

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-26-152
PROPOSED DEVELOPMENT:	Outbuilding (Residential)
LOCATION:	12 Park Road, Dowsing Point
APPLICANT:	P & J Sheds Pty Ltd
ADVERTISING START DATE:	21/08/2026
ADVERTISING EXPIRY DATE:	04/09/2026

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **04/09/2026**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **04/09/2026**, or for postal and hand delivered representations, by 5.00 pm on **04/09/2026**.

NEW OUTBUILDING
NEW DRIVEWAY / ACCESS
12 PARK ROAD, DOWSING POINT, 7010
FOR E. GOWEN & T. TRUONG

CERTIFICATE OF TITLE: VOLUME - 100782 FOLIO - 4
PID: 7243427
LAND AREA: 991m²

PLANNING SCHEME: TASMANIAN PLANNING SCHEME
GLENORCHY LOCAL PROVISIONS SCHEDULE
ZONE: 8.0 GENERAL RESIDENTIAL
OVERLAYS: FLOOD PRONE AREAS

SOIL CLASSIFICATION: ASSUMED M
WIND REGION: A
TERRAIN CATEGORY: TC2
IMPORTANCE LEVEL: 2 (DOMESTIC)
SHIELDING: 1
TOPOGRAPHY: 1
BAL: NOT REQUIRED (CLASS 10A STRUCTURE NOT WITHIN AN AREA IDENTIFIED
BY COUNCIL BUSHFIRE MAPPING AS BEING BUSHFIRE PRONE)

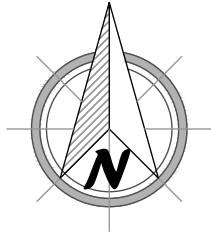
INDEX OF DRAWINGS - BY ADRIAN BROWN CC6003R

