

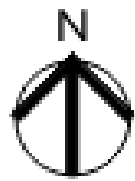
DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-25-332
PROPOSED DEVELOPMENT:	Single dwelling (alterations and additions)
LOCATION:	4A Taree Street Chigwell
APPLICANT:	Cunic Homes
ADVERTISING START DATE:	25/08/2026
ADVERTISING EXPIRY DATE:	08/09/2026

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **08/09/2026**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **08/09/2026**, or for postal and hand delivered representations, by 5.00 pm on **08/09/2026**.



PREVIOUS SITE DETAILS

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-25-332

DATE RECEIVED: 14/08/2026

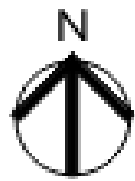


4a Taree Street, Chigwell
PLANNING PLAN SET_REV 0

CLIENT: ZAC DERRICK & AMBER ALLEN

TITLE: 142846/2
SIZE: 413m2
ZONING: GENERAL RESIDENTIAL
OVERLAYS: NA





STORMWATER PLAN

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-25-332

DATE RECEIVED: 14/08/2026



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OVERLAYS: NA

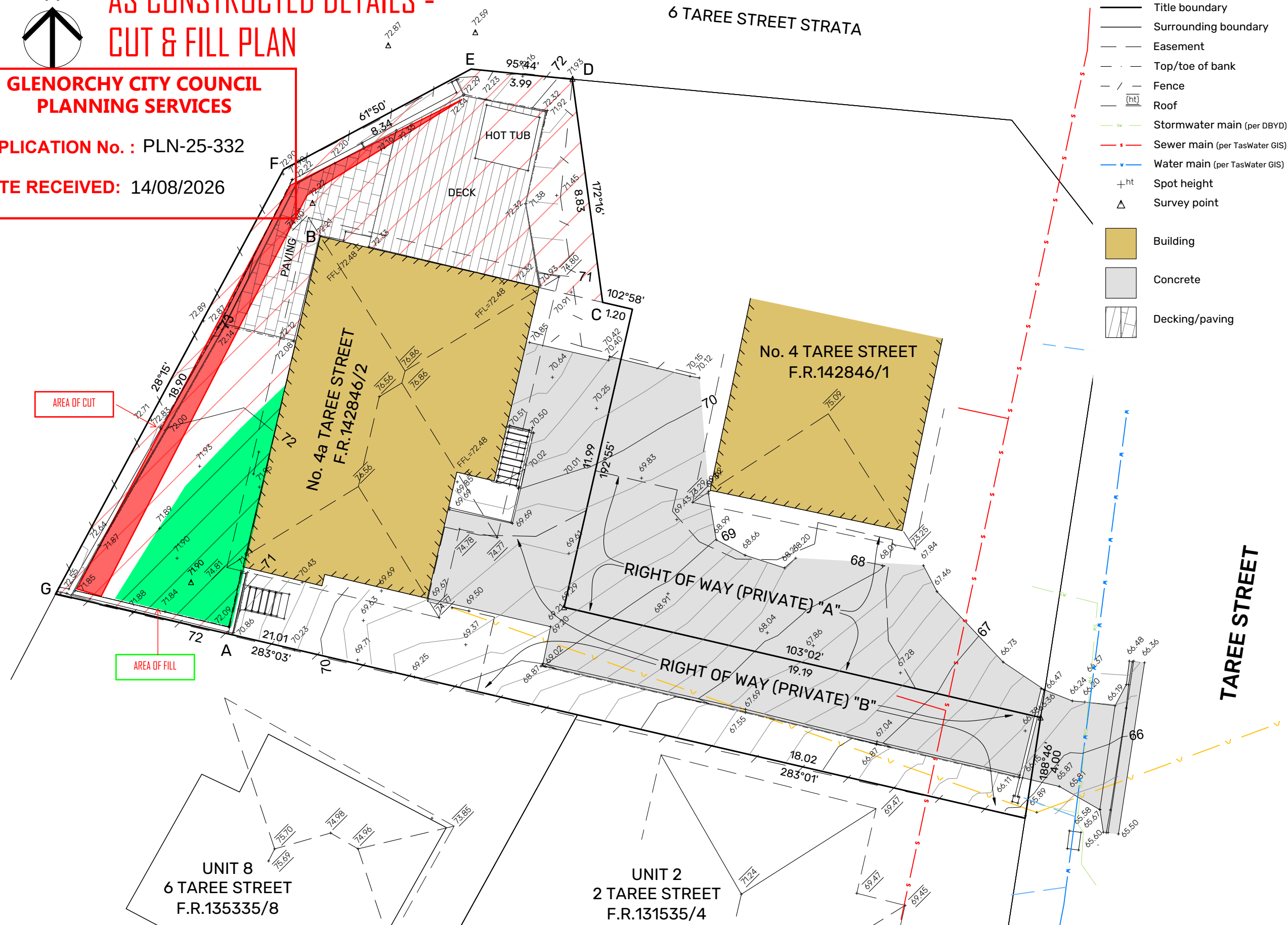
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PLANNING SERVICES**

