

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-26-137
PROPOSED DEVELOPMENT:	Three dwellings (1 existing and 2 new)
LOCATION:	33 Fourth Avenue, West Moonah
APPLICANT:	Oramatis Studio
ADVERTISING START DATE:	28/08/2026
ADVERTISING EXPIRY DATE:	11/09/2026

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **11/09/2026**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **11/09/2026**, or for postal and hand delivered representations, by 5.00 pm on **11/09/2026**.

TOWNHOUSE DEVELOPMENT

ONE EXISTING TWO PROPOSED

ID	NAME	REV
	COVER PAGE	
DA01	NOTES & SITE LOCATION PLAN	
DA02	PLANNING COMPLIANCE NOTE	
DA03	DEMOLITION PLAN	
DA04	SITE PLAN	
DA05	SITE PLAN FIRST FLOOR	
DA06	EXISTING UNIT FLOOR PLAN	
DA07	UNIT2 GROUND FLOOR PLAN	
DA08	UNIT2 FIRST FLOOR PLAN	
DA09	UNIT3 GROUND FLOOR PLAN	
DA10	UNIT3 FIRST FLOOR PLAN	
DA11	SITE ELEVATION	
DA12	U1 ELEVATION	
DA13	U2 ELEVATION	
DA14	U3 ELEVATION	
DA15	SHADOW DIAGRAM	



1 LOCATION PLAN/SATELLITE IMAGERY
- 1:1000



ARTIST'S IMPRESSION FOR ILLUSTRATIVE PURPOSES

GENERAL NOTES

GENERAL
© REPRODUCTION OF THIS DRAWING IS PROHIBITED WITHOUT THE CONSENT OF ORAMATIS STUDIO

DO NOT SCALE FROM THIS DRAWING

THE CONTRACTOR SHALL CONFIRM ON SITE EXISTING CONDITIONS, LEVELS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORKS

ALL DISCREPANCIES TO BE REPORTED TO THE ARCHITECT FOR INSTRUCTION

ALL LEVELS INDICATED PERTAIN TO FINISHED LEVELS AND NOT STRUCTURAL LEVELS UNLESS OTHERWISE INDICATED

MATERIALS AND WORK PRACTICES SHALL COMPLY WITH THE NATIONAL CONSTRUCTION CODE (NCC) AND OTHER RELEVANT CODES REFERRED TO IN THE NCC

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS, SPECIFICATIONS AND DRAWINGS

PROPRIETARY ITEMS, SYSTEMS AND ASSEMBLIES ARE TO BE ASSEMBLED, INSTALLED OR FIXED IN CONFORMANCE WITH THE CURRENT WRITTEN RECOMMENDATIONS AND INSTRUCTIONS OF THE MANUFACTURER OR SUPPLIER

WORKPLACE HEALTH AND SAFETY
ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PROJECT SAFE DESIGN REPORT

ALL CONTRACTORS MUST CARRY OUT WORKS IN ACCORDANCE WITH CURRENT HEALTH AND SAFETY LEGISLATION AND BEST PRACTICE INCLUDING PREPARATION OF A CONSTRUCTION SAFETY MANAGEMENT PLAN

LAND TITLE REFERENCE
VOLUME (PLAN): 112405/20

DESIGN WIND SPEED
WIND LOADING TO AS 4055: N2

SOIL CLASSIFICATION
SOIL CLASSIFICATION TO AS 2870: M

CLIMATE ZONE FOR THERMAL DESIGN
CLIMATE ZONE TO BCA FIGURE 1.1.4: 7

BUSHFIRE PRONE AREA BAL RATING
BUSHFIRE ATTACKLEVEL (BAL) TO AS 3959: N/A

CORROSION ENVIRONMENT
CORROSION ENVIRONMENT TO AS/NZS 2312: N/A

KNOWN SITE HAZARDS: n/a

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : **PLN-26-137**

DATE RECEIVED: **10.08.26**

GENERAL NOTES

CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCEMENT OF ANY WORK. CONTRACTORS SHALL CLARIFY ANY DISCREPANCIES BEFORE COMMENCEMENT OF ANY WORK. DRAWINGS MUST NOT BE SCALED.
CONTRACTORS SHALL SUBMIT SAMPLES AND SHOP DRAWINGS BEFORE COMMENCING WORK. ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND ALL RELEVANT AUSTRALIAN STANDARDS. THESE DESIGNS, PLANS, SPECIFICATIONS AND THE COPYRIGHT HEREIN ARE THE PROPERTY OF ORAMATIS STUDIO AND MUST NOT BE USED, REPRODUCED OR COPIED WHOLLY OR IN PART WITHOUT THE WRITTEN PERMISSION OF ORAMATIS STUDIO.

REV ID	DESCRIPTION	DATE
--------	-------------	------

PROJECT	ONE EXISTING TWO PROPOSED 33 FOURTH AVE., WEST MOONAH
---------	--

REVISION	9/06/2026
----------	-----------

CLIENT	S & S
--------	-------

PROJECT ID	2516
------------	------

SCALE	AS SHOWN @ A3
-------	---------------

CHECKED BY	D.D
------------	-----

PAGE	DA01
DRAWING	NOTES & SITE LOCATION PLAN

NORTH



8.4.1 Residential Density for Multiple Dwellings

This development consists of 3 units on a total site area of **1,289 m²**.
The average site area per dwelling is **430 m²**, which exceeds the minimum required **325 m²**, thus complying with A1.

8.4.2 Setbacks and Building Envelope for All Dwellings

A1: The front setback of the building is **8.87 m**, complying with the standard.

A2: No garage is proposed at the building frontage.

- A3:**
- **(a)** All dwellings are located within the permitted building envelope.
 - **(b)**
 1. The boundary wall of Unit 3 is **6.98 m**, which is less than the allowable maximum of **9 m**.
 2. A retaining wall along the north-west boundary exceeds **9 m** in length; however, it is **below natural ground level** and does not affect the building envelope compliance.

8.4.3 Site Coverage and Private Open Space (POS) for All Dwellings

- A1 (a):**
- Unit 1: 124 m²
 - Unit 2: 135 m²
 - Unit 3: 142 m²
 - Total site coverage = **401 m² / 1,289 m² = 31%**, which is below the maximum allowable 50%.

A1 (b): Each dwelling has more than **60 m²** of private open space:

- Unit 1: 245 m²
- Unit 2: 108 m²
- Unit 3: 132 m²

A2: All units have a minimum of **24 m²** of private open space with at least **4 m** horizontal dimension.
Refer to the site plan for details.

8.4.4 Sunlight to Private Open Space of Multiple Dwellings

Refer to the shadow diagrams:

- **Unit 1 and Unit 3:** At least **50%** of the POS receives **more than 3 hours** of sunlight between **9:00 am and 3:00 pm** on **21 June**, in accordance with A1(b).
- **Unit 2:** The POS receives full sunlight at **12:00 pm**, but less than 50% at **9:00 am and 3:00 pm**. The shadow at 3:00 pm is cast by the unit's **own retaining wall**, not another dwelling.
Therefore, the design is considered compliant with A1.

8.4.5 Privacy for All Dwellings

- A1:**
- Unit 2 balcony is **6.5 m** from the side boundary.
 - Unit 3 balcony is **4 m** from the rear boundary.

- A2:**
- (a)(i) All first-floor windows of Units 2 and 3 are at least **3 m** from side boundaries.
 - (ii) Unit 3's rear-facing windows are more than **4 m** from the boundary.
 - (iii) The separation distance between Units 2 and 3 exceeds **6 m**.
 - (iv) Refer to Page DA04 of the site plan: there are no first-floor windows on the southwest elevation of Units 2 and 3 directly overlooking neighbouring POS.

- A3:**
- Unit 1 has a setback of **3.4 m** from the shared driveway.
 - Unit 2 has a setback of **2.6 m**.
 - Unit 3's Bedroom 2 faces the driveway's **turning bay**, which is **dedicated to Unit 3**, and therefore does not affect privacy compliance.

8.4.6 Frontage Fences for All Dwellings

All existing brick fences will be **demolished**.
No new front fencing is proposed.

8.4.7 Waste Storage for Multiple Dwellings

Each unit is provided with an individual **1.5 m²** waste bin storage area, meeting the requirement.

C2.5.1 Car Parking Numbers

- The development provides:
- **2 on-site parking spaces per unit**, plus
 - **1 visitor parking space**
- Total = **7 car parks**, which meets **Acceptable Solution A1**.

C2.6.1 Construction of Parking Areas

A1: The driveway and parking areas will be constructed using **concrete**, in compliance with the standard.

C2.6.2 Design and Layout of Parking Areas

A1.1: Refer to the Civil Plan. Car parking layout is designed in accordance with **AS 2890.1** standards.

Glenorchy City Council Stormwater Management Policy

Stormwater Quality Control

Impervious area calculation:

- **Pre-development:**
 - o Unit 1 roof: 147 m²
 - o Concrete paving: 184 m²
 - o Shed and garage: 54 m²
 - o **Total** = 358 m²
- **Post-development:**
 - o Unit 1 roof: 147 m²
 - o Unit 2 roof: 157 m²
 - o Unit 3 roof: 170 m²
 - o Driveway: 347 m²
 - o **Total** = 821 m²
- **Increase** in impervious area = 821 m² - 358 m² = **463 m²**

Since the **increase is less than 500 m²**, the development is **exempt from Stormwater Quality Management** under **Clause 5(a)(ii)**.

Stormwater Quantity Control

Refer to Civil Plan (Page C06) for peak flow calculations.

The development includes **3x 1,500 L above-ground water tank with on-site detention (OSD)** to reduce stormwater runoff and manage peak flow, based on a **runoff coefficient of 0.55**.

