

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-26-171
PROPOSED DEVELOPMENT:	Partial Demolition and Alterations to Dwelling
LOCATION:	11 Jimbirn Street Berriedale
APPLICANT:	Prime Design (Invermay)
ADVERTISING START DATE:	31/07/2026
ADVERTISING EXPIRY DATE:	14/08/2026

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **14/08/2026**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **14/08/2026**, or for postal and hand delivered representations, by 5.00 pm on **14/08/2026**.

PROPOSED ROOF REPLACEMENT & ALT.

11 JIMBIRN STREET

BERRIEDALE

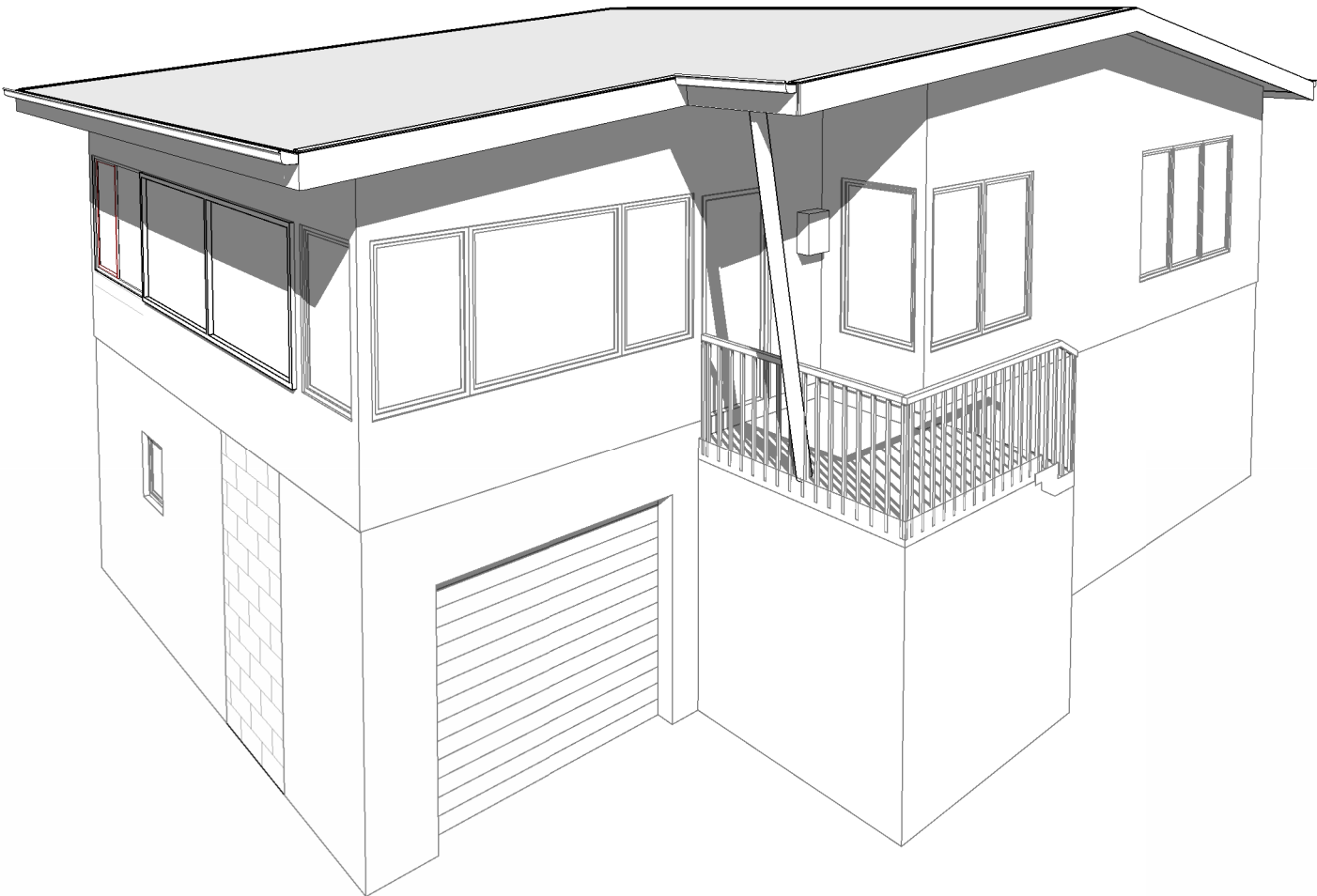
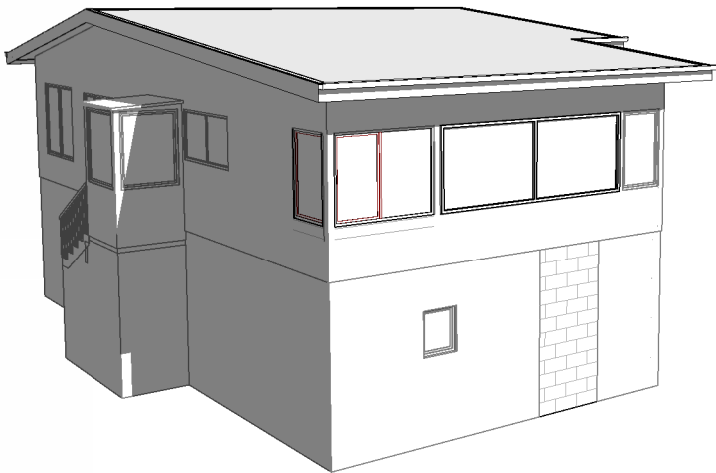
GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No. : PLN-26-171
DATE RECEIVED: 27 July 2026

MARDI DWYER

PDH25103

BUILDING DRAWINGS

No	DRAWING
01	SITE PLAN
02	LOCALITY PLAN
03	DEMOLITION PLAN
04	FLOOR PLAN
05	ELEVATIONS
06	ELEVATIONS
07	ROOF PLAN



Prime Design
your build, your way

L: 10 Goodman Court , Invermay, 7248
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H: Shop 9, 105-111 Main Road, Moonah, 7009
p(h)+ 03 6228 4575
info@primedesigntas.com.au
Accredited Building Practitioner:

bdca
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

primedesigntas.com.au
Frank Geskus -No CC246A

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REV. DATE DESCRIPTION

JULY 2026
PLANNING

- GENERAL NOTES
- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
 - WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
 - ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A.. CODES & LOCAL AUTHORITY BY-LAWS
 - ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
 - CONFIRM ALL FLOOR AREAS
 - ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
 - BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
 - ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
 - ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
 - IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
 - BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
 - BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION

IMPORTANT NOTE:
DRAWINGS CAN BE READ IN BLACK & WHITE. HOWEVER ARE BEST PRINTED IN FULL COLOUR FOR OPTIMUM CLARITY. A COLOUR COPY SHOULD BE RETAINED ON SITE AT ALL TIMES FOR CONTRACTORS COMPLETING WORKS.