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ADDITIONAL DRAWINGS / ENGINEERING
BY NORTHERN CONSULTING ENGINEERS

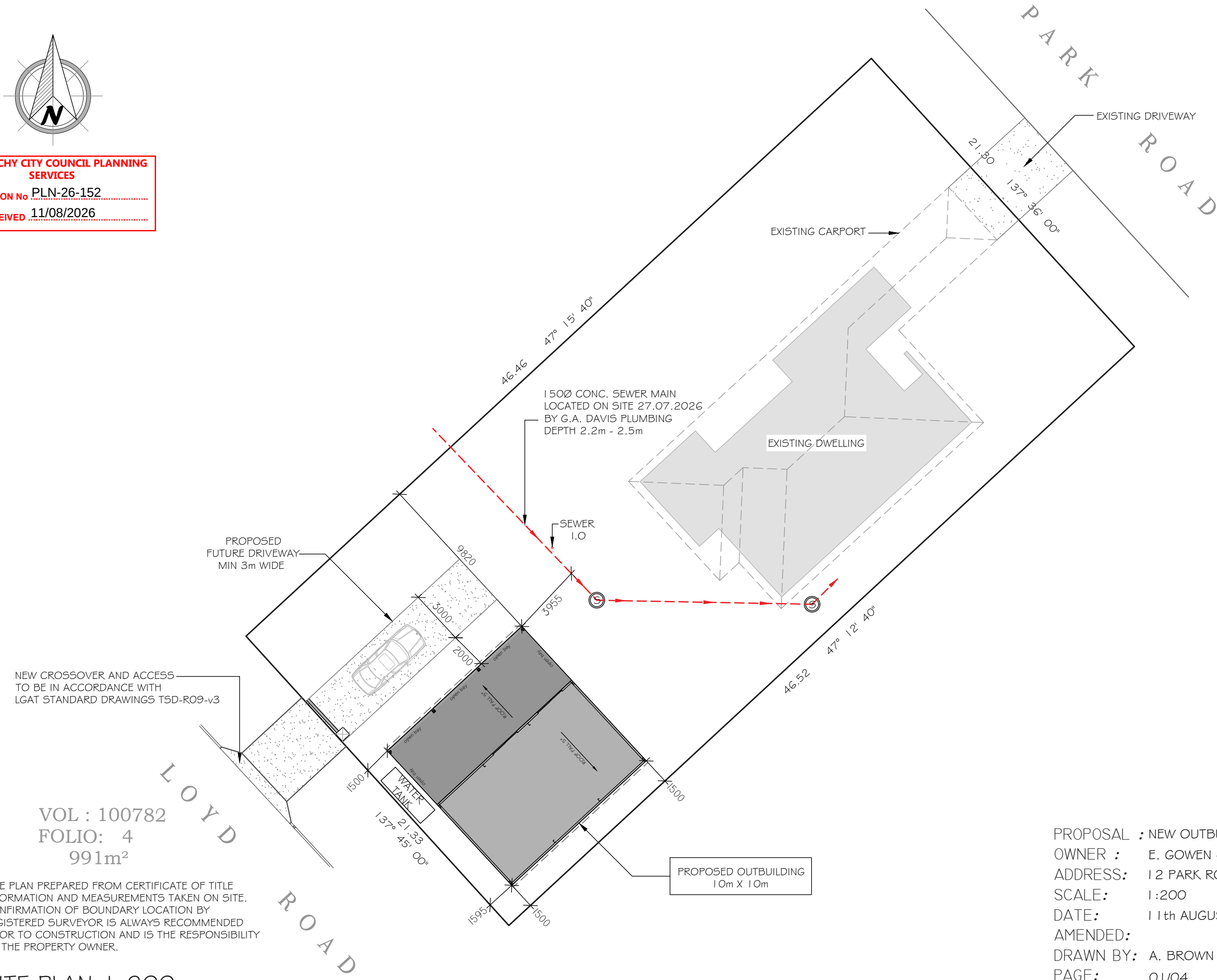
JOB NO - 102633





GLENORCHY CITY COUNCIL PLANNING SERVICES
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LOT AREA: 991m²
EXISTING DWELLING AREA: 137.15m²
" CARPORT AREA: 23m²
PROPOSED OUTBUILDING AREA: 100m²



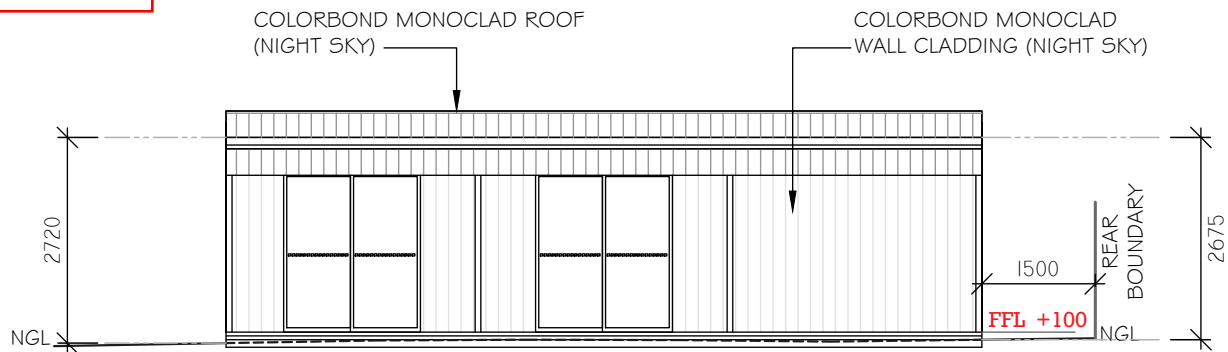
VOL : 100782
FOLIO: 4
991m²

SITE PLAN PREPARED FROM CERTIFICATE OF TITLE INFORMATION AND MEASUREMENTS TAKEN ON SITE. CONFIRMATION OF BOUNDARY LOCATION BY REGISTERED SURVEYOR IS ALWAYS RECOMMENDED PRIOR TO CONSTRUCTION AND IS THE RESPONSIBILITY OF THE PROPERTY OWNER.

