0.593m² / 0.08m² = 7.42 (x2) = 15 eaves vents
evenly spaced

RV 200 x 400 ridge vent (50% opening)

EV 200 x 400 eaves vent (50% opening)

NOTE:

Ensure chosen eave vents have BAL compliant
ember mesh (If BAL 12.5 & over).

GLENORCHY CITY COUNCIL
PLANNING SERVICES

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DOWNPIPE & ROOF CATCHMENT AREA CALCULATIONS (as per NCC part 7.4.1)		
Ah	153.4	Area of roof (including 115mm Quad Gutter) (m²)
Ac	161.1	Ah x slope factor (determined from Table 3.4.3.2 from AS/NZS 3500.3) (m²)
Gutter type	A	Cross sectional area 6500mm² (determined from NCC Table 7.4.3b)
DRI	86	Design Rainfall Intensity (determined from NCC Table 7.4.3d)
Acdp	70	Catchment area per 90mm downpipe (determined from NCC Table 3.5.2.2)
Downpipes Required	2.3	$\frac{Ac}{Acdp}$
Downpipes Provided	4	Additional d.p. due to roof design

Scale 1 : 100

PROPOSED HOUSE FOR CASTELO & GABRIEL
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CATCHMENT AREAS NOTES:

Colorbond roof @ 6° pitch

CATCHMENT AREA 1 = 69.9m²

CATCHMENT AREA 2 = 49.9m²

CATCHMENT AREA 3 = 38.2m²

CATCHMENT AREA 4 = 3.1m²

denotes roof area

d.p. denotes downpipe

denotes direction of fall

RV denotes 200 x 400 ridge vent

EV denotes 200 x 400 eaves vent

IMPORTANT NOTES:

The position and quantity of downpipes are not to be altered without consulting with designer.

Areas shown are surface / catchment areas NOT plan areas.

All roof areas shown are indicative only and not to be used for any other purpose.

Roof space must be ventilated.

Eave vents must be fitted to soffit with BAL compliant, non-combustible ember mesh installed (if BAL12.5 & over).

Vents must be in accordance with the NCC, BCA 2022, Volume 2, Part 10.8.3 'Ventilation of Roof Spaces'.

BAL - TBC

REVISION	DATE	DESCRIPTION
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DRAWING: ROOF PLAN

DATE: 29 May 2026
FILE NAME: H1420 - DA - Rev A - 290526
DRAWN BY: CK
DWG No:

THIS PLAN IS ACCEPTED BY:

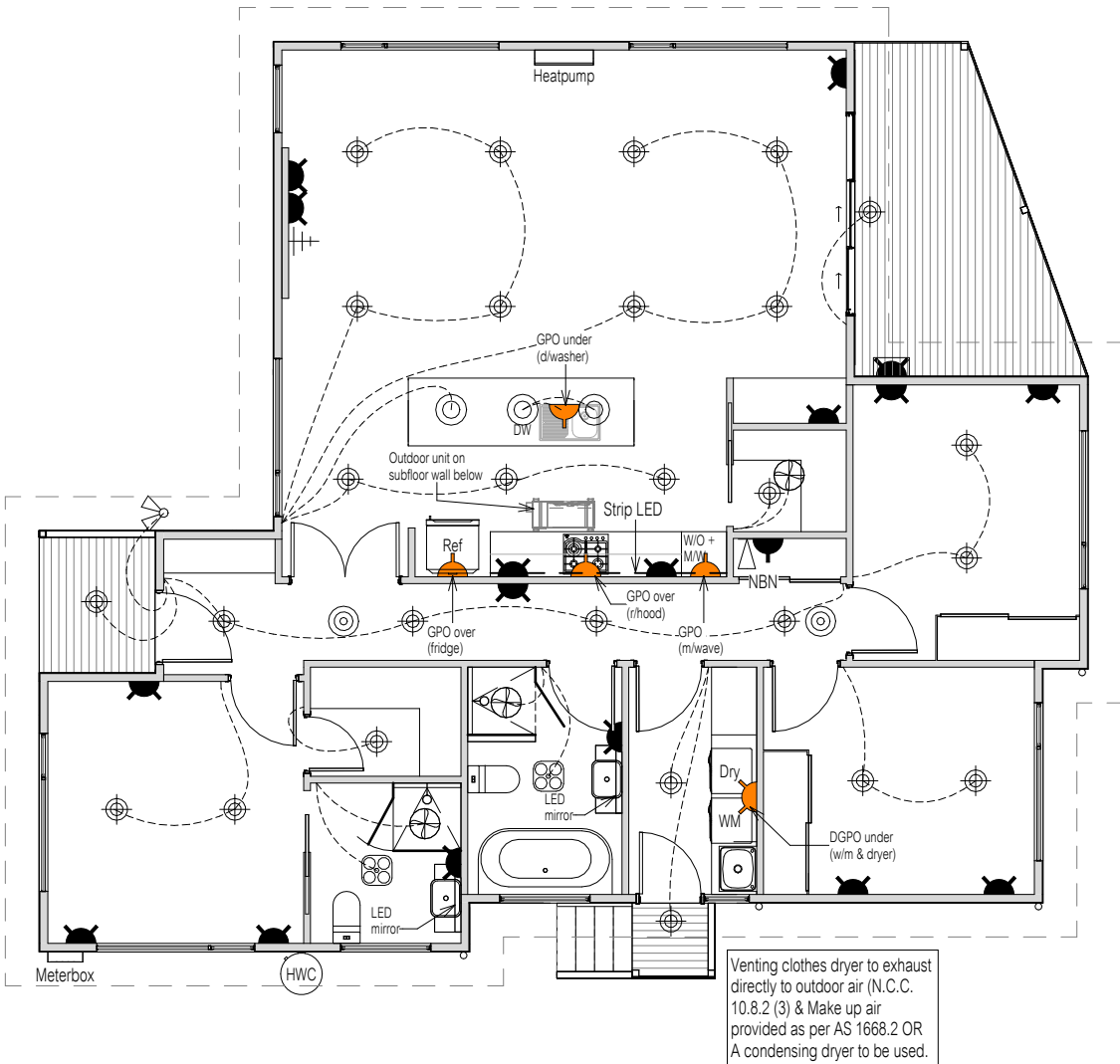
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IMPORTANT NOTES:

1. Smoke alarms are to be installed in accordance with the NCC, BCA, Vol. 2, 2022, Part 9.5. Smoke alarms are to be interconnected where more than one alarm is installed.
2. Toilet & bathroom fans to be min. 25L/s and to be ducted directly to outside. Kitchen & laundry fans to be min. 40L/s and to be ducted directly to outside.
3. All downlights are to be sealed and IC-F rated.
4. Power allowance to be made to parking area for EV charging. (Single phase DGPO - Waterproof)



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- Batten light (28W)
- ◐ Wall light (28W)
- ⊕ TV point
- ⊙ Smoke alarm
- ▽ Phone / NBN point
- ⊙ Pendant light (28W)
- — LED strip light (10W/m)
- ◑ LED spotlight (sensor)
- ⊙ LED downlight (12W)
- Single GPO
- Double GPO
- Double GPO (external)
- ▬ Slimline LED batten (40W)
- ⊕ Ducted exhaust fan
- ▼ Data point
- ⊙ 4-light Tastic (10W centre light only)
- ⊙ 2-light Tastic (10W centre light only)
- ◆ Stair lights (5W)
- ✕ Ceiling fan

BAL - TBC

Scale 1 : 100

PROPOSED HOUSE FOR CASTELO & GABRIEL
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DRAWING: ELECTRICAL PLAN

DATE: 29 May 2026
FILE NAME: H1420 - DA - Rev A - 290526
DRAWN BY: CK
DWG No:

THIS PLAN IS ACCEPTED BY:

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PLANNING SERVICES**

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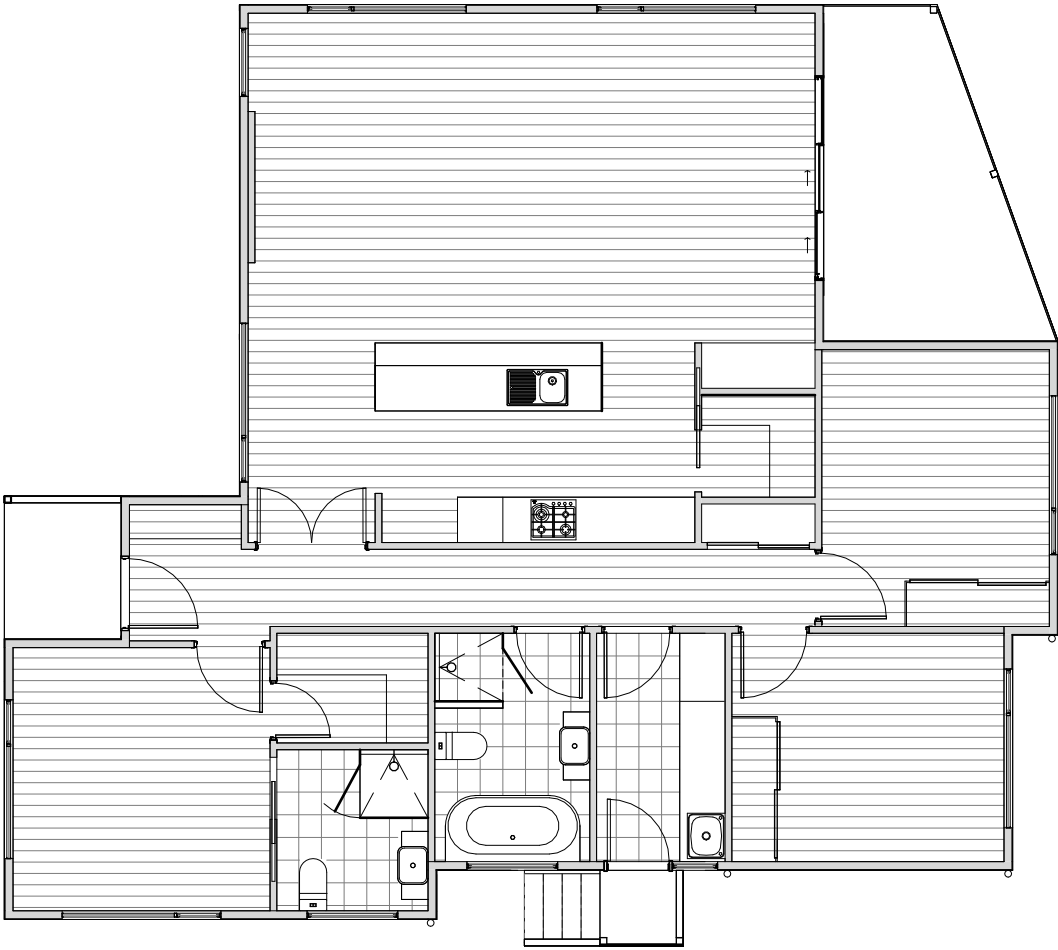
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FLOORING LEGEND

Floating
Flooring

Tiles



BAL - TBC

Scale 1 : 100

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DRAWING: FLOORING LAYOUT PLAN

DATE: 29 May 2026
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DATUM - Vertical : AHD per SPM 9786 with reputed AHD level of 111.279 from SURCOM on 23/05/26

At the time of this survey, CT.182104-26 was owned by PROSEED CAPITAL PTY. LTD.
Date of Survey : 23/05/26

NOTES:

- All drainage to be installed in accordance with AS/NZ3500 Part 2 & Part 3
- Water connection & metering work to be carried out in accordance with Water Services Association of Australia (WSAA) codes & TasWater supplementary codes, guides and technical specifications.
- Property sewer connections must be in accordance with the Sewerage Code of Australia Melbourne Retail Water Agencies Code section 6 of WSA 02—2014-3.1 MRWA Version 2.
- Sewer inspection openings (property sewer connection points) are to be in accordance with the Sewerage Code of Australia Melbourne Retail Water Agencies Code WSA 02—2014-3.1 MRWA Version 2 standard drawings MRWA-S-301 to MRWA-S-304 and TasWater's supplement to the code