NOTE: DIMENSIONED BOUNDARY OFFSETS TO THE PROPOSED BUILDING ARE TO THE EXTERNAL CLADDING U.N.O.



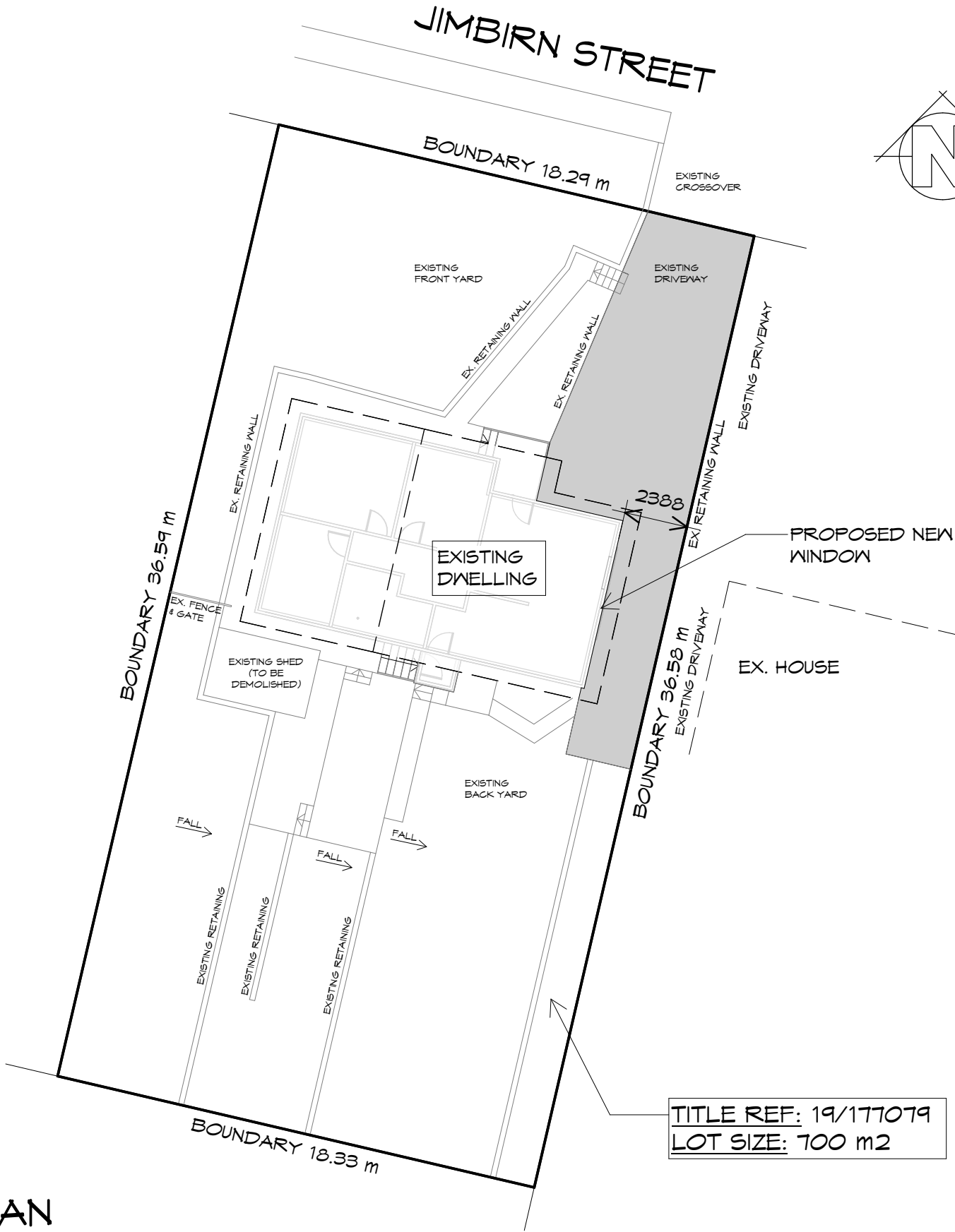
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info@primedesigntas.com.au primedesigntas.com.au



Date:	Drafted by:	Approved by:
27.07.2026	P.S.	A.V.

Project/Drawing no:	Scale:	Revision:
PDH25103 - 01	1 : 200	04

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SITE PLAN
1 : 200

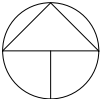
REV.	DATE	DESCRIPTION
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Client name:
MARDI DWYER

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED ROOF REPLACEMENT & ALT.
11 JIMBIRN STREET
BERRIEDALE

Drawing:
SITE PLAN





LOCALITY PLAN

1 : 2000

THIS SITE IS ZONED **GENERAL RESIDENTIAL** AND DOES NOT FALL WITHIN A BUSHFIRE PRONE AREAS OVERLAY, THEREFORE DOES NOT REQUIRE A BUSHFIRE ASSESSMENT.