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. :
DATE RECEIVED:

PLN-26-137
10.08.26



1
-
DEMOLITION PLAN
1:200

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-26-137

DATE RECEIVED: 10.08.26

LEGEND

- WM

EXISTING WATER METER
- SLC

SEWER LOT CONNECTION
- SWLC

STORMWATER LOT CONNECTION
- S

PROPOSED Ø100 UPVC SEWER LINE
- SW

PROPOSED Ø100 UPVC STORMWATER LINE
- W

PROPOSED Ø100 UPVC WATER LINE
- EXS

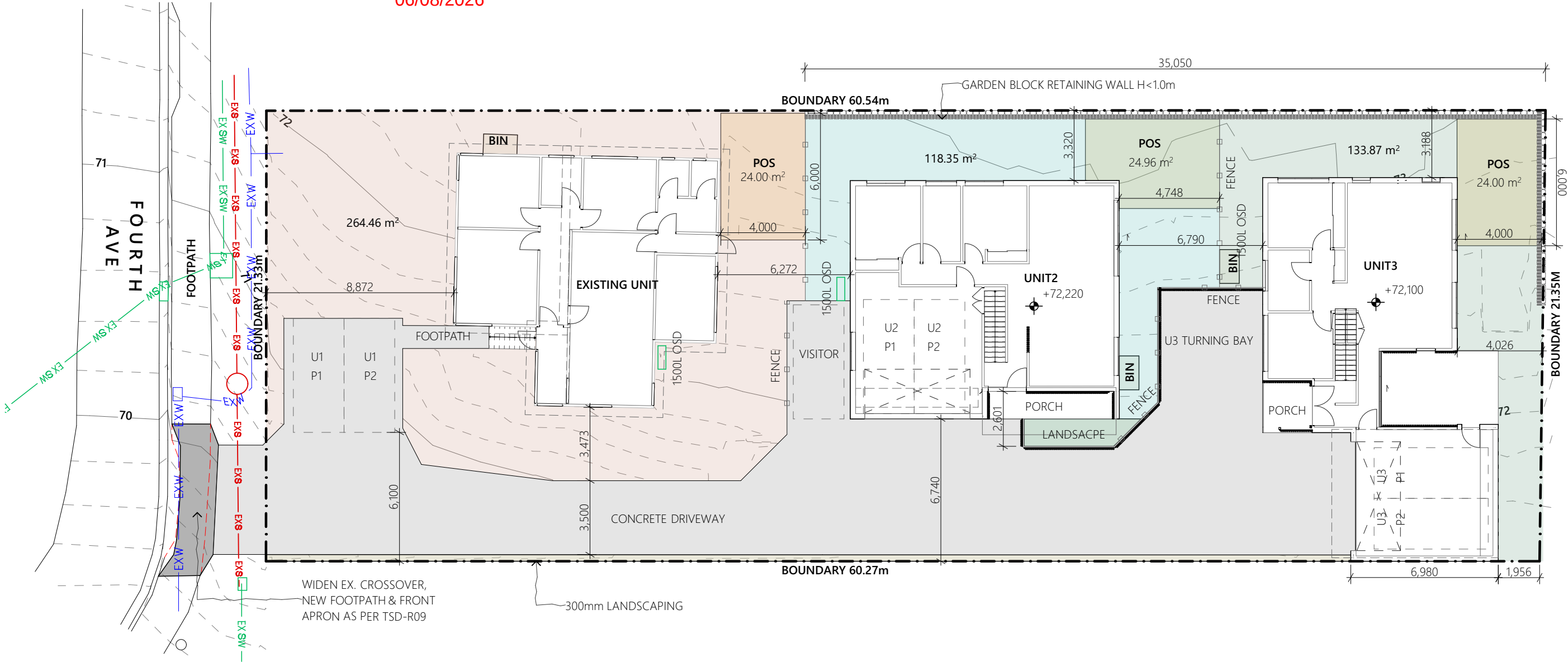
EXISTING SEWER LINE
- EXSW

EXISTING STORMWATER LINE
- EXW

EXISTING WATER LINE
- ELEMENTS TO BE DEMOLISHED & REMOVED
- EXISTING ELEMENTS TO BE RETAINED

GENERAL MANAGER CONSENT
GRANTED UNDER S52 LUPAA

06/08/2026



1 SITE PLAN
1:200

POS SCHEDULE

33 FOURTH AVENUE

EXISTING HOUSE
TOTAL POS: 264 m²

UNIT 2
TOTAL POS: 118.0m²

UNIT 3
TOTAL POS: 133.8m²

TASMANIAN PLANNING SCHEME NOTES:

8.4.1 RESIDENTIAL DENSITY FOR MULTIPLE DWELLINGS:

A1(a) SITE DENSITY
MIN. 325m² PER UNIT
CONSOLIDATED SITE AREA/3 (UNITS) = 1290/3
= 430m² PROVIDED PER UNIT

8.4.3 SITE COVERAGE AND POS FOR ALL DWELLINGS:

A1(a) SITE COVERAGE
MAX. SITE COVERAGE 50% = 645m²
PROPOSED SITE COVERAGE = 421.2/1290m²
= 32.6%

LEGEND

- WM EXISTING WATER METER
- SLC SEWER LOT CONNECTION
- SWLC STORMWATER LOT CONNECTION
- PROPOSED Ø100 UPVC SEWER LINE
- PROPOSED Ø100 UPVC STORMWATER LINE
- PROPOSED Ø100 UPVC WATER LINE
- EXISTING SEWER LINE
- EXISTING STORMWATER LINE
- EXISTING WATER LINE
- ELEMENTS TO BE DEMOLISHED & REMOVED
- EXISTING ELEMENTS TO BE RETAINED
- PROPOSED WORKS



214 Elizabeth Street, Hobart TAS 7000
p: (03) 6286 8440
e: admin@oramatis.com.au
© Oramatis Studio PTY LTD

GENERAL NOTES

CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCEMENT OF ANY WORK. CONTRACTORS SHALL CLARIFY ANY DISCREPANCIES BEFORE COMMENCEMENT OF ANY WORK. DRAWINGS MUST NOT BE SCALED.
CONTRACTORS SHALL SUBMIT SAMPLES AND SHOP DRAWINGS BEFORE COMMENCING WORK. ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND ALL RELEVANT AUSTRALIAN STANDARDS. THESE DESIGNS, PLANS, SPECIFICATIONS AND THE COPYRIGHT HEREIN ARE THE PROPERTY OF ORAMATIS STUDIO AND MUST NOT BE USED, REPRODUCED OR COPIED WHOLLY OR IN PART WITHOUT THE WRITTEN PERMISSION OF ORAMATIS STUDIO.