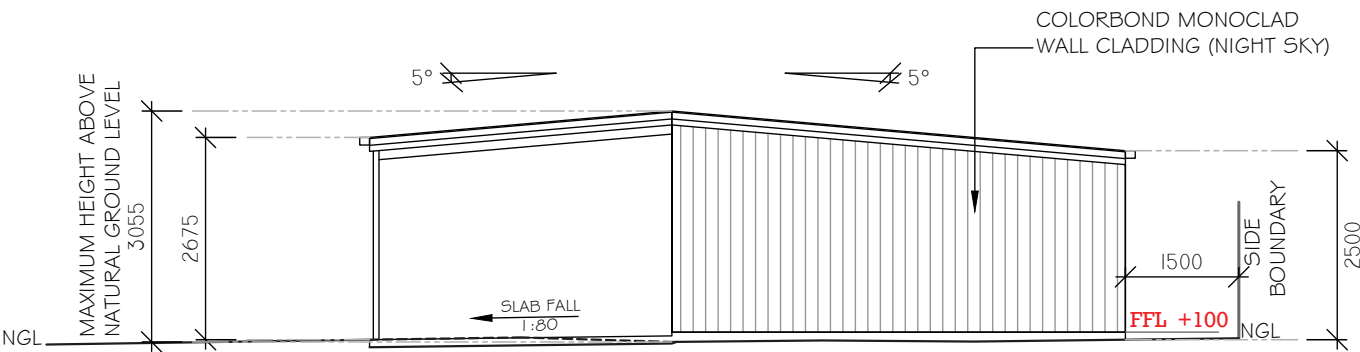
SITE PLAN 1:200

PROPOSAL : NEW OUTBUILDING & NEW DRIVEWAY ACCESS
OWNER : E. GOWEN & T. TRUONG
ADDRESS: 12 PARK ROAD, DOWSING POINT, 7010
SCALE: 1:200
DATE: 11th AUGUST 2026
AMENDED:
DRAWN BY: A. BROWN CC6003R
PAGE: 01/04
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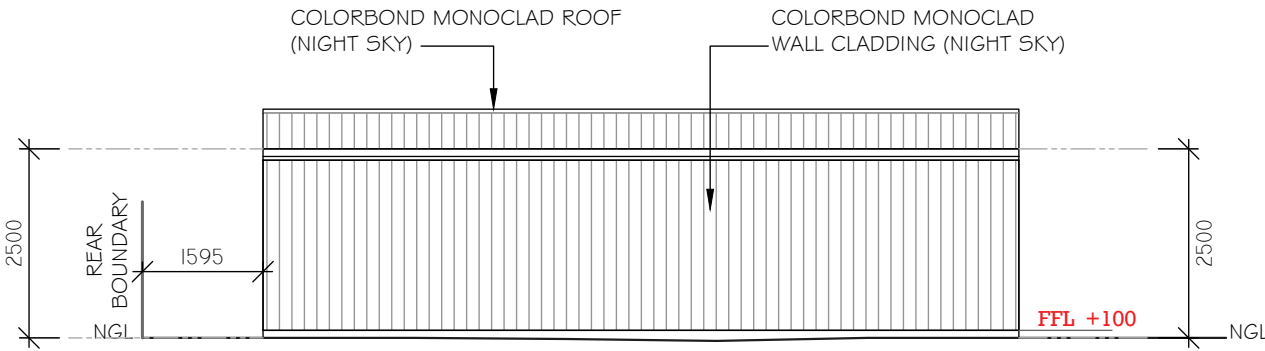