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REV.	DATE	DESCRIPTION
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Client name:
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PLANNING
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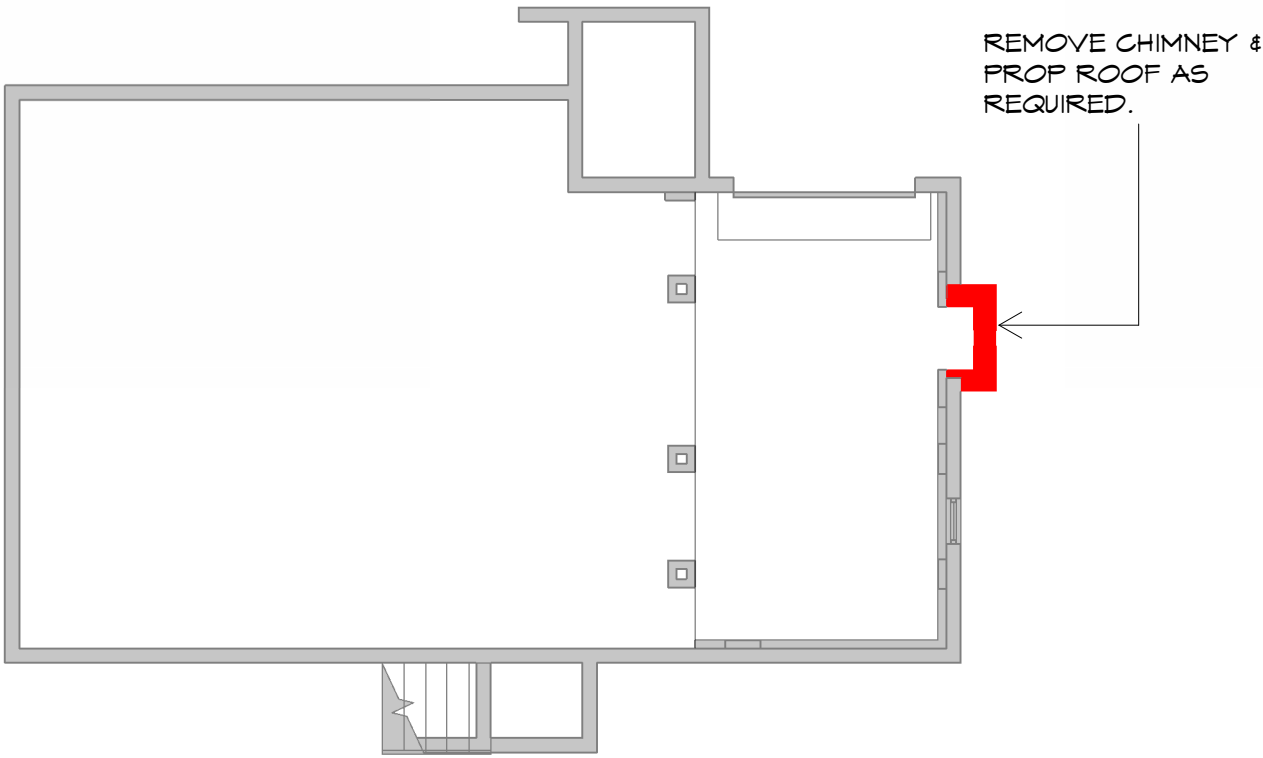
Project:
PROPOSED ROOF REPLACEMENT & ALT.
11 JIMBIRN STREET
BERRIEDALE

Drawing:
LOCALITY PLAN

Date: 27.07.2026	Drafted by: P.S.	Approved by: A.V.
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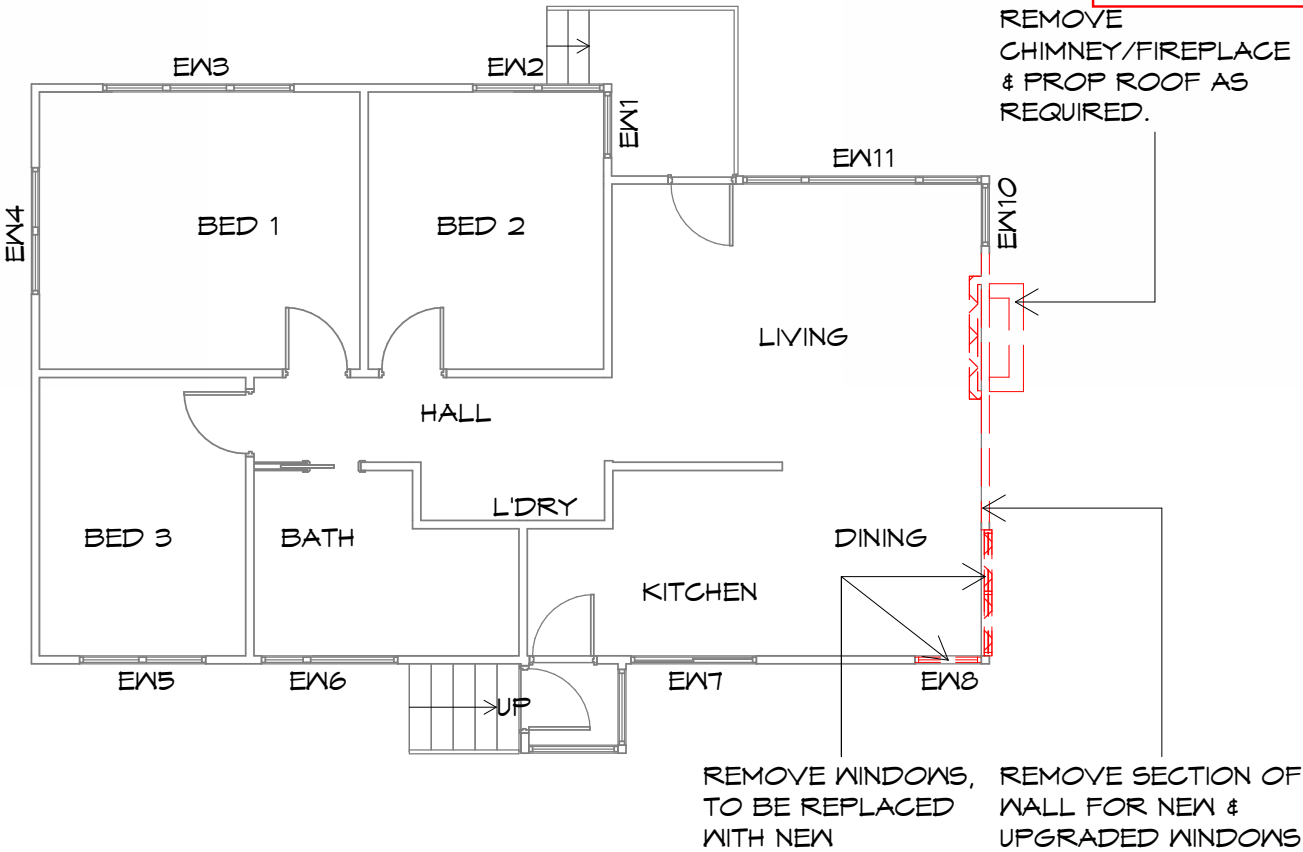
Project/Drawing no: PDH25103 - 02	Scale: 1 : 2000	Revision: 04
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GROUND FLOOR DEMOLITION PLAN