REV ID DESCRIPTION DATE

PROJECT
ONE EXISTING TWO PROPOSED
33 FOURTH AVE., WEST MOONAH

CLIENT
S & S

REVISION

PROJECT ID
2516

DATE

9/06/2026

CHECKED BY
D.D

SCALE

AS SHOWN @ A3

DRAWN BY
C.L

PAGE

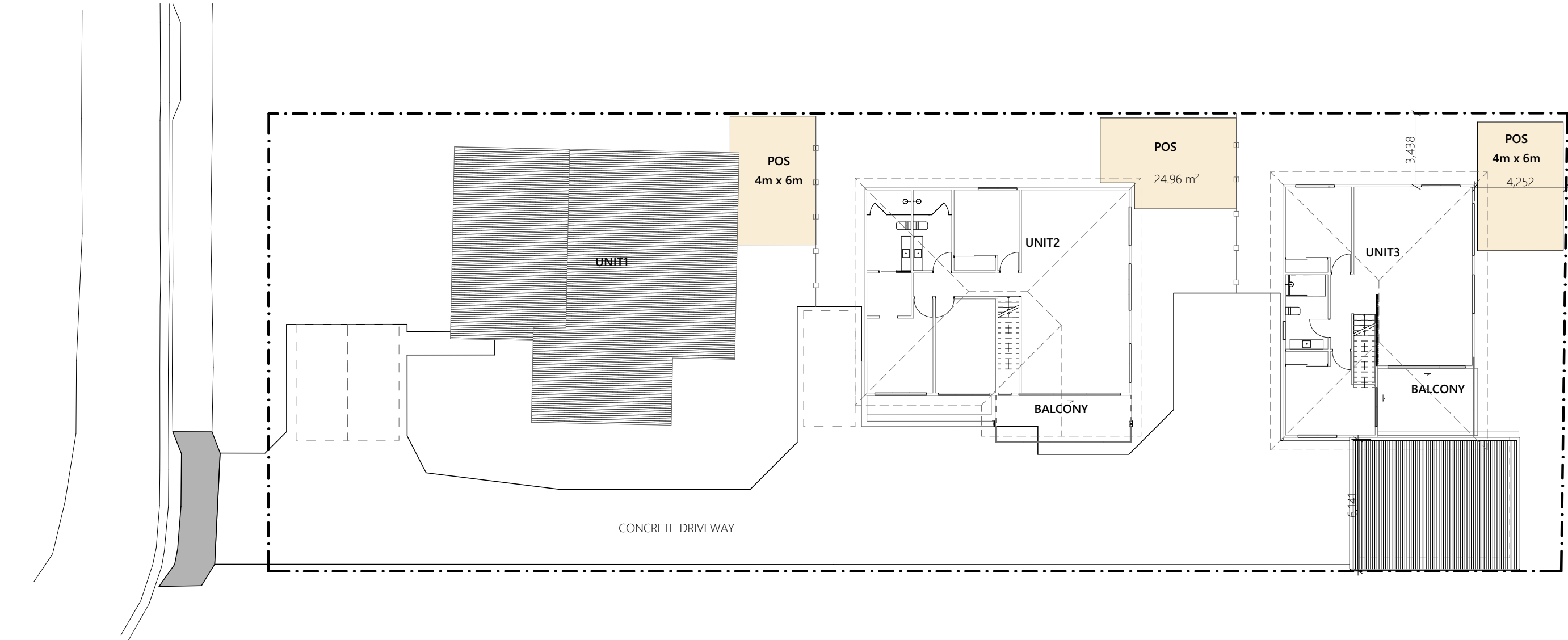
DA04

DRAWING

SITE PLAN

NORTH





1 SITE PLAN FIRST FLOOR
1:200

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-26-137

DATE RECEIVED: 10.08.26

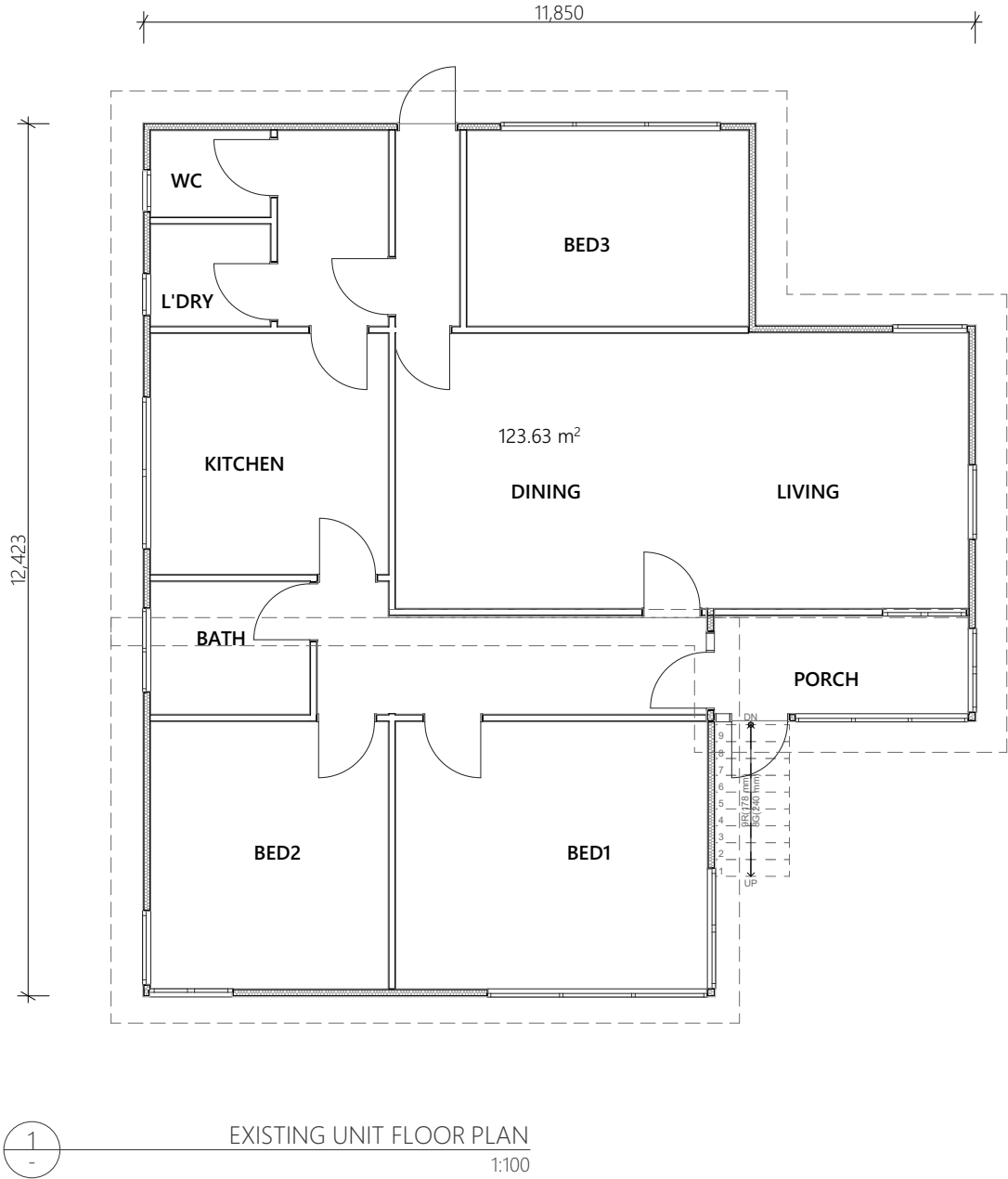
LEGEND

- | | | | |
|--|------------------------------------|--|-------------------------------------|
| WM | EXISTING WATER METER | | ELEMENTS TO BE DEMOLISHED & REMOVED |
| SLC | SEWER LOT CONNECTION | | EXISTING ELEMENTS TO BE RETAINED |
| SWLC | STORMWATER LOT CONNECTION | | PROPOSED WORKS |
| — S — | PROPOSED Ø100 UPVC SEWER LINE | | |
| — SW — | PROPOSED Ø100 UPVC STORMWATER LINE | | |
| — W — | PROPOSED Ø100 UPVC WATER LINE | | |
| — EX S — | EXISTING SEWER LINE | | |
| — EX SW — | EXISTING STORMWATER LINE | | |
| — EX W — | EXISTING WATER LINE | | |

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-26-137

DATE RECEIVED: 10.08.26

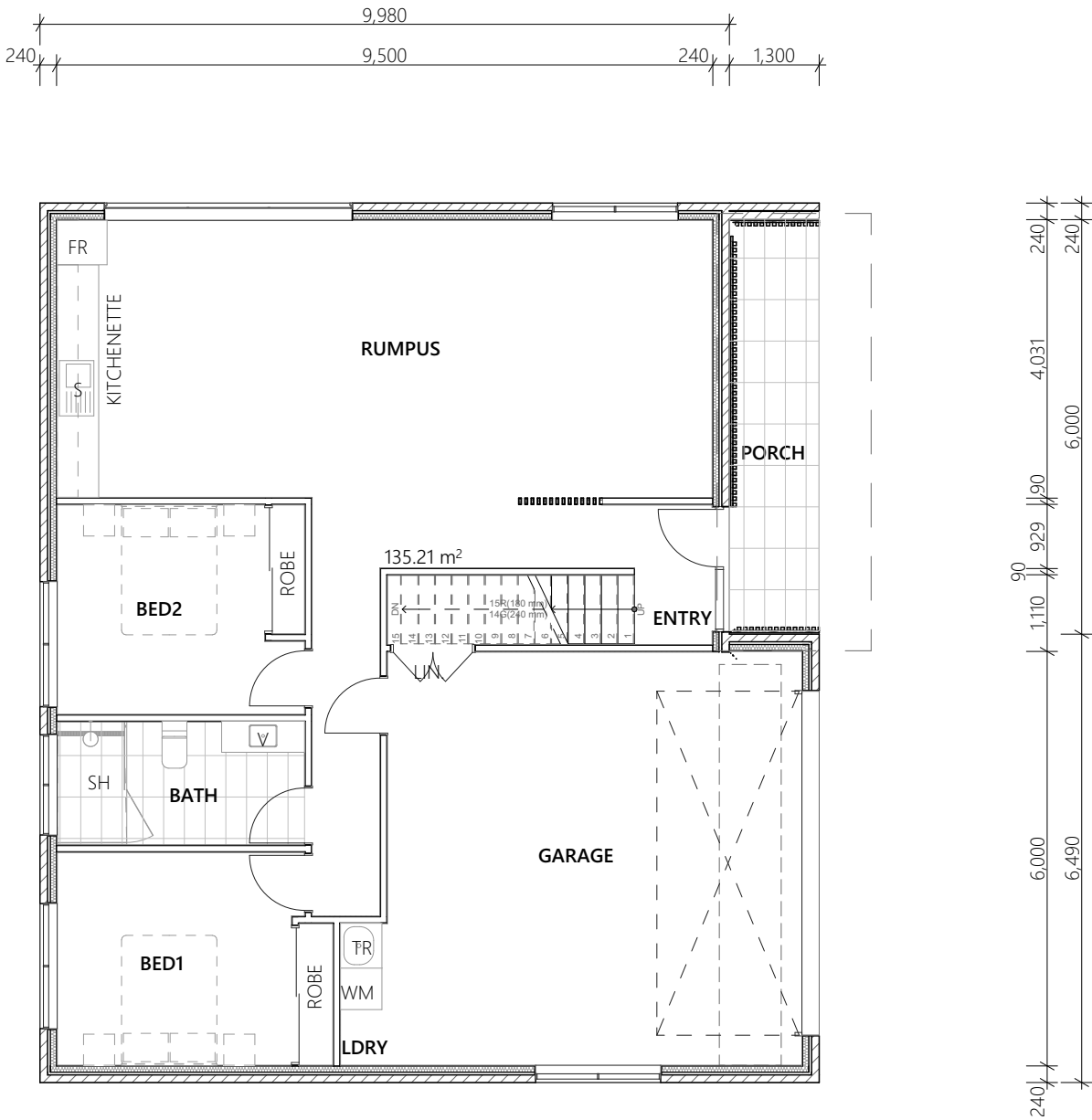


NOTE
ALL DIMENSIONS ARE TO THE WALL FRAME

AJ MAX. SPACING @ 4000-6000mm
NOTE: SOIL CLASS M

FLOOR PLAN LEGEND

- B** BASIN
- BR** BROOM CLOSET
- BT** BATH TUB
- CT** COOKTOP
- DW** DISHWASHER
- DR** DRYER
- F** FRIDGE
- OC** OVERHEAD CABINETS
- P** PANTRY
- RH** RANGEHOOD
- S** SINK
- SH** SHOWER CABIN
- ST** STORAGE
- TR** LAUNDRY TROUGH
- V** VANITY
- WM** WASHING MACHINE



**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-26-137

DATE RECEIVED: 10.08.26

1
-
UNIT 2 GROUND FLOOR PLAN
1:100

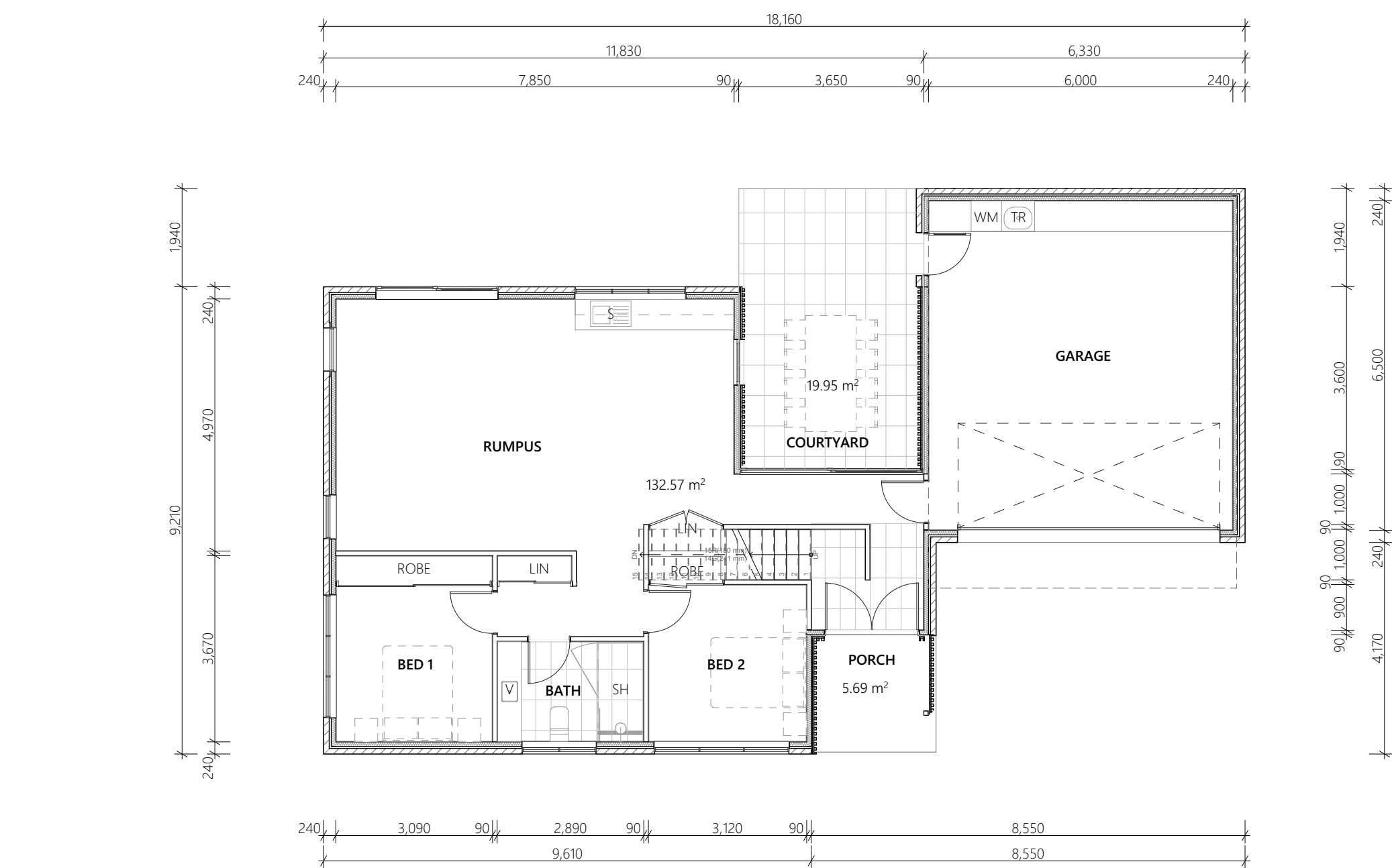
NOTE
ALL DIMENSIONS ARE TO THE WALL FRAME