NORTH WEST ELEVATION

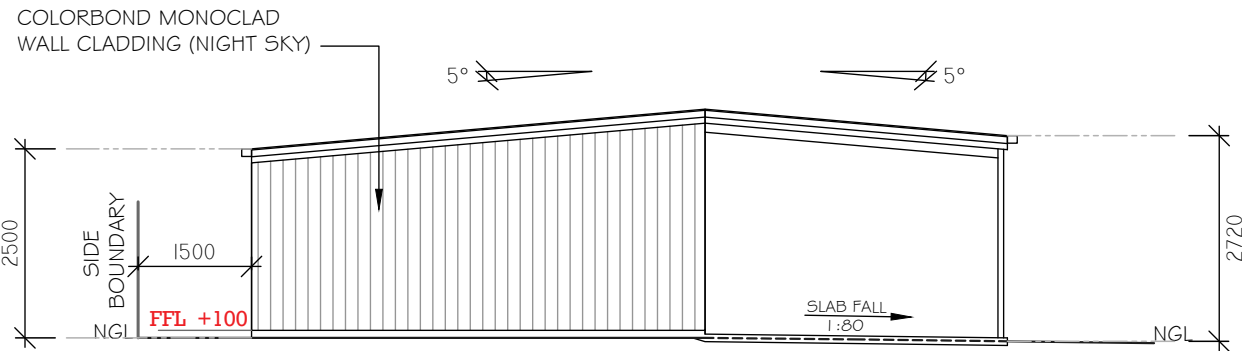


SOUTH WEST ELEVATION

COLOURS (COLORBOND®):
EXT. WALLS - NIGHT SKY
ROOF - NIGHT SKY
SLIDING DOOR - NIGHT SKY
GUTTER - NIGHT SKY
CORNER FLASH - NIGHT SKY
BARGE FLASHING - NIGHT SKY
OPENING FLASH - NIGHT SKY



SOUTH EAST ELEVATION



NORTH EAST ELEVATION

REFER TO DRAWINGS BY NORTHERN CONSULTING ENGINEERS
FOR ALL MEMBER AND MATERIAL DETAILS AS WELL AS
FOOTING DESIGN AND SPECIFICATIONS.

ELEVATIONS 1:100

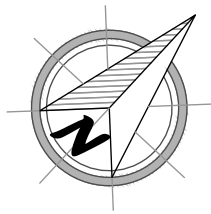
P&J SHEDS PTY LTD. 38 McIntyre Street, Mornington, TAS, 7018. P: (03) 62 44 4300 F: (03) 6244 4355 E: admin@fairdinkumhobart.com.au ABN: 45109681263 THIS DRAWING IS THE PROPERTY OF P&J SHEDS. © 2026

ALL HEIGHTS SHOWN ARE ABOVE NATURAL GROUND LEVEL.

ACTUAL HEIGHTS OF WALLS ABOVE CONCRETE SLAB ARE:
MAIN BUILDING: SIDE WALL HEIGHT (low side) - 2400mm, (high side) - 2925mm
END WALL HEIGHT TO APEX - 2925mm
AWNING: SIDE WALL HEIGHT (low side) - 2575mm

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NEW CROSSOVER AND ACCESS
TO BE IN ACCORDANCE WITH
LGAT STANDARD DRAWINGS TSD-RO9-v3

LOYD
ROAD

100 x 50 RHS STORMWATER
OUTLET TO BE INSTALLED
TO KERB

SLIM LINE WATER TANK
5000L CAPACITY
2500L DETENTION CAPACITY

PROPOSED FUTURE CONC. DRIVEWAY BY OWNER
MIN 3m WIDE

WINDOW & DOOR SCHEDULE

	ID	HEIGHT	WIDTH
SLIDING DOOR	SD 1	2100mm	1810mm
	SD 1	2100mm	1810mm

**GLENORCHY CITY COUNCIL PLANNING
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DATUM POINT

FLOOR PLAN 1:100

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Version: 1, Version Date: 19/08/2026

⊗ EXHAUST CEILING FAN WITH DAMPER

THE WC MUST BE PROVIDED WITH SOME FORM OF VENTILATION.
IT MAY BE NATURALLY VENTILATED BY THE WAY OF OPENABLE WINDOWS
AND DOORS OR MECHANICALLY VENTILATION.
WHICHEVER THE CASE THE AMOUNT OF VENTILATION PROVIDED MUST
AMOUNT TO NOT LESS THAN 5% OF THE ROOM'S FLOOR AREA.