1 : 100



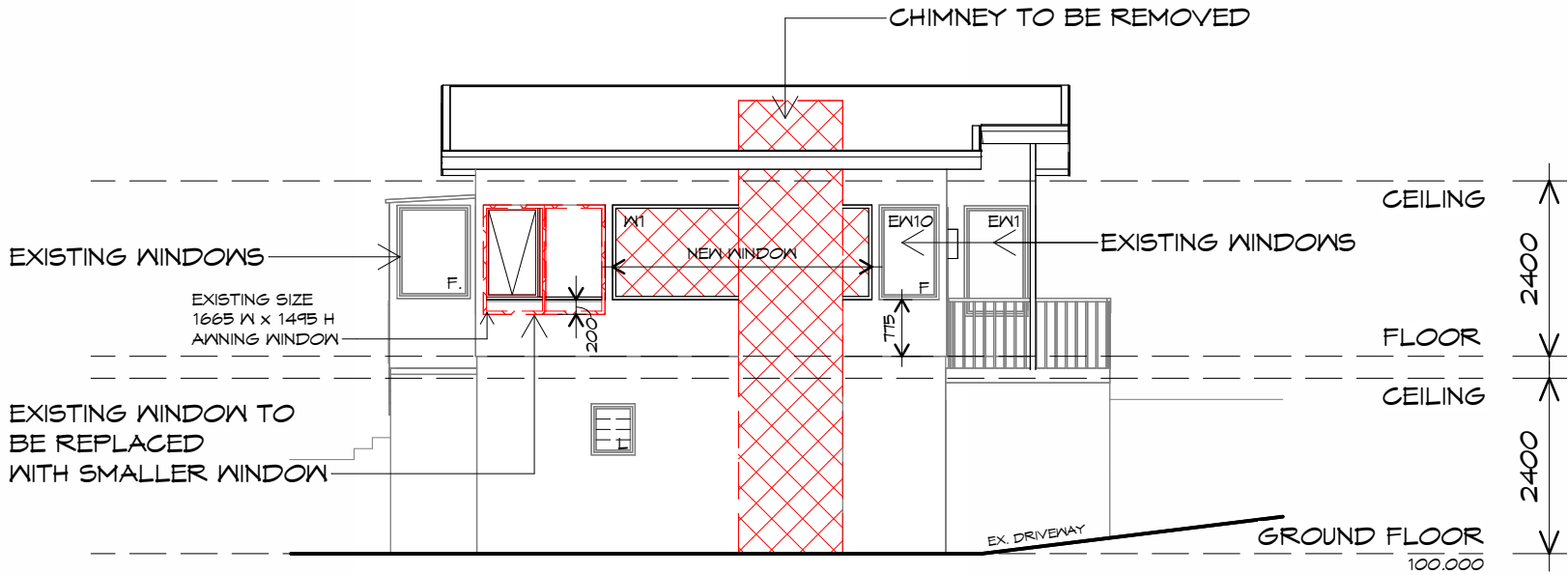
FIRST FLOOR DEMOLITION PLAN

1 : 100

EXISTING TIMBER FRAME WINDOWS - **SINGLE GLAZED**.
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING.

DEMOLITION NOTE:

- IT IS THE BUILDERS RESPONSIBILITY THAT ALL WORKS TO BE DONE IN A SAFE MANNER.
- BUILDER TO PROP WHERE REQUIRED. IF UNSURE CONTACT ENGINEER OR DESIGNER.
- CAP ALL PLUMBING.
- ALL ELECTRICAL TO BE DISCONNECTED AT MAINS BOARD/STREET 1 OF FEED INTO SITE.
- BUILDERS RESPONSIBILITY TO KEEP SITE CLEAN TO ENSURE NO CONTAMINATES GO INTO STORM WATER/SEWER WATER LINES.
- BUILDER TO HAVE SITE INSPECTED/TESTED FOR ASBESTOS PRIOR TO ANY WORKS



EASTERN ELEVATION EXISTING & PROPOSED OVERLAY

1 : 100



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REV. DATE DESCRIPTION

Client name:
MARDI DWYER

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED ROOF REPLACEMENT & ALT.
11 JIMBIRN STREET
BERRIEDALE
Drawing:
DEMOLITION PLAN



Date: 27.07.2026
Drafted by: P.S.
Approved by: A.V.

Project/Drawing no: PDH25103 - 03
Scale: 1 : 100
Revision: 04

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LEGEND

COL

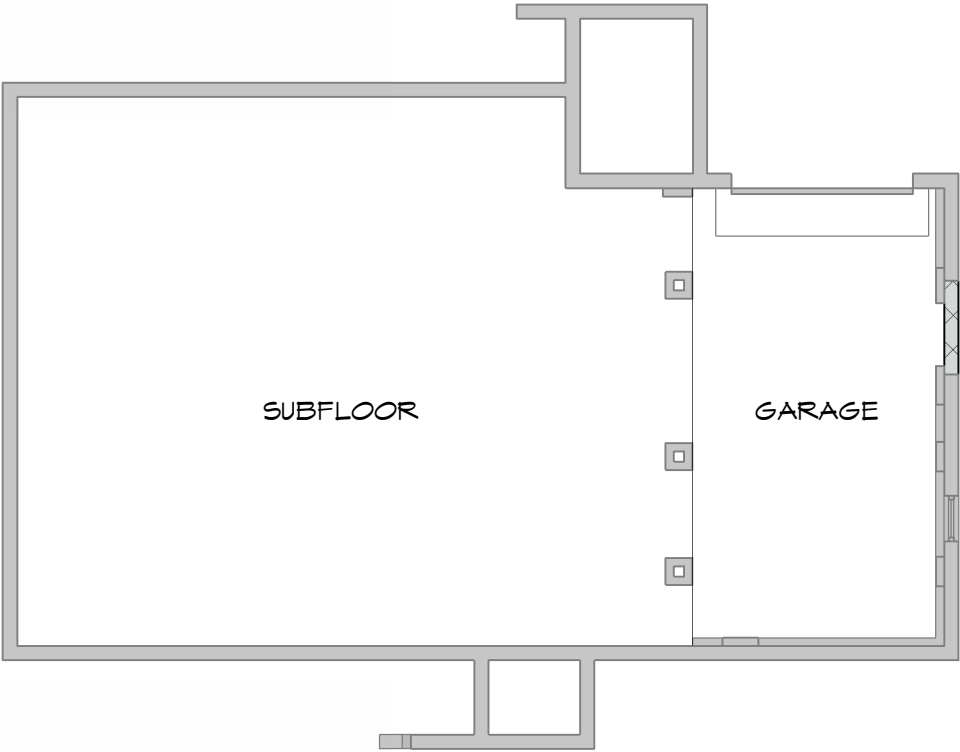
COLUMN TO ORIGINAL DESIGN

H.P.