APPLICATION No. : PLN-25-332

DATE RECEIVED: 14/08/2026



LEGEND

- | | |
|---|-------------------------------|
|  | Title boundary |
|  | Surrounding boundary |
|  | Easement |
|  | Top/toe of bank |
|  | Fence |
|  | Roof |
|  | Stormwater main (per DBYD) |
|  | Sewer main (per TasWater GIS) |
|  | Water main (per TasWater GIS) |
|  | Spot height |
|  | Survey point |
|  | Building |
|  | Concrete |
|  | Decking/paving |

NOTES

Date of Survey: 19th September
2025

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Horizontal datum is plane with
MGA2020 coordinate adopted at
SPM11001, with coordinates of
E 519987.324
N 5259975.028 per the LIST.

Vertical datum is AHD per SPM
11001 with reputed RL 77.986m.

Contour Interval 0.20m

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E			
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REV	AMENDMENTS	DRAWN	DATE APPR.

SCALE:



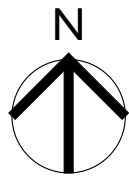
SURVEYOR EN	GEOCIVIL 55122EN
DRAWN EN	CHECKED HC
DATE 19/09/2025	

**DETAIL PLAN
4A TAREE STREET
CHIGWELL
for ZAC DERRICK**



127 Bathurst Street
Hobart, Tasmania, 7000
PHONE: +61 03 6234 3217
EMAIL: pda.hbt@pda.com.au
www.pda.com.au
Also at: Huonville, Launceston
Swansea, Devonport & Burnie