AJ MAX. SPACING @ 4000-6000mm
NOTE: SOIL CLASS M

FLOOR PLAN LEGEND

- B** BASIN
- BR** BROOM CLOSET
- BT** BATH TUB
- CT** COOKTOP
- DW** DISHWASHER
- DR** DRYER
- F** FRIDGE
- OC** OVERHEAD CABINETS
- P** PANTRY
- RH** RANGEHOOD
- S** SINK
- SH** SHOWER CABIN
- ST** STORAGE
- TR** LAUNDRY TROUGH
- V** VANITY
- WM** WASHING MACHINE

AREA SCHEDULE	
ID	m²
BALCONY	14.12
FIRST FLOOR	114.61
GROUND FLOOR	135.21
PORCH	8.37



NOTE

ALL DIMENSIONS ARE TO THE WALL FRAME

AJ MAX. SPACING @ 4000-6000mm

NOTE: SOIL CLASS M

FLOOR PLAN LEGEND

- B** BASIN
- BR** BROOM CLOSET
- BT** BATH TUB
- CT** COOKTOP
- DW** DISHWASHER
- DR** DRYER
- F** FRIDGE
- OC** OVERHEAD CABINETS
- P** PANTRY
- RH** RANGEHOOD
- S** SINK
- SH** SHOWER CABIN
- ST** STORAGE
- TR** LAUNDRY TROUGH
- V** VANITY
- WM** WASHING MACHINE

AREA SCHEDULE	
ID	m²
BALCONY	14.57
FIRST FLOOR	90.85
GROUND FLOOR	135.52
PORCH	5.69

1
-
GROUND FLOOR PLAN
1:100

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-26-137

DATE RECEIVED: 10.08.26

Print Date: 7 August 2026, 9:39 am

NOTE

ALL DIMENSIONS ARE TO THE WALL FRAME

AJ MAX. SPACING @ 4000-6000mm

NOTE: SOIL CLASS M

FLOOR PLAN LEGEND

- B

BR

BT

CT

DW

DR

F

OC

P

RH

S

SH

ST

TR

V

WM
- BASIN

BROOM CLOSET

BATH TUB

COOKTOP

DISHWASHER

DRYER

FRIDGE

OVERHEAD CABINETS

PANTRY

RANGEHOOD

SINK

SHOWER CABIN

STORAGE

LAUNDRY TROUGH

VANITY

WASHING MACHINE

AREA SCHEDULE	
ID	m ²
BALCONY	14.57
FIRST FLOOR	90.85
GROUND FLOOR	135.52
PORCH	5.69



1

FIRST FLOOR PLAN

1:100

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-26-137

DATE RECEIVED: 10.08.26



ORAMATIS STUDIO

214 Elizabeth Street, Hobart TAS 7000

p: (03) 6286 8440

e: admin@oramatis.com.au

© Oramatis Studio PTY LTD

Document Set ID: 3658109 on: CC6540

Version: 1, Version Date: 05/08/2026

GENERAL NOTES

CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCEMENT OF ANY WORK. CONTRACTORS SHALL CLARIFY ANY DISCREPANCIES BEFORE COMMENCEMENT OF ANY WORK. DRAWINGS MUST NOT BE SCALED.
CONTRACTORS SHALL SUBMIT SAMPLES AND SHOP DRAWINGS BEFORE COMMENCING WORK. ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND ALL RELEVANT AUSTRALIAN STANDARDS. THESE DESIGNS, PLANS, SPECIFICATIONS AND THE COPYRIGHT HEREIN ARE THE PROPERTY OF ORAMATIS STUDIO AND MUST NOT BE USED, REPRODUCED OR COPIED WHOLLY OR IN PART WITHOUT THE WRITTEN PERMISSION OF ORAMATIS STUDIO.

REV ID	DESCRIPTION	DATE
--------	-------------	------

PROJECT	ONE EXISTING TWO PROPOSED 33 FOURTH AVE., WEST MOONAH
---------	--

REVISION		DATE	9/06/2026
----------	--	------	-----------

CLIENT	S & S
--------	-------

PROJECT ID	2516	CHECKED BY	D.D
------------	------	------------	-----

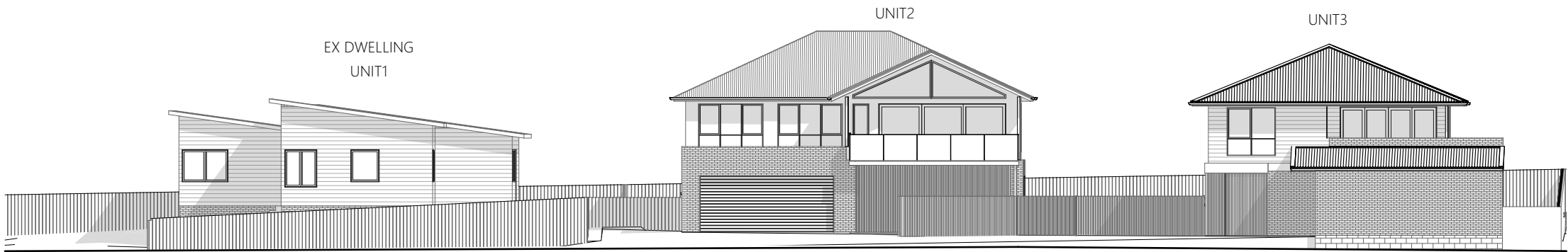
SCALE	AS SHOWN @ A3
DRAWN BY	C.L

PAGE	DA10
------	------

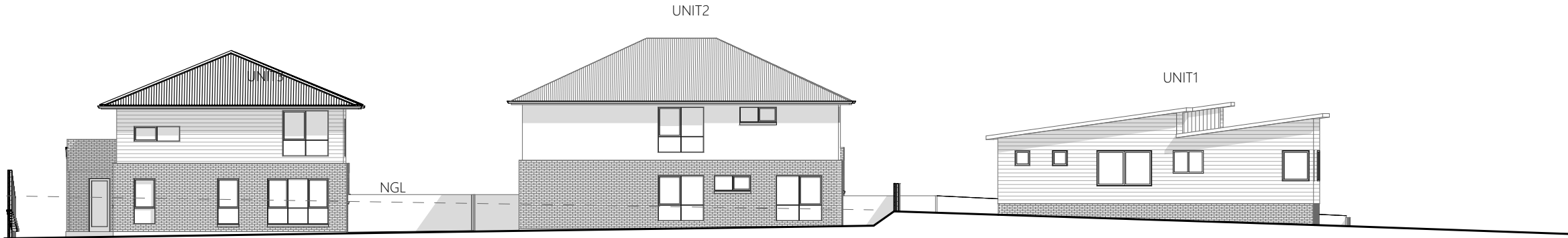
DRAWING	UNIT3 FIRST FLOOR PLAN
---------	------------------------