HIGH POINT

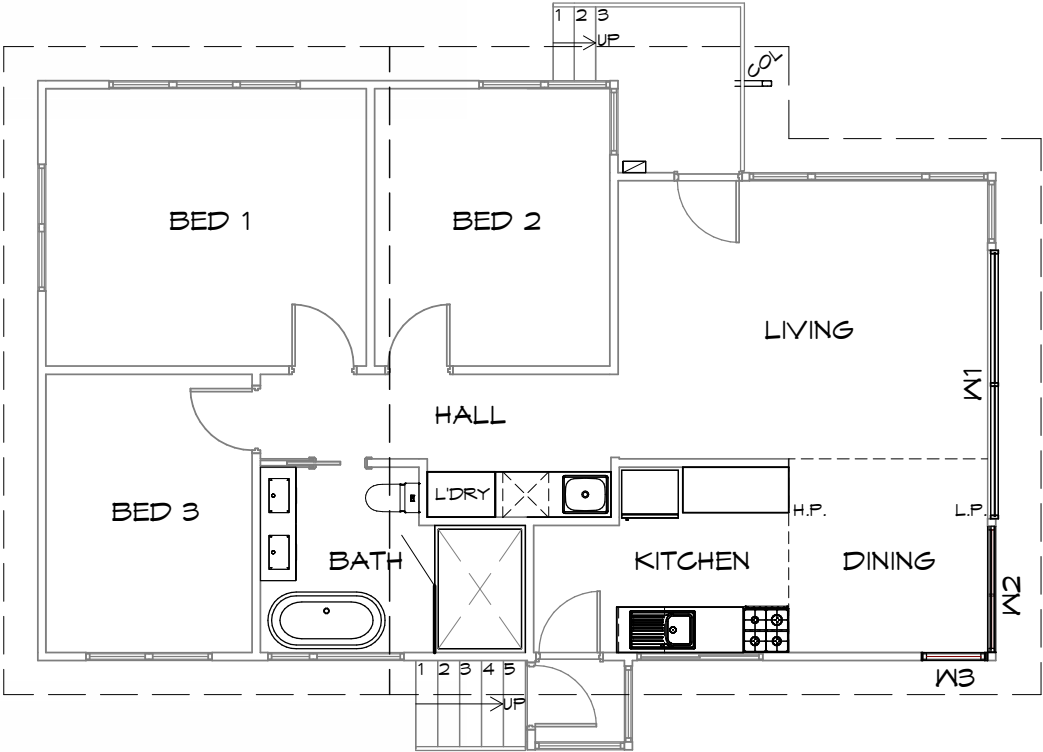
L.P.

LOW POINT



GROUND FLOOR PLAN

1 : 100



FIRST FLOOR PLAN

1 : 100



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REV.	DATE	DESCRIPTION
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Client name:

MARDI DWYER

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

Project:

PROPOSED ROOF REPLACEMENT & ALT.

11 JIMBIRN STREET

BERRIEDALE

Drawing:

FLOOR PLAN



Date:

27.07.2026

Drafted by:

P.S.

Approved by:

A.V.

Project/Drawing no:

PDH25103 - 04

Scale:

1 : 100

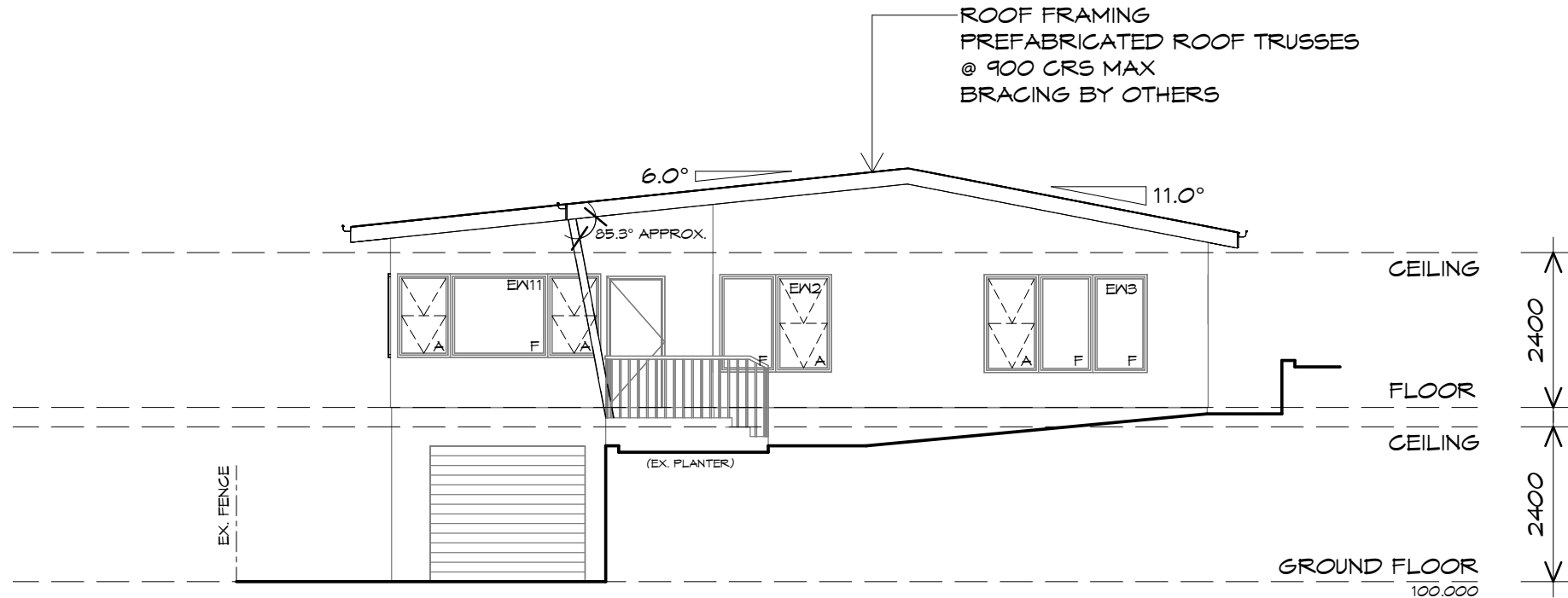
Revision:

04

Accredited building practitioner:

Frank Geskus -No CC246A

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NORTHERN ELEVATION

1 : 100

WINDOWS
POWDER COATED ALUMINIUM WINDOW FRAMES
AWNING/SLIDING OPENING REVEALS AND TRIMS
TO CLIENTS SPEC.
ALL FLASHING TO MANUFACTURERS SPEC.