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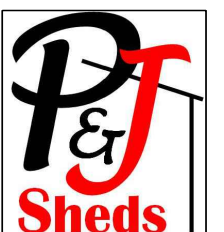
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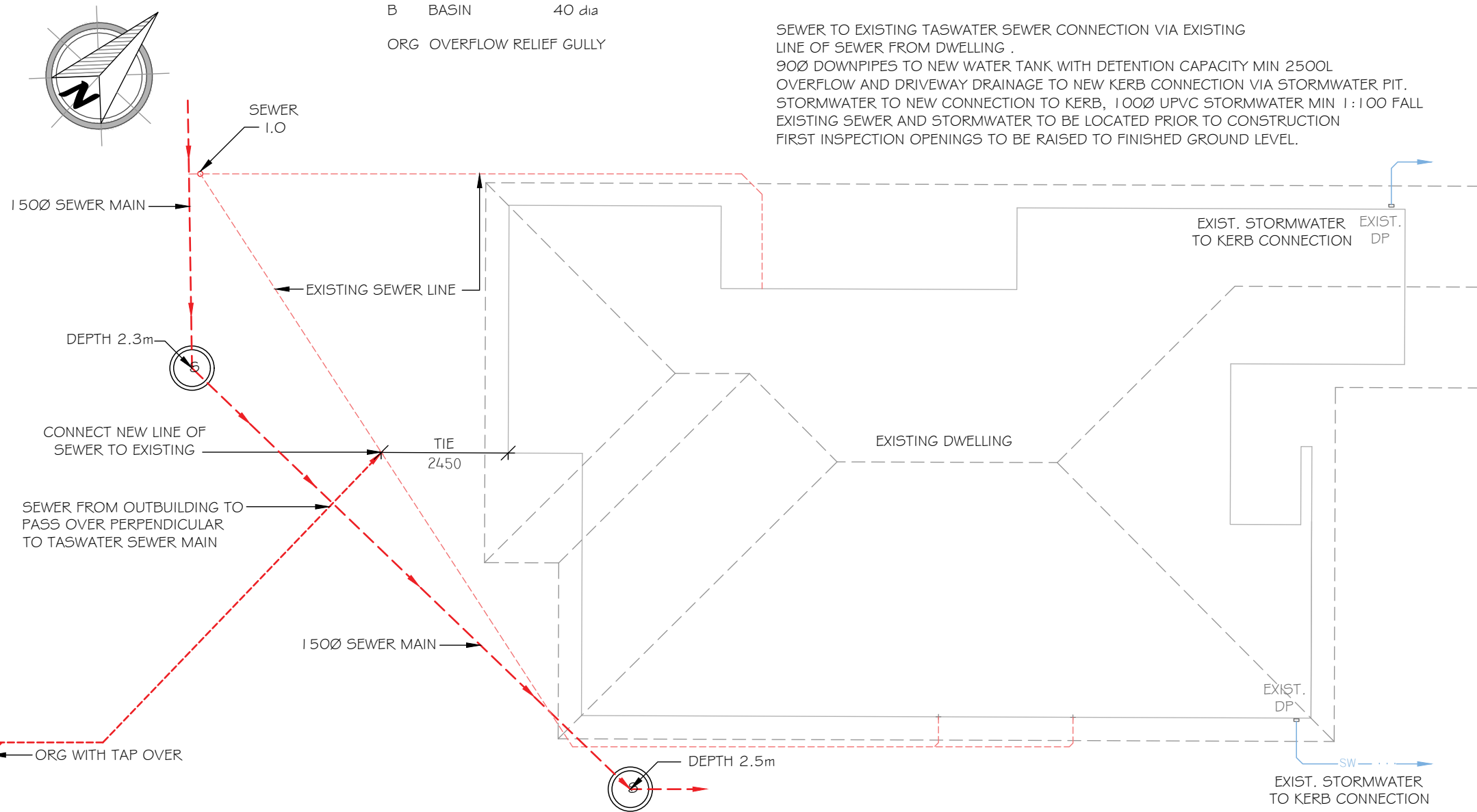