NORTH





1
-
SE ELEVATION
1:200

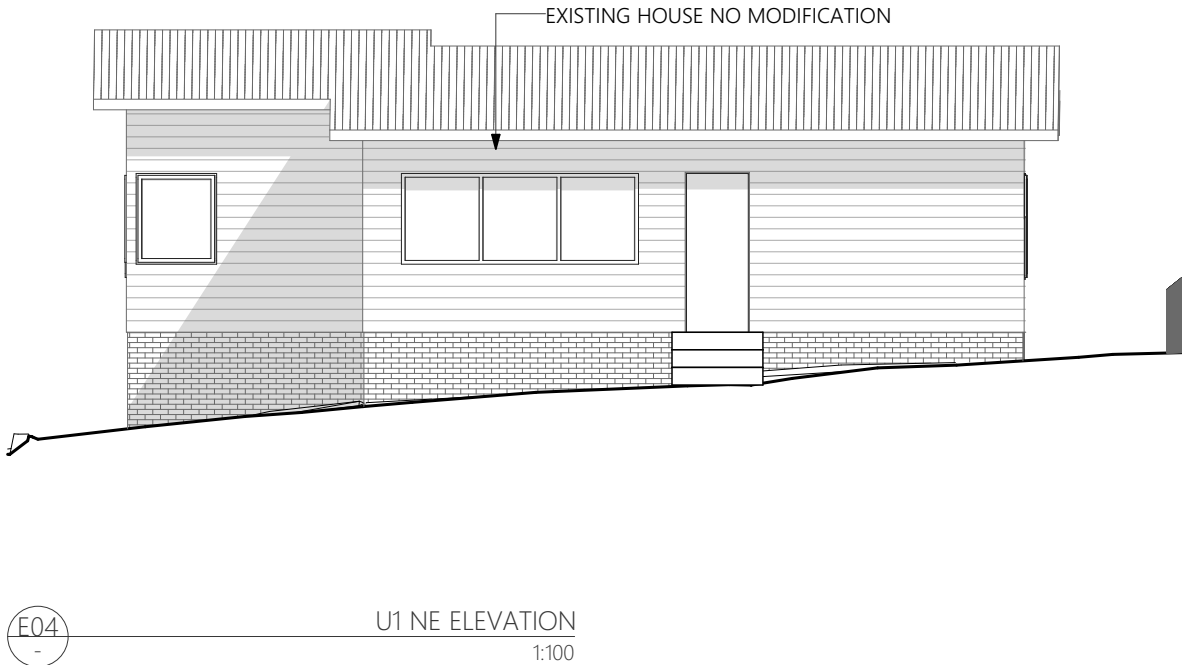
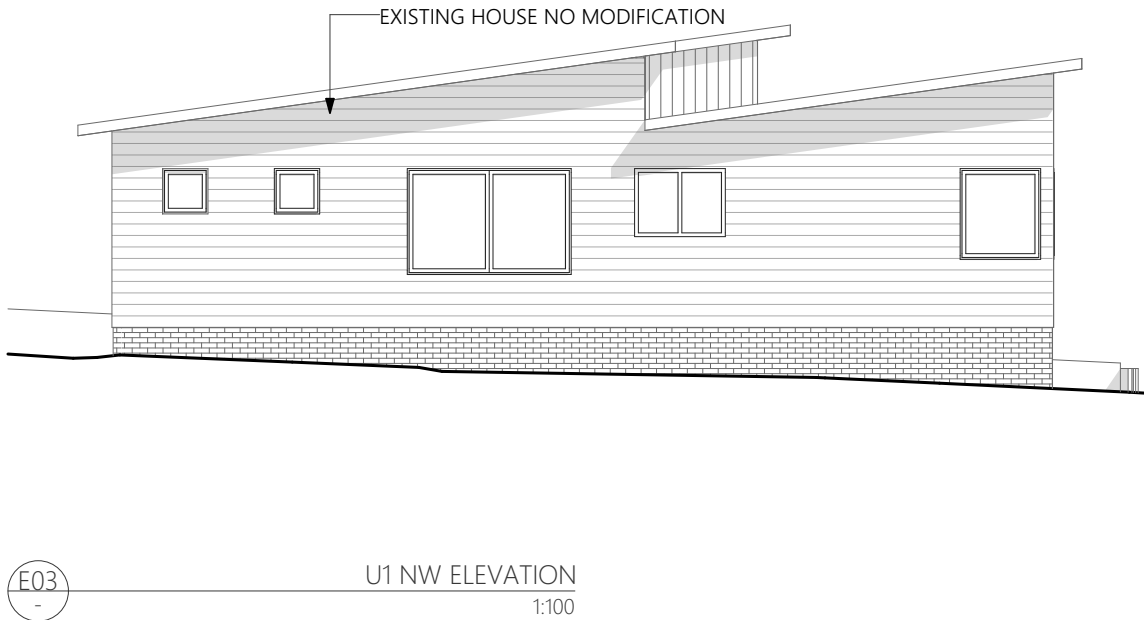
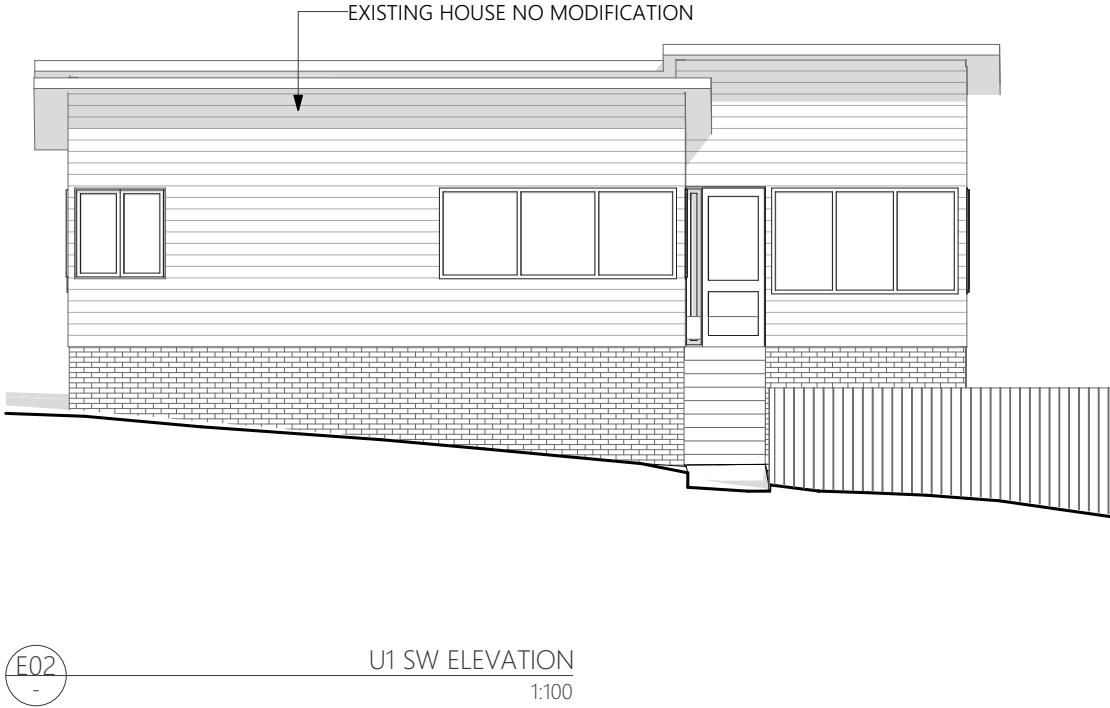
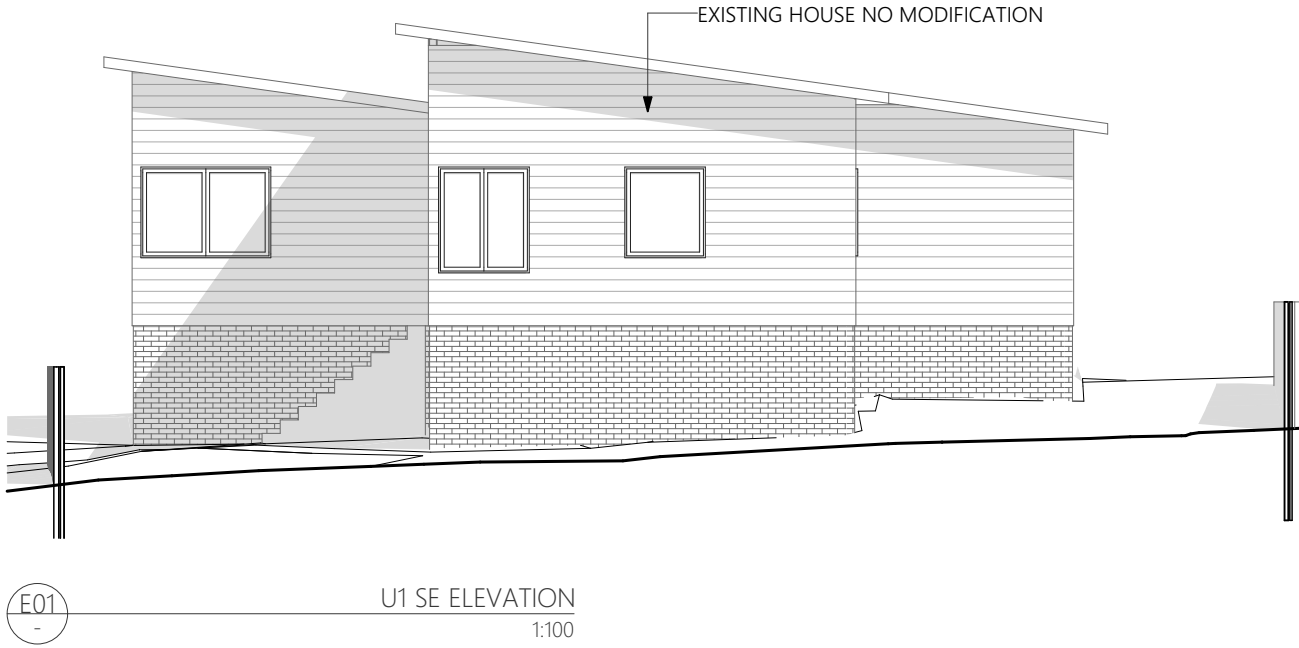


2
-
NW ELEVATION
1:200

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-26-137

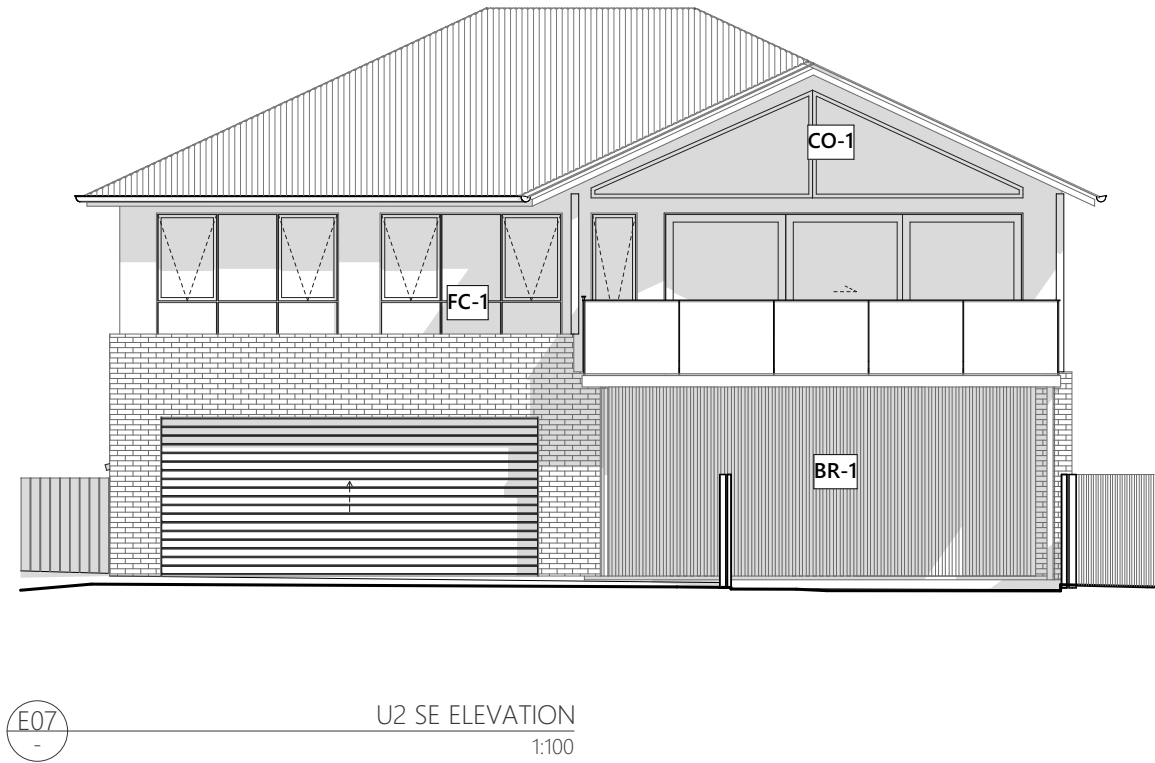
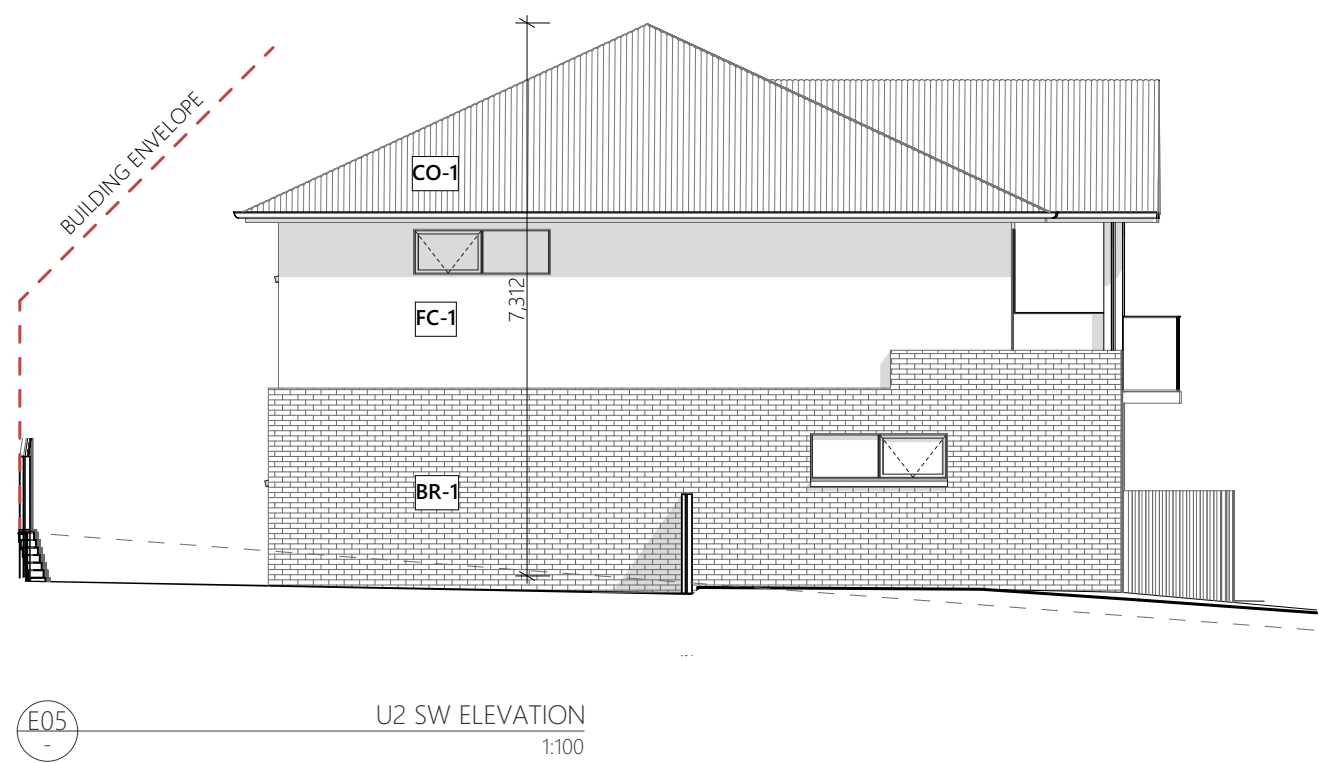
DATE RECEIVED: 10.08.26