PROTECTION OF WINDOWS

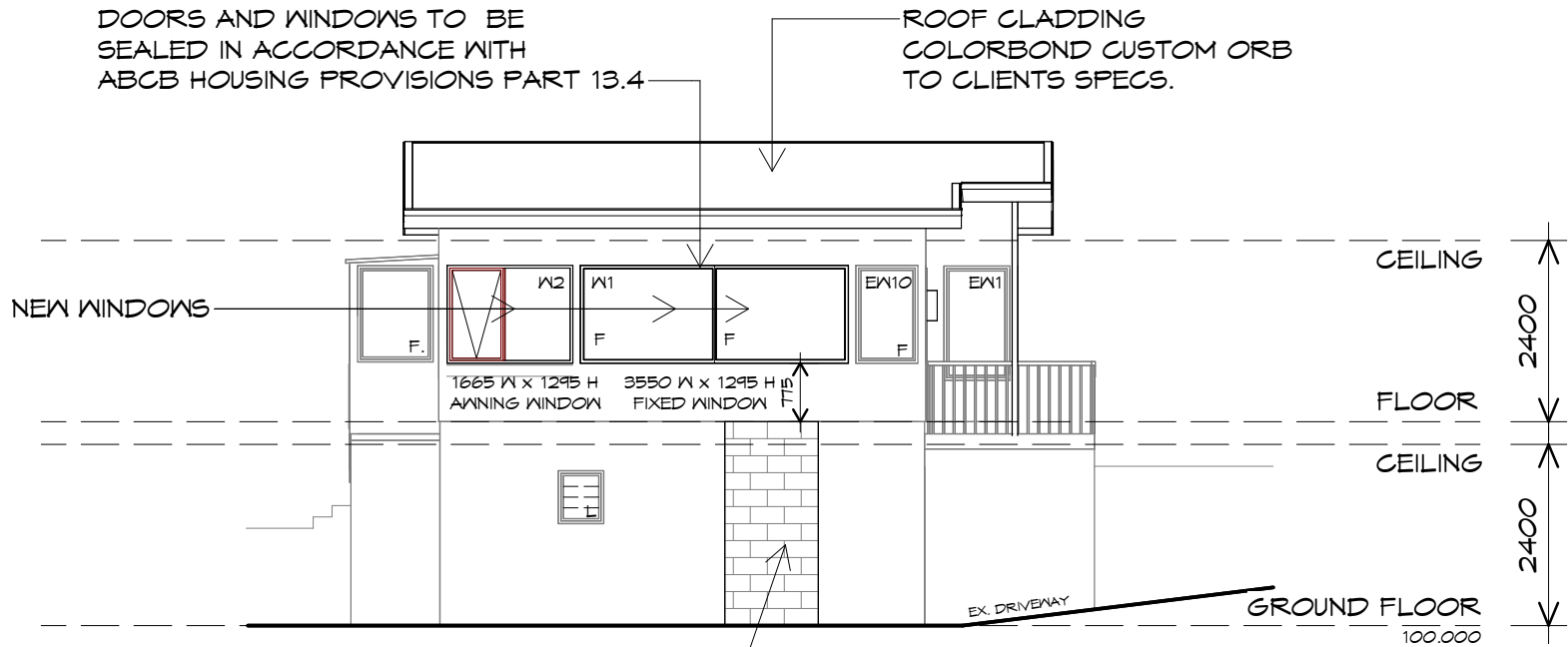
- PROTECTION IS TO BE PROVIDED TO A BEDROOM WINDOW IF THE FINISHED FLOOR LEVEL OF THE BEDROOM HAS A HEIGHT GREATER THAN 2M FROM THE FINISHED GROUND LEVEL AND WHERE THE LOWEST LEVEL OF THE WINDOW OPENING IS WITHIN 1.7M MEASURED FROM THE FINISHED FLOOR LEVEL OF THE BEDROOM FLOOR.
- ALL BARRIERS, DEVICES AND OPERATION OF PROTECTED WINDOWS ARE TO COMPLY WITH ABCB HOUSING PROVISIONS PART 11.3.7.

FLASHINGS TO WALL OPENINGS
OPENINGS IN EXTERNAL WALL CLADDING EXPOSED TO WEATHER MUST BE FLASHED WITH MATERIAL COMPLYING WITH AS/NZS 2904 TO TOP, BOTTOM & SIDES OF OPENINGS. FLASHINGS MUST BE SUITABLE FOR FRAMING & CLADDING USED. TO COMPLY ABCB HOUSING PROVISIONS PART 7.5.6.

EAVES
OVER HANG ROOF 450mm U.N.O.
FRAME FOR LEVEL EAVES
LINE ALL SOFFITS
WITH HARDIFLEX SHEETING.
IN ACCORDANCE WITH ABCB
HOUSING PROVISIONS PART 7.5.5.

FASCIA
COLORBOND FOLDED METAL
-GUTTER TO CLIENTS SPEC
-FASCIA TRIM ALL ROUND
INSTALLED IN ACCORDANCE
WITH THE MANUFACTURER'S
INSTRUCTIONS.
COLOUR TO BE SELECTED.

**COLORBOND FLASHING
(TYPICAL)**



EASTERN ELEVATION

1 : 100

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Date: 27.07.2026
Drafted by: P.S.
Approved by: A.V.