SCALE	PAPER
1:150	(A3)
JOB NUMBER	DRAWING
55122EN-1	



AS CONSTRUCTED DETAILS - RETAINING SITE PLAN

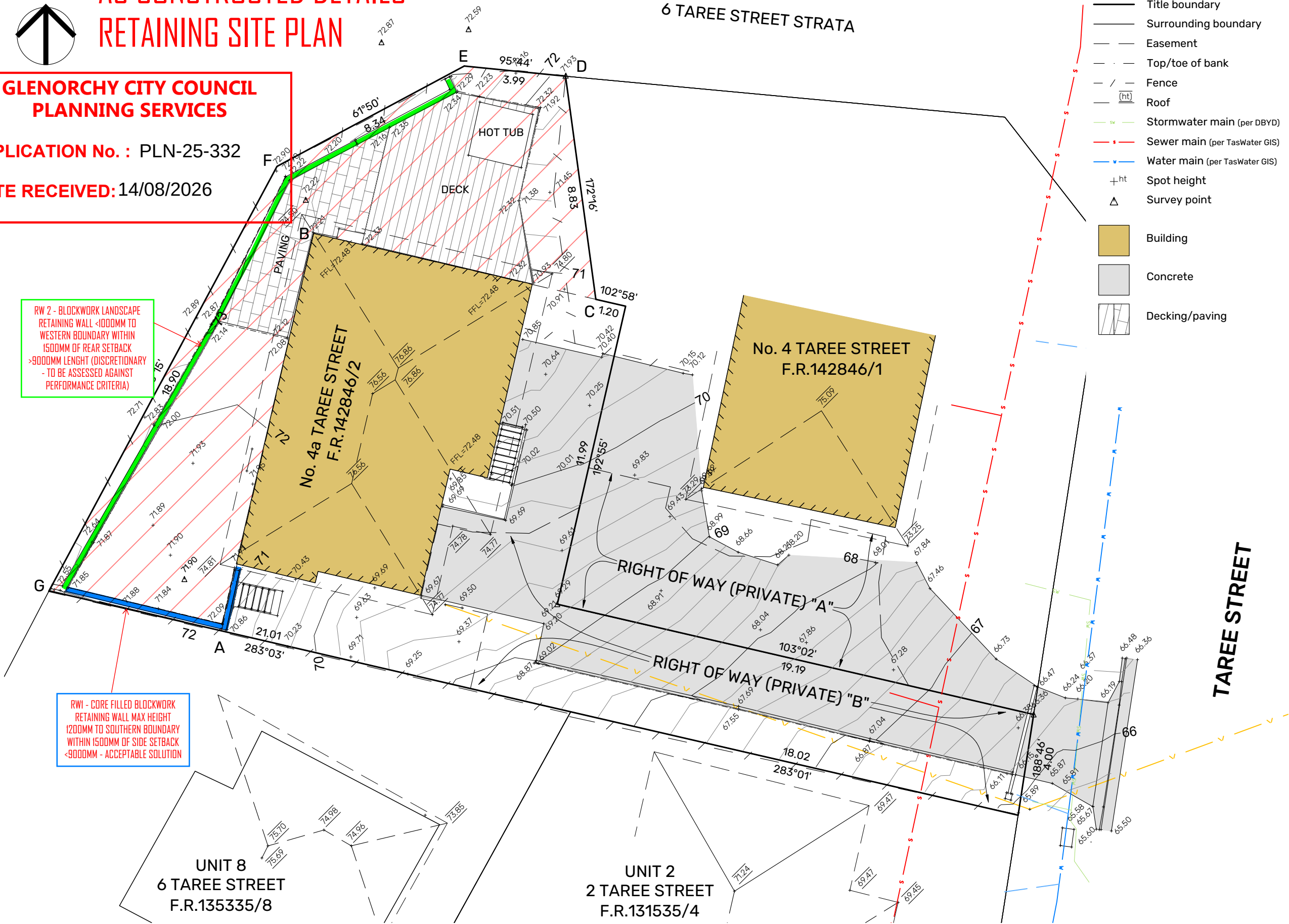
**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-25-332

DATE RECEIVED: 14/08/2026

RW 2 - BLOCKWORK LANDSCAPE
RETAINING WALL <1000MM TO
WESTERN BOUNDARY WITHIN
1500MM OF REAR SETBACK
>9000MM LENGTH (DISCRETIONARY
- TO BE ASSESSED AGAINST
PERFORMANCE CRITERIA)

RW1 - CORE FILLED BLOCKWORK
RETAINING WALL MAX HEIGHT
1200MM TO SOUTHERN BOUNDARY
WITHIN 1500MM OF SIDE SETBACK
<9000MM - ACCEPTABLE SOLUTION



LEGEND

- Title boundary
- Surrounding boundary
- Easement
- Top/toe of bank
- Fence
- Roof
- Stormwater main (per DBYD)
- Sewer main (per TasWater GIS)
- Water main (per TasWater GIS)
- Spot height
- Survey point
- Building
- Concrete
- Decking/paving

NOTES

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Contour Interval 0.20m

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E				
D				
C				
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A				
REV	AMENDMENTS	DRAWN	DATE	APPR.