**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-26-137

DATE RECEIVED: 10.08.26



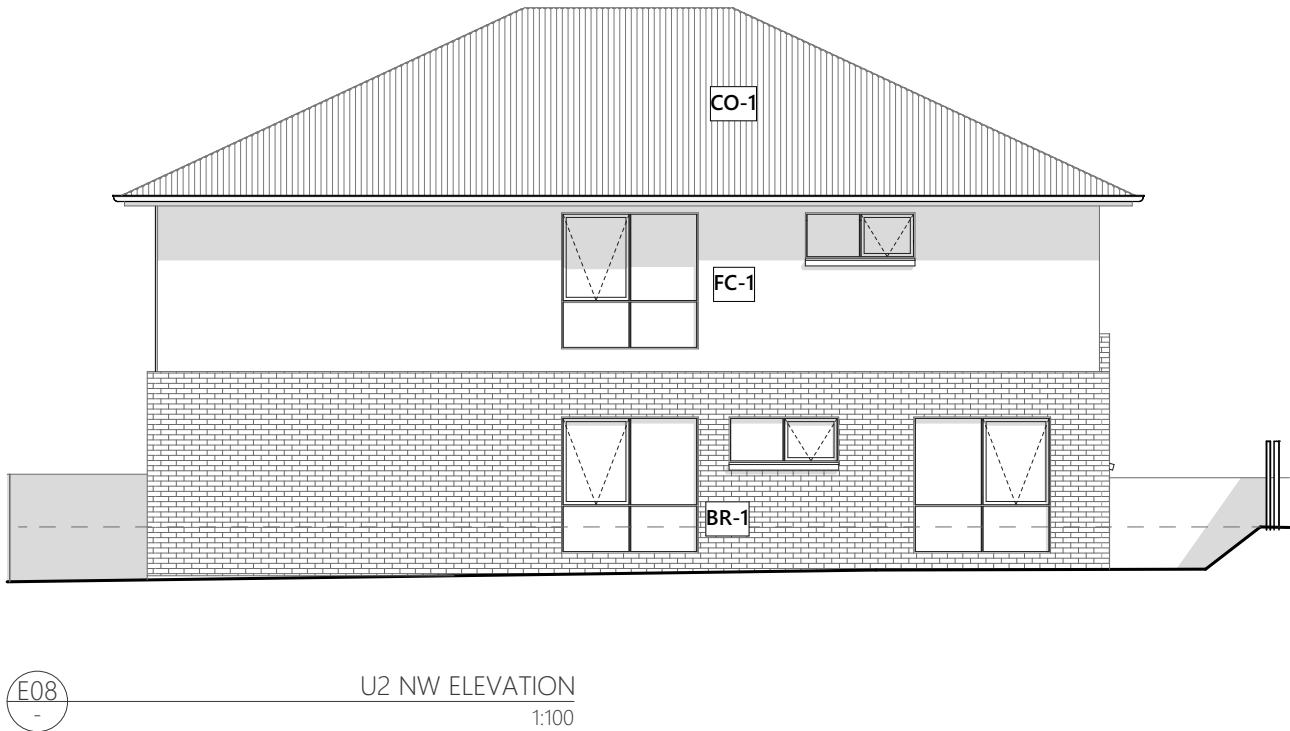
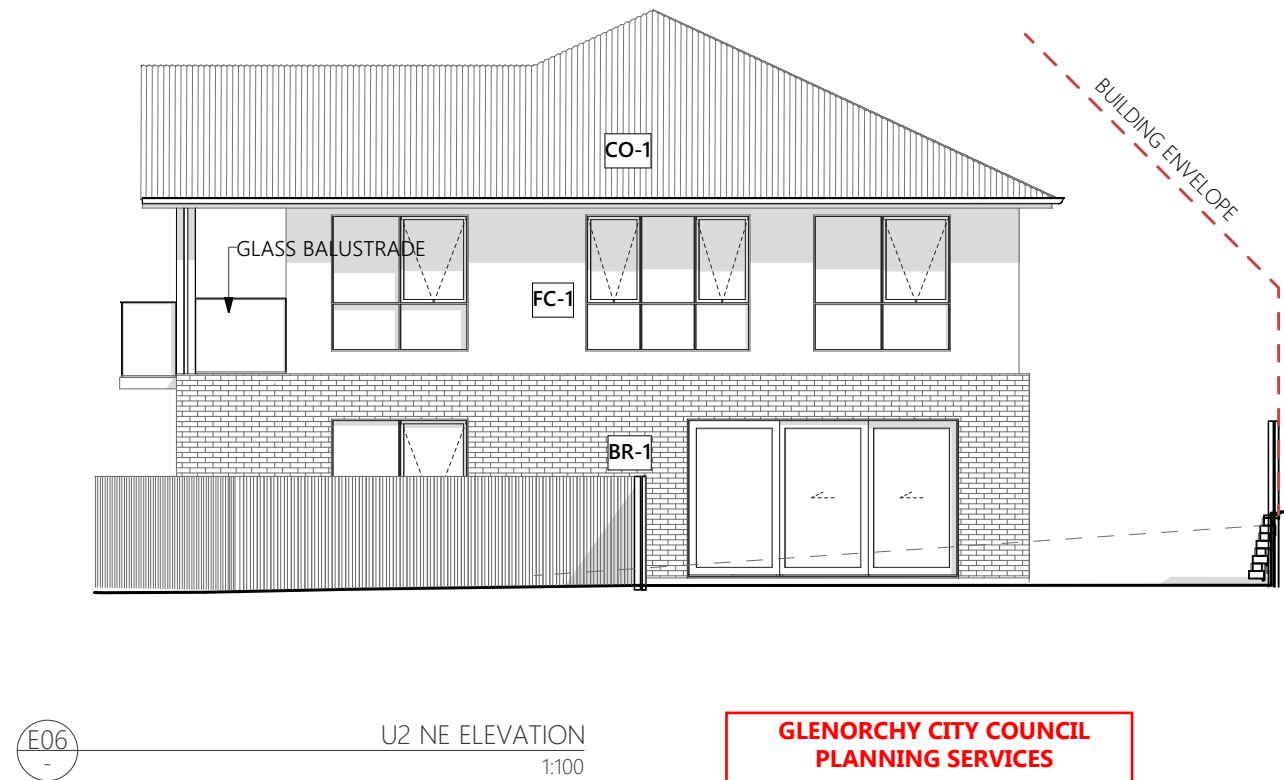
MATERIAL & FINISHES

ROOF

- CO** CUSTOM ORB ROOF SHEET
COLOUR: *MONUMENT TBC*
- TD** TRIMDEK ROOF SHEET
COLOUR: *MONUMENT TBC*

WALL

- BR-1** BRICK VENEER WALL
COLOUR: *BRICK SELECTION TBC*
- RB-1** RENDERED BRICK
COLOUR: *BRICK SELECTION TBC*
- WB-1** WEATHER BOARD CLADDING
COLOUR: *WHITE TBC*
- FC-1** JAMES HARDIE 9mm FC SHEET
COLOUR: *SURFMIST TBC*



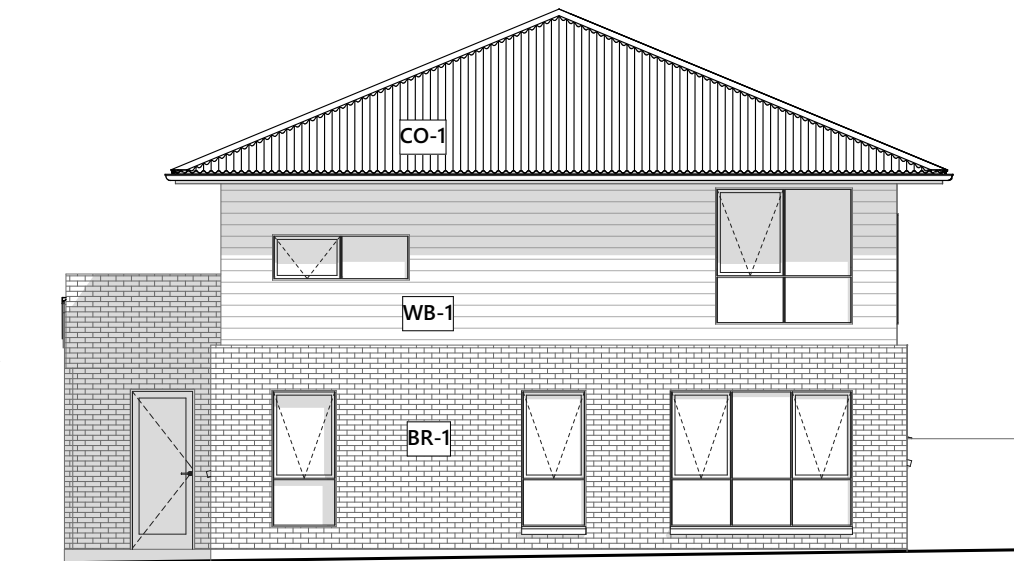
**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-26-137