TASSIE HOMES

Unit 4/37 Ascot Drive, Huntingfield, Tasmania. 7055
Ph. (03) 62 833 273 www.tassiehomes.com.au

DRAINAGE LEGEND

1	WC	100 dia
2	HANDBASIN	40 dia
3	SHOWER	50 dia
4	BATH	40 dia
5	LAUNDRY TROUGH	50 dia
6	KITCHEN SINK	50 dia
7	VENT	50 dia
8	TAP CHARGED O.R.G. MIN. 150mm BELOW FFL	
9	DOWNPIPE	90 dia
10	TAP	
11	INSPECTION OPENING TO GROUND LEVEL	
f/w	FLOOR WASTE	

THIS PLAN IS ACCEPTED BY:

PLEASE NOTE: no variations will be permitted after plans are signed by the client (with exception of Council requirements / approvals).
SIGNATURE:

DATE:

BAL - 19
See sheet 12 for
Bushfire Attack Level
construction requirements

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Drafted by Cem Kali, Licence Number: 627300775

DRAWING: DRAINAGE PLAN

DATE: 29 May 2026
FILE NAME: H1420 - BA - Rev A - 090626
DRAWN BY: CK
DWG No:

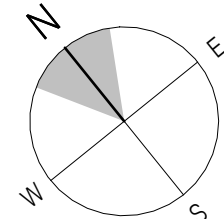
GLENORCHY CITY COUNCIL PLANNING SERVICES

APPLICATION No. PLN-26-126
DATE RECEIVED 19/06/2026

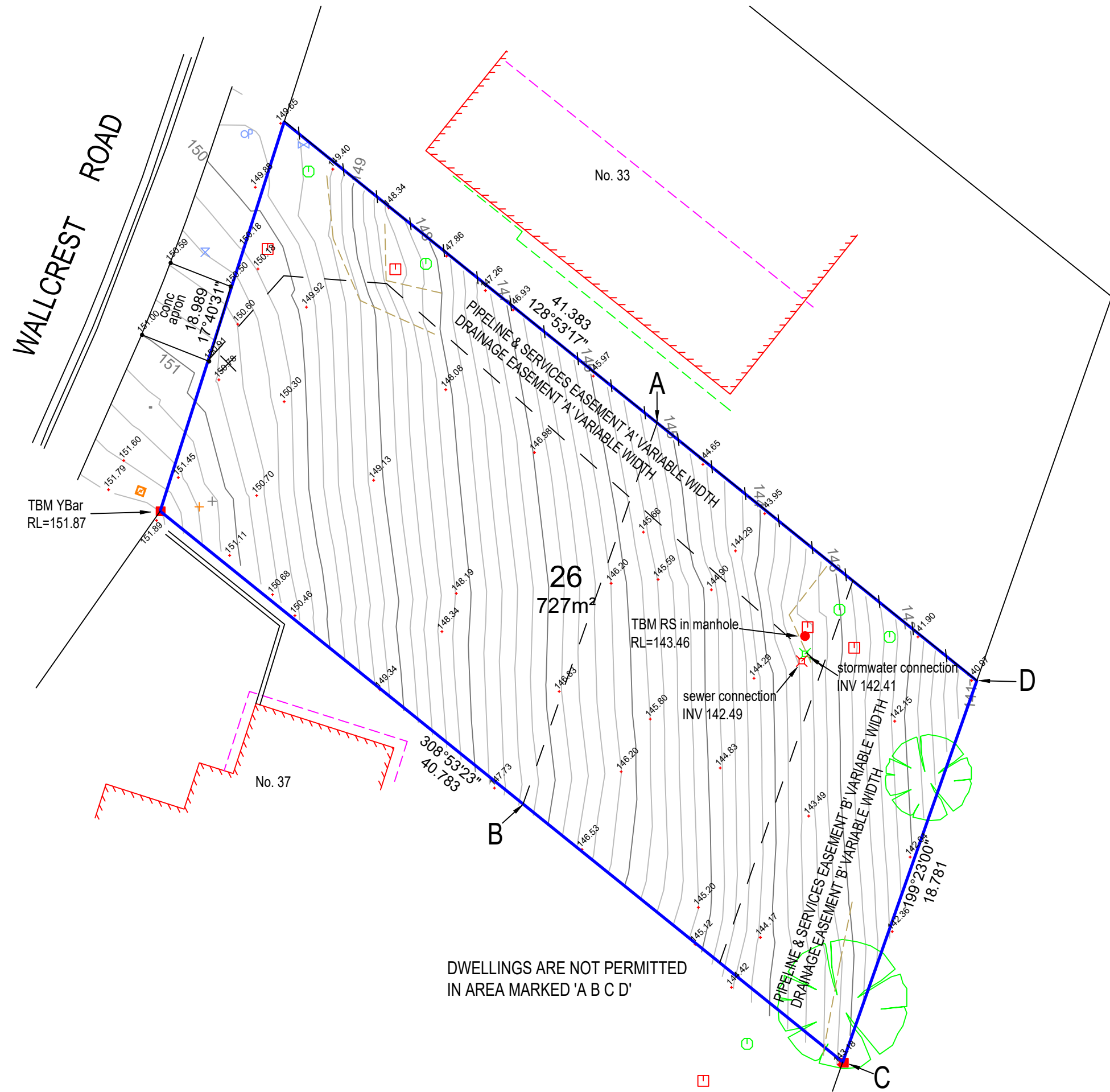
REVISION	DATE	DESCRIPTION
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DRAINAGE PLAN - scale 1:200