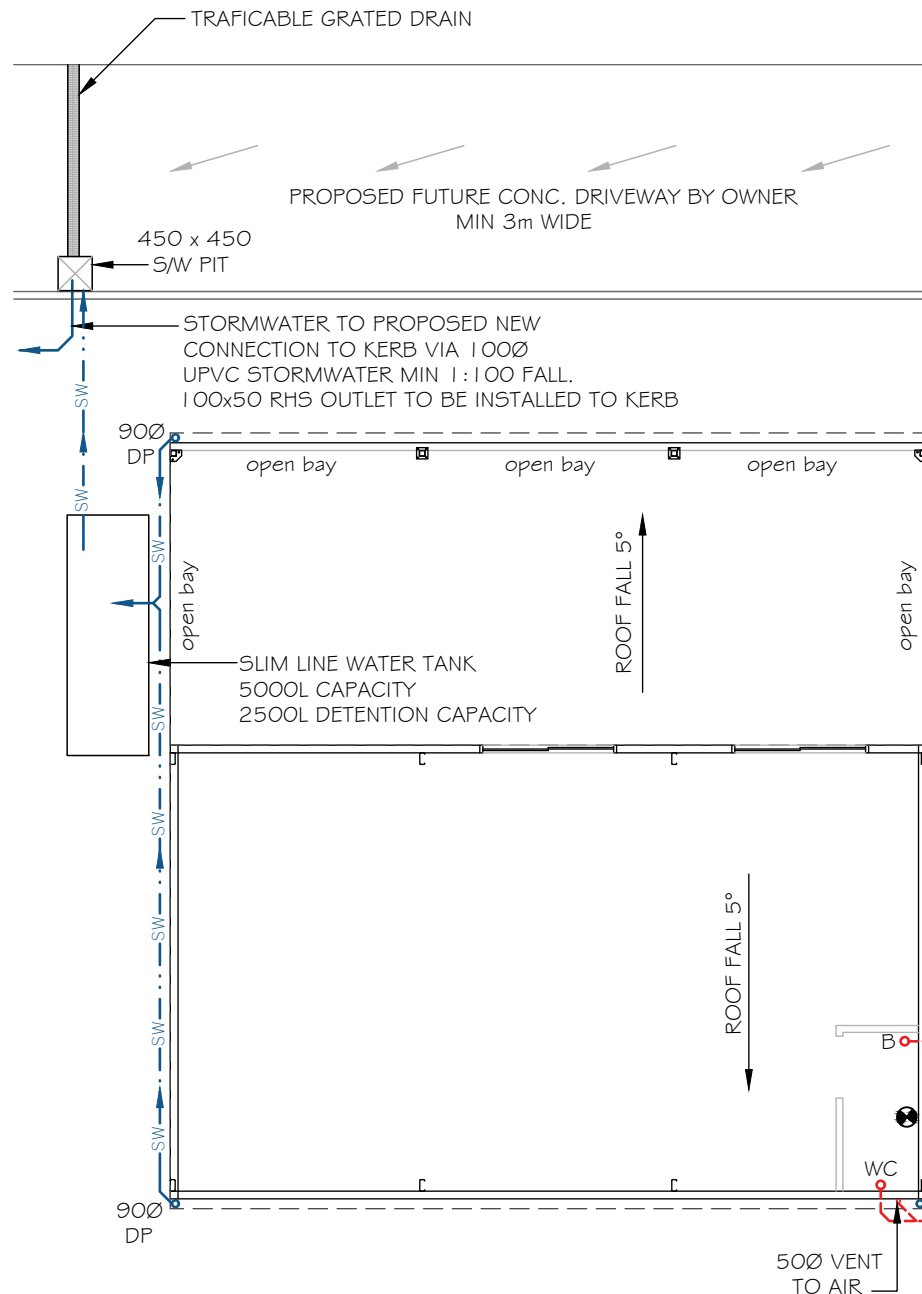
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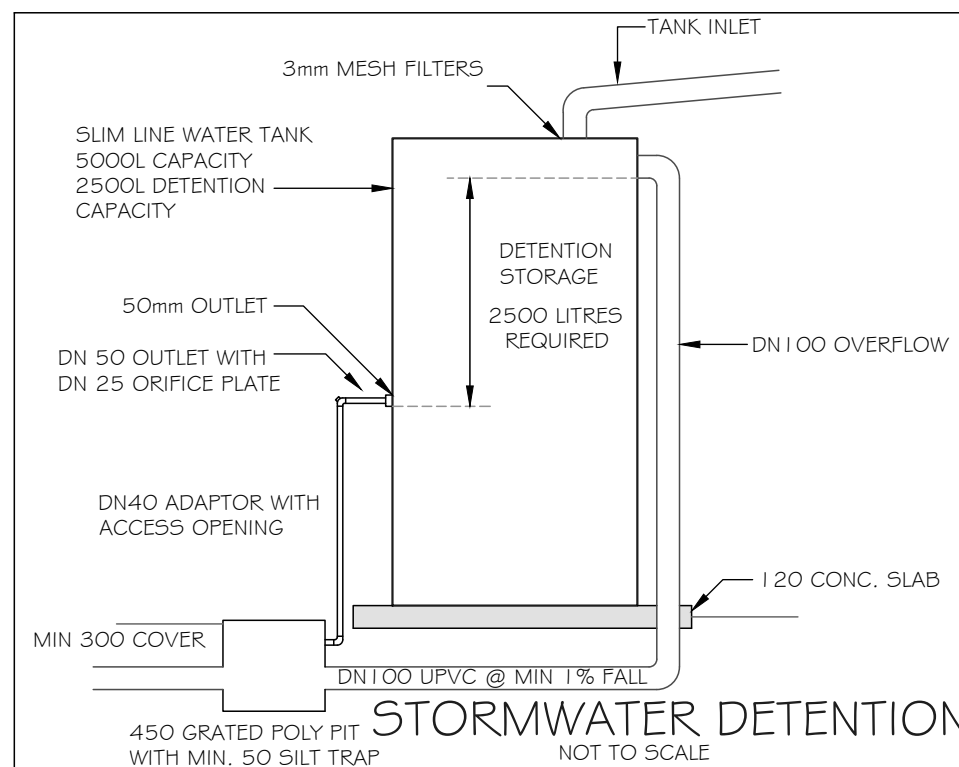