DATE RECEIVED: 10.08.26



E10 U3 SW ELEVATION
1:100



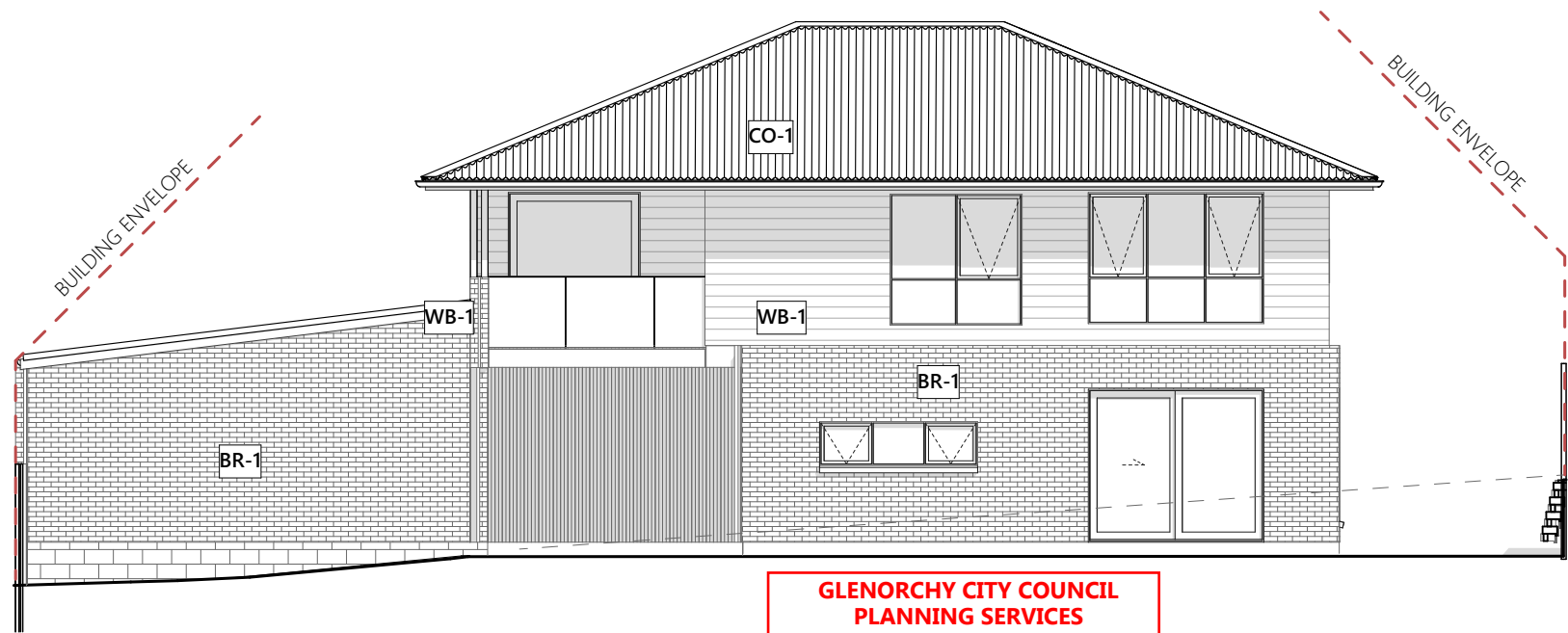
E12 U3 NW ELEVATION
1:100

MATERIAL & FINISHES

- ROOF**
- CO** CUSTOM ORB ROOF SHEET
COLOUR: *MONUMENT TBC*
 - TD** TRIMDEK ROOF SHEET
COLOUR: *MONUMENT TBC*
- WALL**
- BR-1** BRICK VENEER WALL
COLOUR: *BRICK SELECTION TBC*
 - RB-1** RENDERED BRICK
COLOUR: *BRICK SELECTION TBC*
 - WB-1** WEATHER BOARD CLADDING
COLOUR: *WHITE TBC*
 - FC-1** JAMES HARDIE 9mm FC SHEET
COLOUR: *SURFMIST TBC*

- COLUMN**
- C1** TIMBER CLADDED COLUMN
FINISH: *2 COATS PRE OILED*

NOTE:
ALL PROPRIETARY MATERIALS TO BE
INSTALLED IN STRICT ACCORDANCE WITH
MANUFACTURER'S INSTRUCTIONS

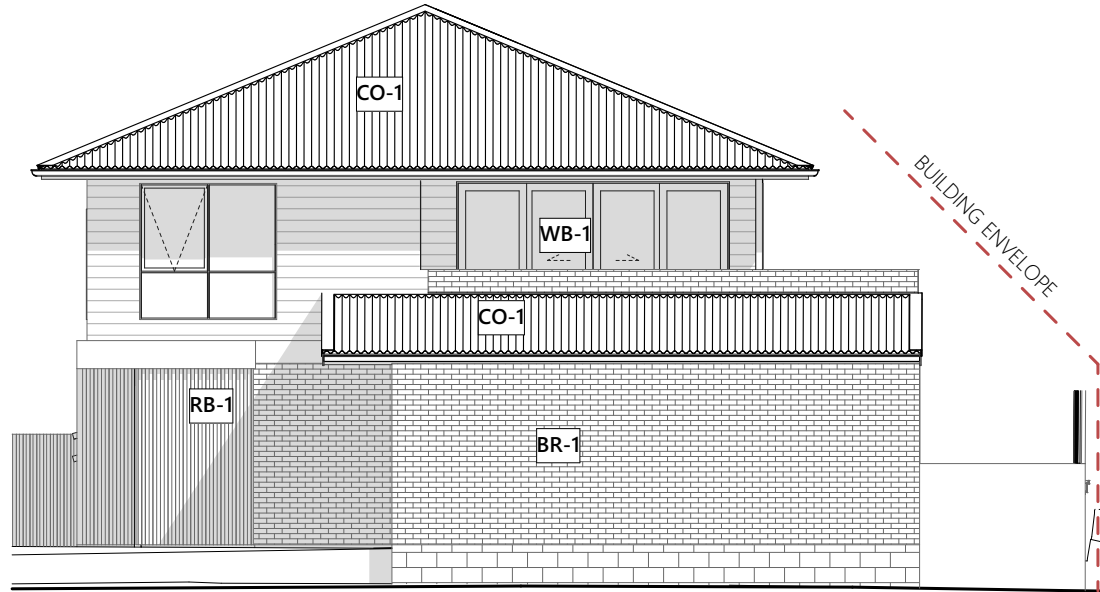


E09 U3 NE ELEVATION
1:100

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-26-137

DATE RECEIVED: 10.08.26



E11 U3 SE ELEVATION
1:100



ORAMATIS STUDIO

214 Elizabeth Street, Hobart TAS 7000

p: (03) 6286 8440

e: admin@oramatis.com.au

© Oramatis Studio PTY LTD

Document Set ID: 3658109

on: CC6540

Version: 1, Version Date: 05/08/2026

GENERAL NOTES

CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCEMENT OF ANY WORK. CONTRACTORS SHALL CLARIFY ANY DISCREPANCIES BEFORE COMMENCEMENT OF ANY WORK. DRAWINGS MUST NOT BE SCALED.

CONTRACTORS SHALL SUBMIT SAMPLES AND SHOP DRAWINGS BEFORE COMMENCING WORK. ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND ALL RELEVANT AUSTRALIAN STANDARDS. THESE DESIGNS, PLANS, SPECIFICATIONS AND THE COPYRIGHT HEREIN ARE THE PROPERTY OF ORAMATIS STUDIO AND MUST NOT BE USED, REPRODUCED OR COPIED WHOLLY OR IN PART WITHOUT THE WRITTEN PERMISSION OF ORAMATIS STUDIO.