Project/Drawing no: PDH25103 - 05
Scale: 1 : 100
Revision: 04

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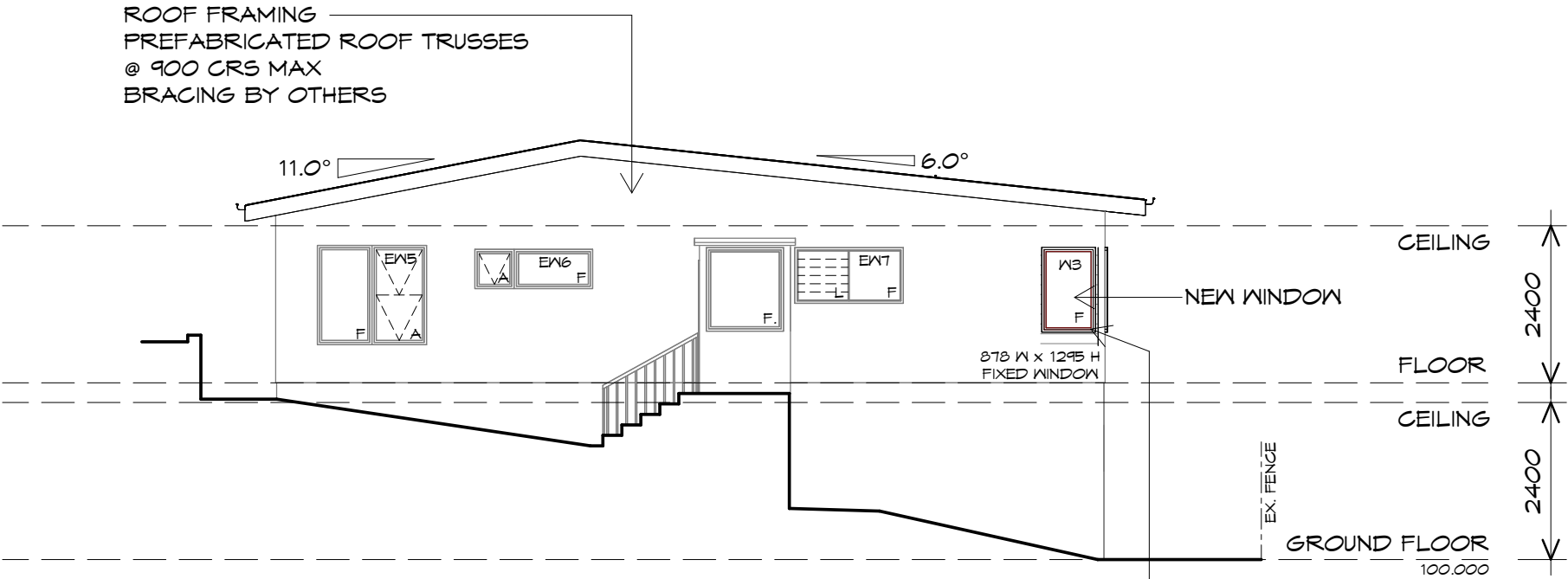
Project:
PROPOSED ROOF REPLACEMENT & ALT.
11 JIMBIRN STREET
BERRIEDALE

Drawing:
ELEVATIONS

PLANNING

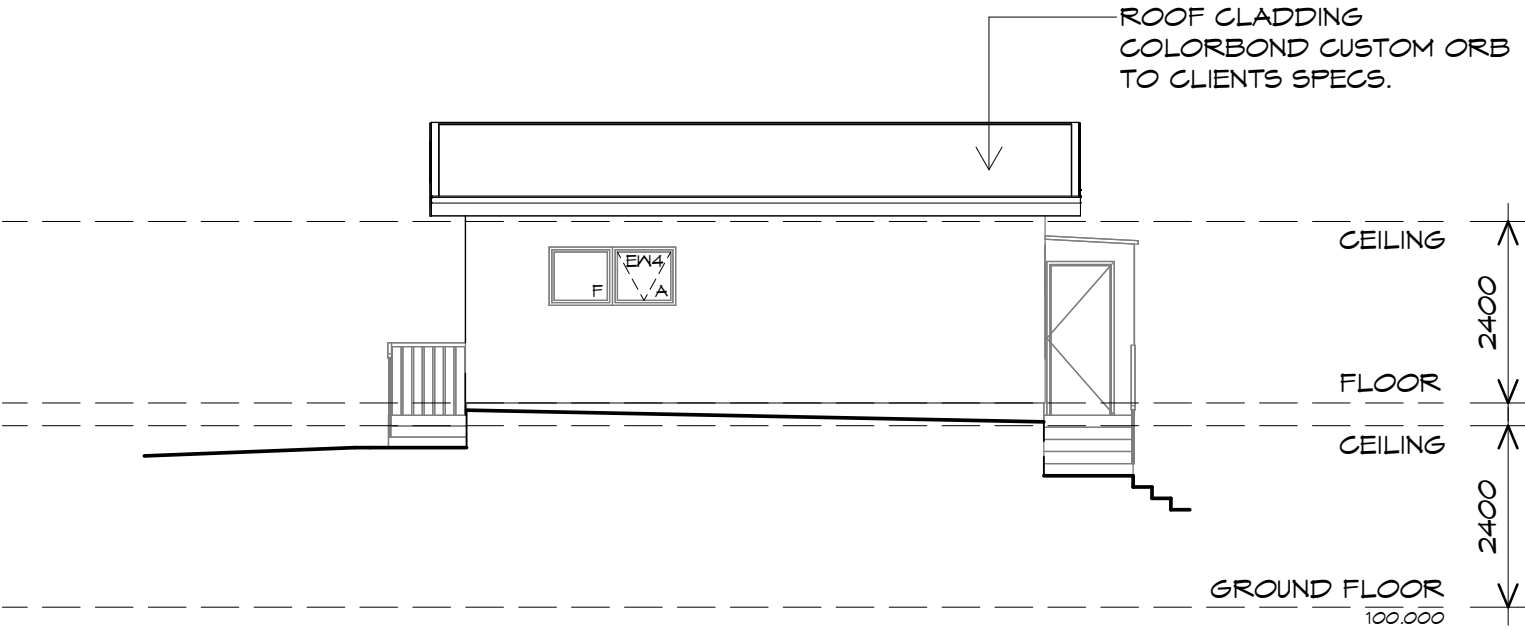
NOTE: DO NOT SCALE OFF DRAWINGS

REV. DATE DESCRIPTION



SOUTHERN ELEVATION
1 : 100

DOORS AND WINDOWS TO BE
SEALED IN ACCORDANCE WITH
ABCB HOUSING PROVISIONS PART 13.4



WESTERN ELEVATION
1 : 100

EXISTING TIMBER FRAME WINDOWS - SINGLE GLAZED
(EXCEPT BATHROOM).
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING.

WINDOWS
POWDER COATED ALUMINIUM WINDOW FRAMES
AWNING/SLIDING OPENING REVEALS AND TRIMS
TO CLIENTS SPEC.
ALL FLASHING TO MANUFACTURERS SPEC.

- PROTECTION OF WINDOWS
- PROTECTION IS TO BE PROVIDED TO A BEDROOM WINDOW IF THE FINISHED FLOOR LEVEL OF THE BEDROOM HAS A HEIGHT GREATER THAN 2M FROM THE FINISHED GROUND LEVEL AND WHERE THE LOWEST LEVEL OF THE WINDOW OPENING IS WITHIN 1.7M MEASURED FROM THE FINISHED FLOOR LEVEL OF THE BEDROOM FLOOR.
 - ALL BARRIERS, DEVICES AND OPERATION OF PROTECTED WINDOWS ARE TO COMPLY WITH ABCB HOUSING PROVISIONS PART 11.3.7.