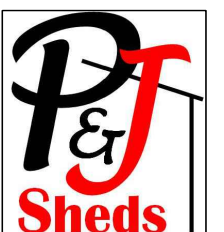
KEY	FIXTURE	WASTE PIPE
WC	WATER CLOSET	100dia CLASS SH
B	BASIN	40 dia
ORG	OVERFLOW RELIEF GULLY	

PLUMBING GENERALLY.
ALL PLUMBING TO BE IN ACCORDANCE WITH AS 3500, TAS PLUMBING CODE
AND LOCAL AUTHORITY REQUIREMENTS.

SEWER TO EXISTING TASWATER SEWER CONNECTION VIA EXISTING
LINE OF SEWER FROM DWELLING .
90Ø DOWNPIPES TO NEW WATER TANK WITH DETENTION CAPACITY MIN 2500L
OVERFLOW AND DRIVEWAY DRAINAGE TO NEW KERB CONNECTION VIA STORMWATER PIT.
STORMWATER TO NEW CONNECTION TO KERB, 100Ø UPVC STORMWATER MIN 1:100 FALL
EXISTING SEWER AND STORMWATER TO BE LOCATED PRIOR TO CONSTRUCTION
FIRST INSPECTION OPENINGS TO BE RAISED TO FINISHED GROUND LEVEL.



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PLUMBING PLAN 1:100

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EXHAUST CEILING / WALL FAN WITH DAMPER

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