PROPOSED HOUSE FOR CASTELO & GABRIEL
AT 35 WALLCREST ROAD BERRIEDALE



Scale As indicated



NOTES:

While all reasonable effort has been made to locate all visible above ground services, there may be other services which were not located during the field survey.

The title boundaries as shown on this plan were not marked at the time of the survey and have been determined by existing title dimensions and occupation (where available) only and not by field survey, and as a result are considered approximate only. This plan should not be used for building to boundary, or to prescribed set-backs, without further survey.

Prior to any demolition, excavation, final design or construction on this site, a full site inspection should be completed by the relevant engineers.

All survey data is 3D. The level (z-value) of any specific feature can be interrogated with a suitable CAD package. Spot heights of all features, including pipe inverts, are included in the model space but are not displayed on the PDF. Spot heights are organised into appropriate layers, and can be displayed as required.

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Date of Survey : 23/05/26

- TITLE BOUNDARY
- LOT BOUNDARY
- EASEMENT BOUNDARY
- BANK TOP
- BANK BOTTOM
- BITUMEN EDGE
- KERB INVERT
- KERB BACK
- FOOTPATH
- DRIVEWAY
- HOUSE
- BLOCK WALL
- RIDGE LINES
- GUTTER LIP
- PALING FENCE
- TITLE PEG
- TBM RS
- NATURAL SURFACE
- TREE
- STORMWATER MANHOLE
- STORMWATER HOUSE CONNECTION
- TURRET
- POWER CONDUIT
- NBN PIT
- TELECOM CONDUIT
- SEWER MANHOLE
- SEWER HOUSE CONNECTION
- STOP VALVE
- FIRE PLUG
- METER WATER

GLENORCHY CITY COUNCIL PLANNING SERVICES

APPLICATION No ...PLN-26-126.....

DATE RECEIVED ...19/06/2026.....

AMENDMENTS		
No.	Revision/Issue	Date



Unit G04 40 Molle Street,
HOBART TAS 7000
P 03 6118 2030
E admin@lccsurvey.com

Project Name and Address
35 WALLCREST ROAD, BERRIE DALE

Drawing Title
DETAIL PLAN
Client
TASSIE HOMES CT 182104 - 26

SCALE

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Contour Interval
0.200 m
Date
25 / 05 / 26
SHEET
1 of 1
DRAWN
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CHKD

FILE REF:
15194
Geocivil Ref
1519401
AutoCAD Ref
1519401
DATUM
Horz:
GDA
Vert:
AHD