FLASHINGS TO WALL OPENINGS
OPENINGS IN EXTERNAL WALL CLADDING EXPOSED TO WEATHER MUST BE FLASHED WITH MATERIAL COMPLYING WITH AS/NZS 2904 TO TOP, BOTTOM & SIDES OF OPENINGS. FLASHINGS MUST BE SUITABLE FOR FRAMING & CLADDING USED. TO COMPLY ABCB HOUSING PROVISIONS PART 7.5.6.

EAVES
OVER HANG ROOF 450mm U.N.O.
FRAME FOR LEVEL EAVES
LINE ALL SOFFITS
WITH HARDIFLEX SHEETING.
IN ACCORDANCE WITH ABCB
HOUSING PROVISIONS PART 7.5.5.

FASCIA
COLORBOND FOLDED METAL
-GUTTER TO CLIENTS SPEC
-FASCIA TRIM ALL ROUND
INSTALLED IN ACCORDANCE
WITH THE MANUFACTURER'S
INSTRUCTIONS.
COLOUR TO BE SELECTED.

COLORBOND FLASHING
(TYPICAL)

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BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

REV.	DATE	DESCRIPTION
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Client name:
MARDI DWYER

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED ROOF REPLACEMENT & ALT.
11 JIMBIRN STREET
BERRIEDALE

Drawing:
ELEVATIONS

Date: 27.07.2026	Drafted by: P.S.	Approved by: A.V.
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Project/Drawing no: PDH25103 - 06	Scale: 1 : 100	Revision: 04
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ROOF PLUMBING NOTES:

GUTTER INSTALLATION
TO BE IN ACCORDANCE WITH
ABCB HOUSING PROVISIONS PART 7.4.4
WITH FALL NO LESS THAN
1:500 FOR EAVES GUTTER
BOX GUTTERS IN ACCORDANCE WITH
AS33500.3:2021

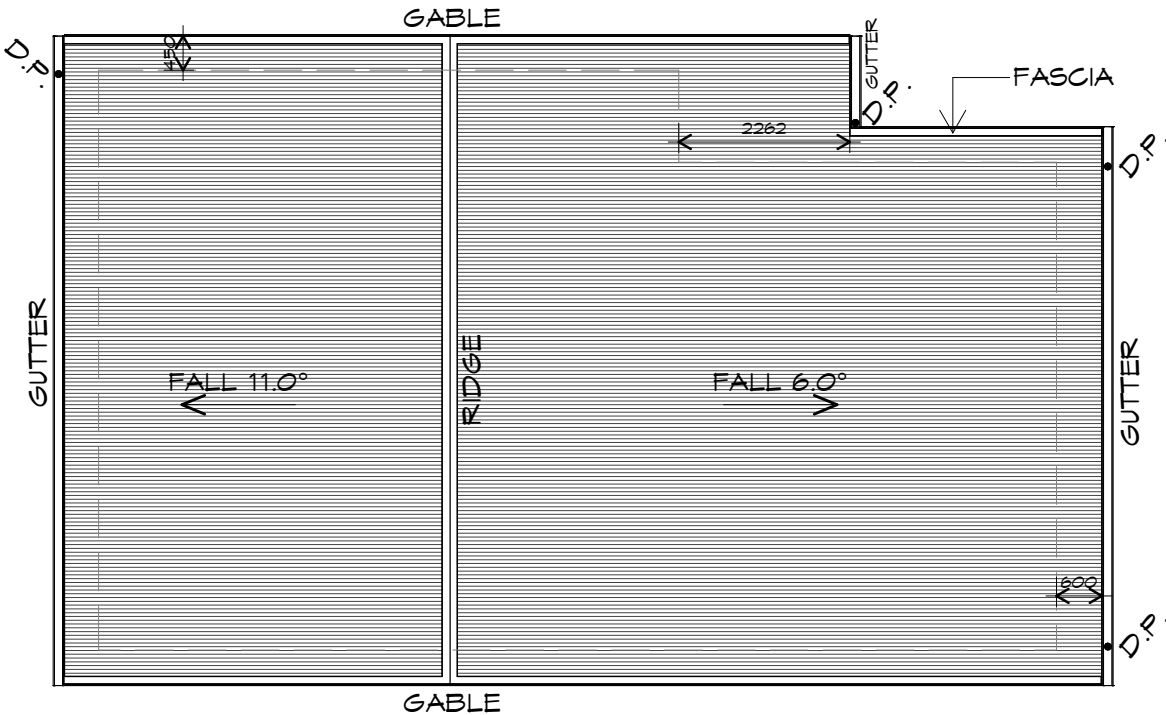
UNLESS FIXED TO METAL FASCIA
EAVES GUTTER TO BE FIXED
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:
A) MORE THAN 12.5° DEGREES - MUST
HAVE A WIDTH OF NOT LESS THAN
400mm AND ROOF OVERHANG OF NOT
LESS THAN 150mm EACH SIDE OF VALLEY
GUTTER.
B) LESS THAN 12.5° DEGREES, MUST BE
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION
OF FLOW, RIVET & SEAL WITH AN
APPROVED SILICONE SEALANT.

DOWNSPIPE POSITIONS SHOWN ON THIS
PLAN ARE NOMINAL ONLY.
EXACT LOCATION & NUMBER OF D.P'S
REQUIRED ARE TO BE IN ACCORDANCE
WITH ABCB HOUSING PROVISIONS PART 7.4.5
REQUIREMENTS.
SPACING BETWEEN DOWNSPIPES MUST NOT
BE MORE THAN 12m & LOCATED AS CLOSE
AS POSSIBLE TO VALLEY GUTTERS

METAL ROOF
METAL SHEETING ROOF TO BE INSTALLED IN
ACCORDANCE WITH ABCB HOUSING PROVISIONS PART
7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE
CORROSION PROTECTION FOR SHEET ROOFING,
REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY
OF CONTACT BETWEEN DIFFERENT ROOFING
MATERIALS. FOR FIXING, SHEET LAYING SEQUENCE,
FASTENER FREQUENCY FOR TRANVERSE FLASHINGS
AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING
DETAILS REFER TO ABCB HOUSING PROVISIONS PART
7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS.
REFER TO TO ABCB HOUSING PROVISIONS PART
7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN
35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8



ROOF PLAN

1 : 100

ADDITIONAL ROOF LOAD
NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.



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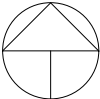
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MARDI DWYER

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED ROOF REPLACEMENT & ALT.
11 JIMBIRN STREET
BERRIEDALE

Drawing:
ROOF PLAN



Date:	Drafted by:	Approved by:
27.07.2026	Author	A.V.

Project/Drawing no:	Scale:	Revision:
PDH25103 - 07	1 : 100	04

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