SCALE:



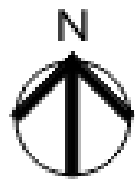
SURVEYOR	EN	55122EN
DRAWN	EN	HC
DATE	19/09/2025	

**DETAIL PLAN
4A TAREE STREET
CHIGWELL
for ZAC DERRICK**



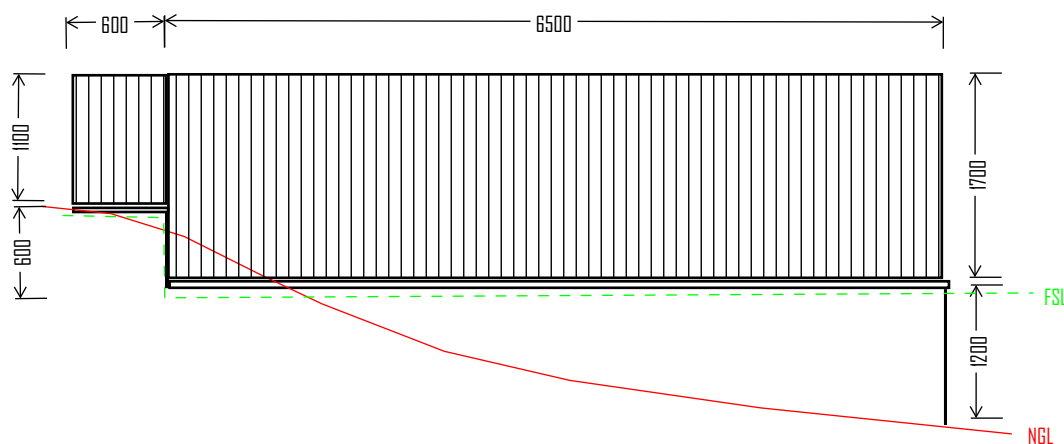
127 Bathurst Street
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SCALE	PAPER
1:150	(A3)
JOB NUMBER	DRAWING
55122EN-1	



AS CONSTRUCTED DETAILS - RETAINING ELEVATIONS

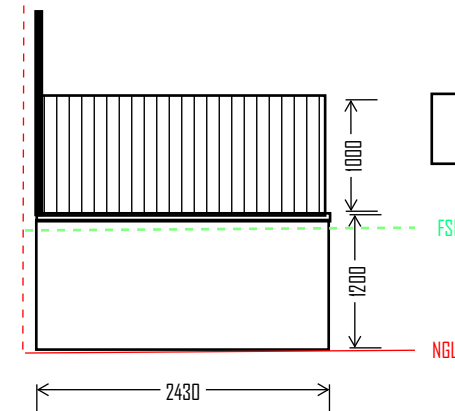
RW1 - NORTH ELEVATIONS



INSTALLATION OF PRIVACY SCREENING (1700MM HIGH WITH MAX TRANSPARENCY 25%) TO RETAINING WALL >1000MM ABOVE NGL AND WITHIN 3000MM OF BOUNDARY
MAX TOTAL HEIGHT OF RW AND PRIVACY FENCING <3000MM OF NGL

RW1 - SOUTH ELEVATIONS

BUILDING ENVELOPE



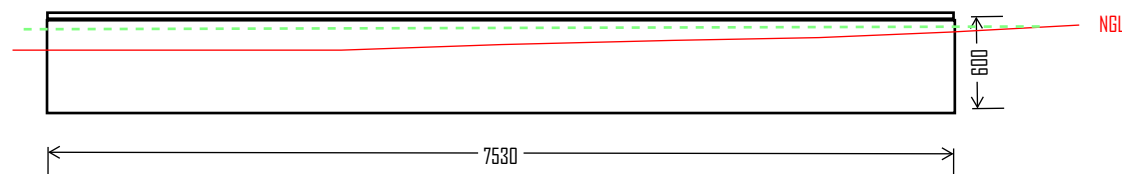
INSTALLATION OF BALUSTRADE FOR FALL PROTECTION

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

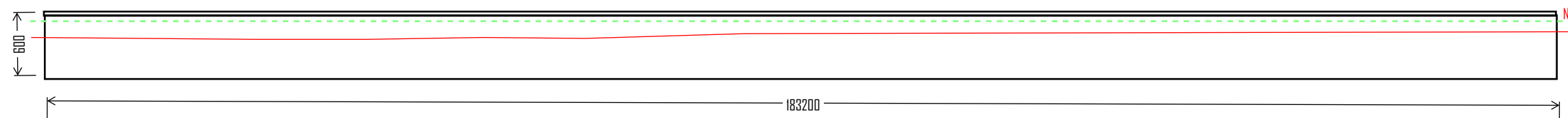
APPLICATION No. : PLN-25-332

DATE RECEIVED: 14/08/2026

RW2 - NORTH WESTERN ELEVATION



RW2 - WESTERN ELEVATION



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CLIENT: ZAC DERRICK & AMBER ALLEN

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SIZE: 413m2
ZONING: GENERAL RESIDENTIAL
OVERLAYS: NA

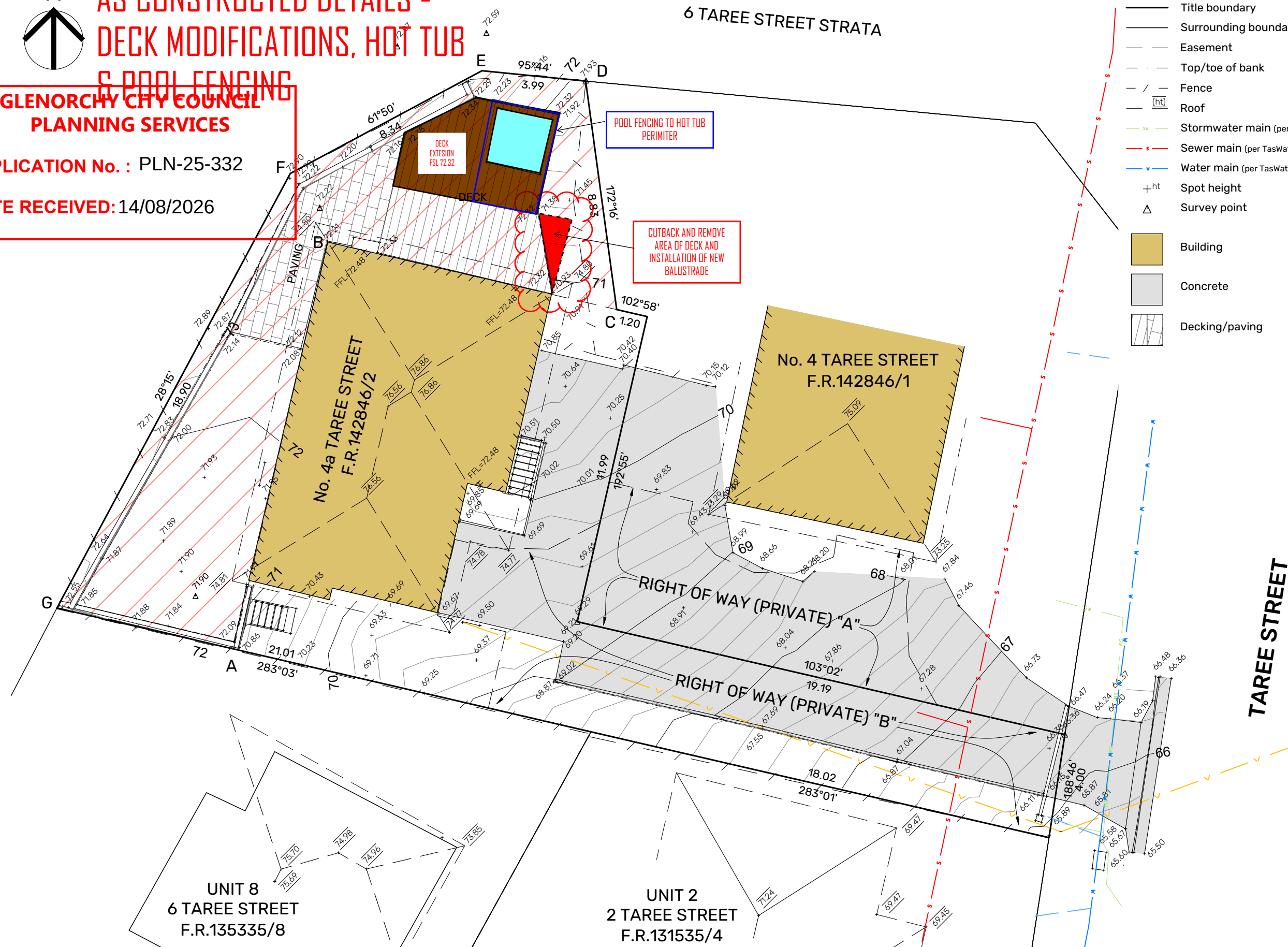
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**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No.: PLN-25-332

DATE RECEIVED: 14/08/2026



LEGEND

- | | |
|---|-------------------------------|
|  | Title boundary |
|  | Surrounding boundary |
|  | Easement |
|  | Top/toe of bank |
|  | Fence |
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|  | Water main (per TasWater GIS) |
|  | Spot height |
|  | Survey point |
|  | Building |
|  | Concrete |
|  | Decking/paving |

NOTES

Date of Survey: 19th September
2025

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SI0185422.

Horizontal datum is plane with
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SCALE:



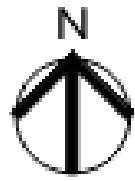
SURVEYOR EN	GEOCIVIL 55122EN
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**DETAIL PLAN
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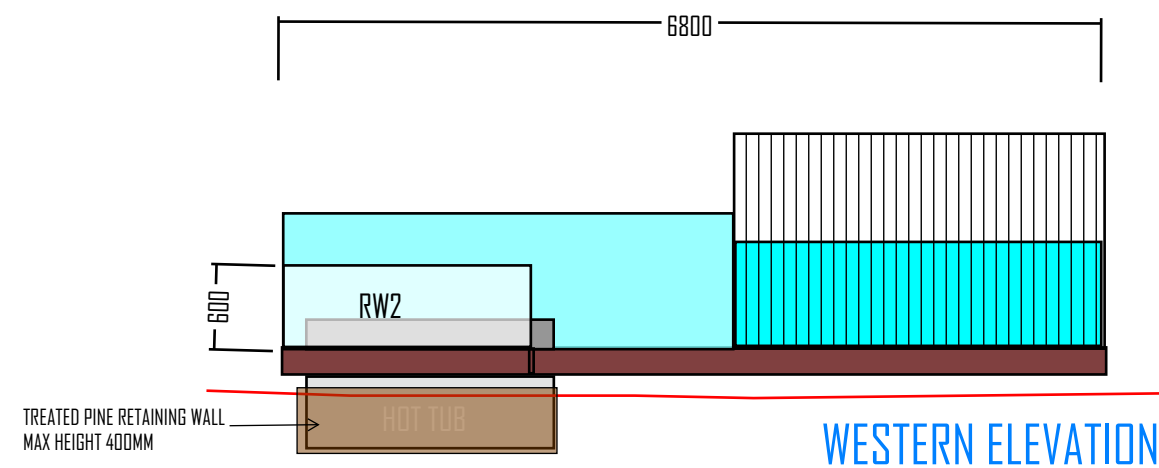
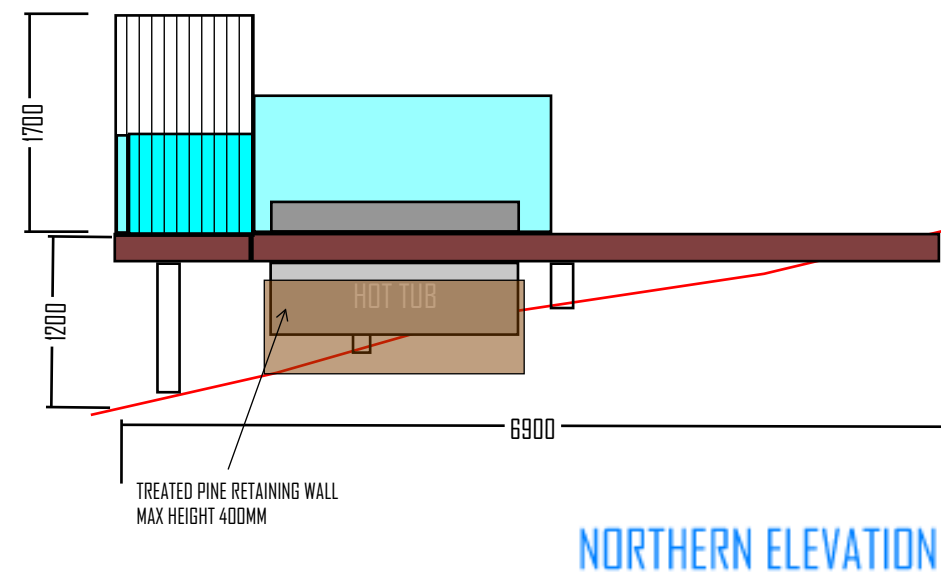
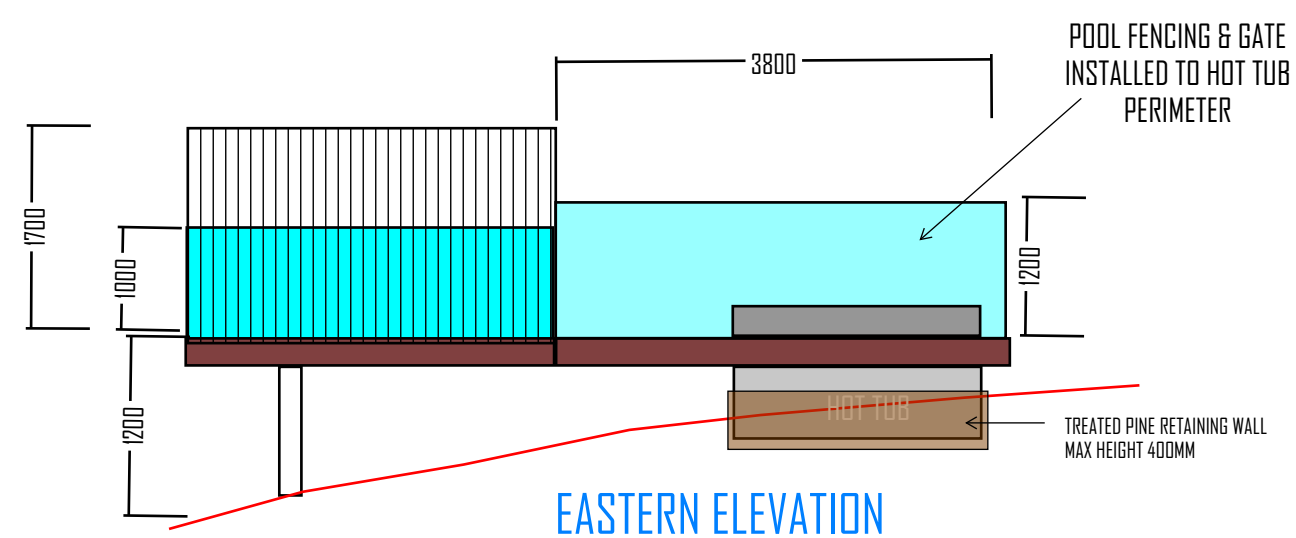
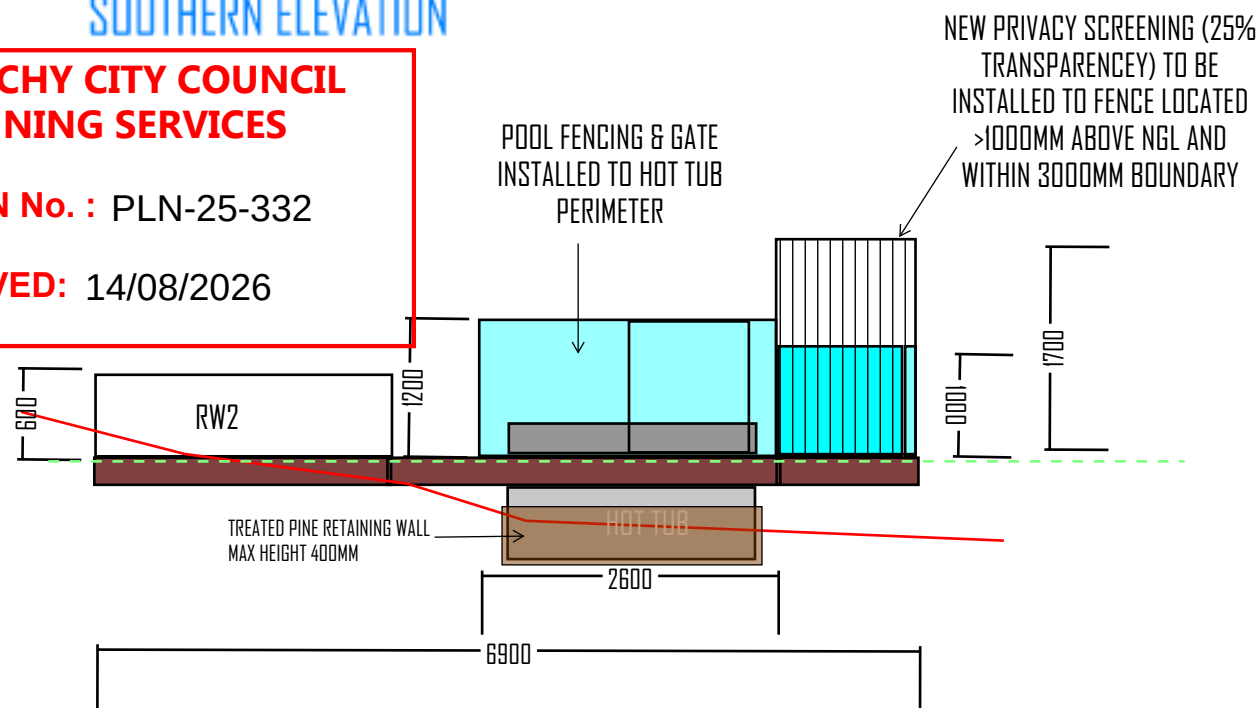
AS CONSTRUCTED DETAILS -
DECK AND POOL & PROPOSED
NEW PRIVACY SCREEN

SOUTHERN ELEVATION

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-25-332

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4a Taree Street, Chigwell
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CLIENT: ZAC DERRICK & AMBER ALLEN

TITLE: 142846/2
SIZE: 413m2
ZONING: GENERAL RESIDENTIAL
OVERLAYS: NA

CUNIC
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DATE RECEIVED: 14/08/2026

6 TAREE STREET STRATA

No. 4a TAREE STREET
F.R.142846/2

No. 4 TAREE STREET
F.R.142846/1

RIGHT OF WAY (PRIVATE)

RIGHT OF WAY (PRIVATE) "R"

19.19

67.69

UNIT 8
6 TAREE STREET
F.R.135335/8

UNIT 2
2 TAREE STREET
F.R.131535/4

INSTALLATION OF PRIVACY
SCREENING (1700MM HIGH
WITH MAX TRANSPARENCY
25%) TO DECK >1000MM
ABOVE NGL AND WITHIN
3000MM OF BOUNDARY

INSTALLATION OF PRIVACY
SCREENING (1700MM HIGH
WITH MAX TRANSPARENCY
25%) TO DECK AND
RETAINING WALL >1000MM
ABOVE NGL AND WITHIN
3000MM OF BOUNDARY

INSTALLATION OF BALUSTRADE & REMOVAL OF STEPS

TAREE STREET

LEGEND

-  Title boundary
-  Surrounding boundary
-  Easement
-  Top/toe of bank
-  Fence
-  Roof
-  Stormwater main (per DBYD)
-  Sewer main (per TasWater GIS)
-  Water main (per TasWater GIS)
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-  Survey point
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