REV ID

DESCRIPTION

DATE

PROJECT

ONE EXISTING TWO PROPOSED
33 FOURTH AVE., WEST MOONAH

CLIENT

S & S

REVISION

PROJECT ID

2516

DATE

9/06/2026

CHECKED BY

D.D

SCALE

AS SHOWN @ A3

DRAWN BY

C.L

PAGE

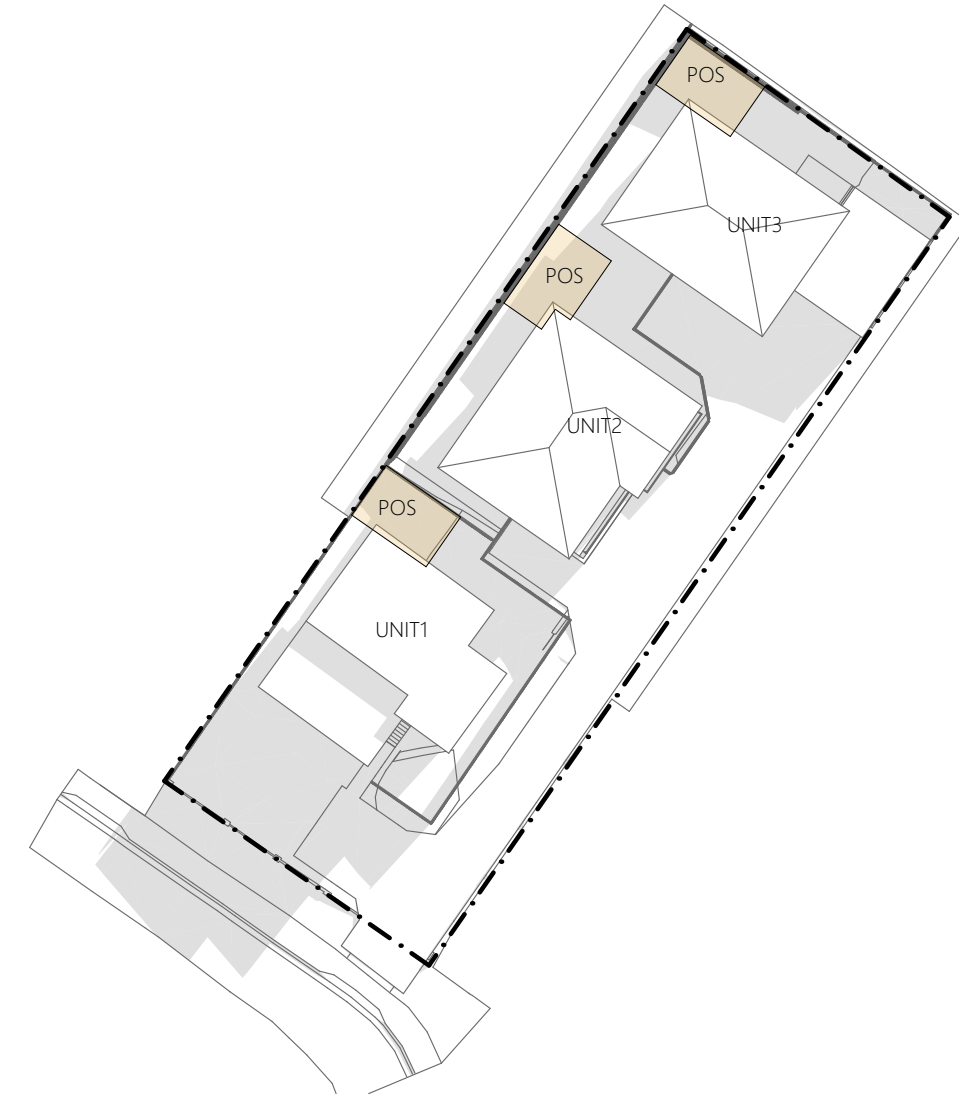
DA14

DRAWING

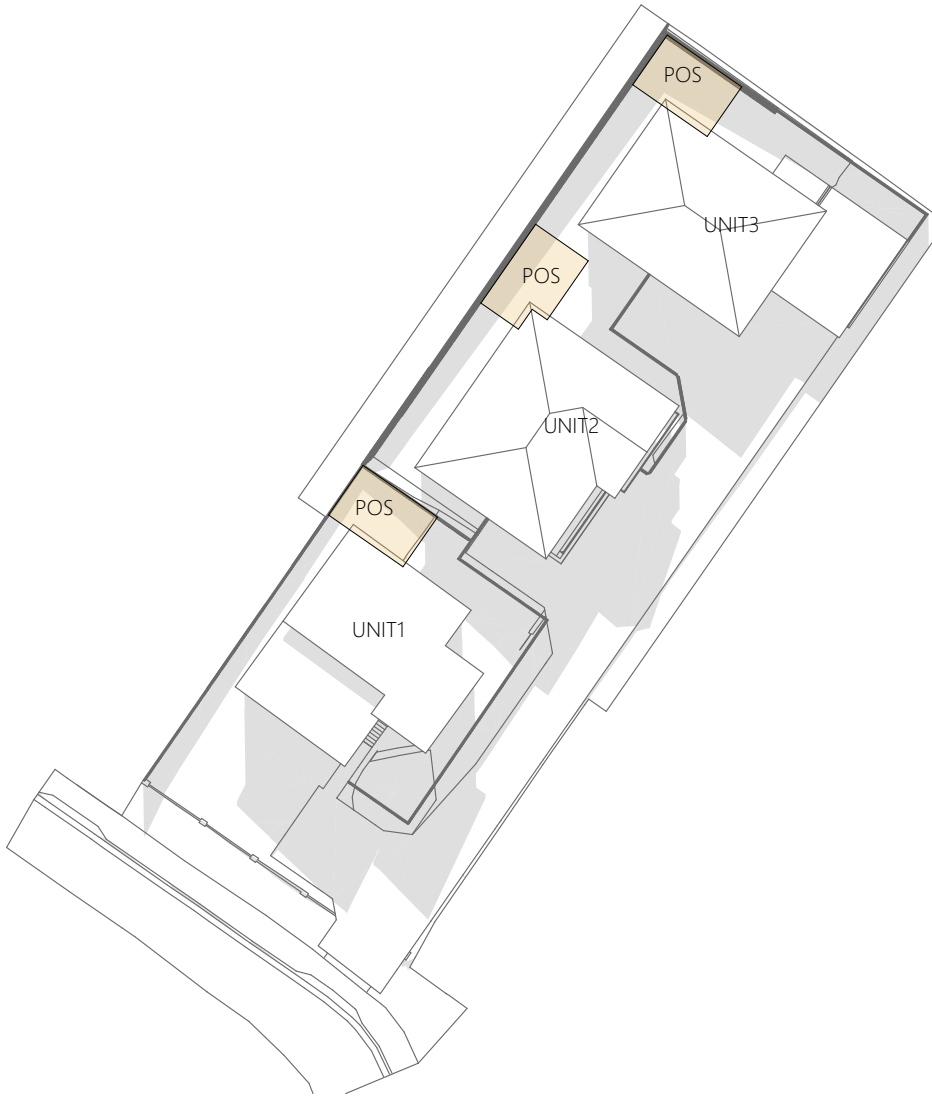
U3 ELEVATION

NORTH

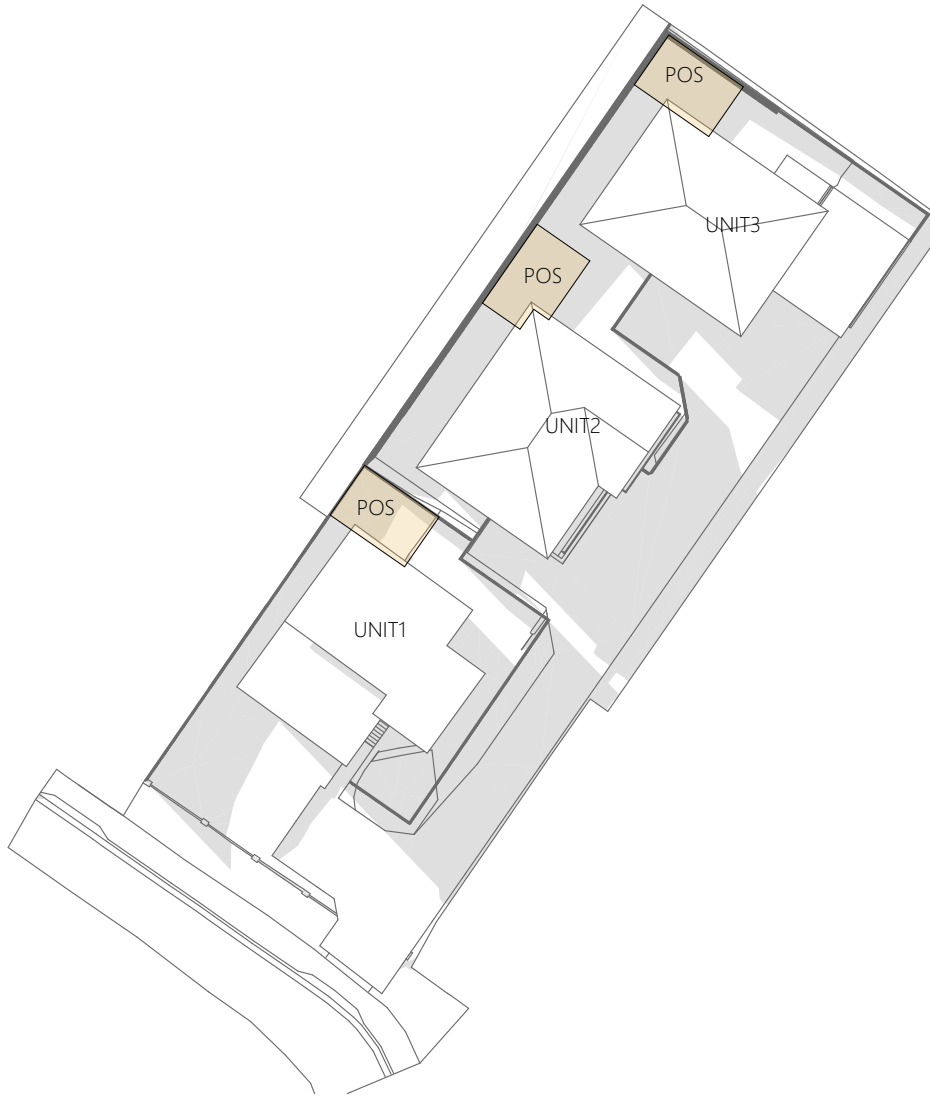
Print Date: 7 August 2026, 9:39 am



1
- SHADOW STUDY 21 JUNE AT 0900H
1:500



2
- SHADOW STUDY 21 JUNE AT 1200H
1:500



3
- SHADOW STUDY 21 JUNE AT 1500H
1:500

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. :
DATE RECEIVED:

PLN-26-137
10.08.26

UNIT DEVELOPMENT

33 FOURTH AVE., WEST MOONAH

DRAWING ID	TITLE
C01	COVER
C02	SITE PLAN
C03	DRIVEWAY LONGSECTION
C04	CAR TURNING PATH PLAN
C05	STORMWATER PLAN
C06	STORMWATER CALCULATION
C07	WATER TANK DETAIL
C08	SEWER & WATER PLAN

GENERAL NOTES

1. THE MAIN CONTRACTOR AND ALL SUB CONTRACTORS SHALL COMPLY WITH THE STATE WORK HEALTH AND SAFETY ACT AND ALL RELEVANT CODES OF PRACTICE.
2. ALL HYDRAULICS WORKS TO BE CARRIED OUT IN ACCORDANCE WITH IPWEA STANDARD DRAWINGS AND SPECIFICATIONS, (WSAA SEWERAGE CODE OF AUSTRALIA & WATER SUPPLY CODE OF AUSTRALIA) AND TO THE SATISFACTION OF COUNCIL'S DEVELOPMENT ENGINEER.
3. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR CONTACTING TASNETWORKS TO APPLY FOR NEW CONNECTIONS AND/OR ADDITIONAL SUPPLY. SUFFICIENT TIME FOR TASNETWORKS DESIGN AND REVIEW PROCESSES SHOULD BE ALLOWED FOR.
4. NO TOP SOIL SHALL BE REMOVED FROM THE SITE WITHOUT THE CONSENT OF COUNCIL. TOP SOIL DISTURBED OR REMOVED AS A RESULT OF WORKS SHALL BE STOCK-PILED ON SITE AND LATER USED FOR REDRESSING ANY DISTURBED SURFACES.
5. ALL DISTURBED SURFACES ON SITE, EXCEPT THOSE SET ASIDE FOR ROADWAYS AND FOOTPATHS SHALL BE DRESSED WITH IMPORTED FILL AND REVEGETATED TO THE SATISFACTION OF THE COUNCIL'S DEVELOPMENT ENGINEER.
6. ALL EXISTING SERVICES TO BE LOCATED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.
7. ALL LEVELS TO BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF WORKS.
8. ALL CONNECTIONS TO EXISTING STORMWATER MAINS TO BE CARRIED OUT BY COUNCIL AT DEVELOPERS COST UNLESS APPROVED OTHERWISE, ALL CONNECTIONS TO SEWER/WATER MAINS TO BE CARRIED OUT BY TASWATER AT DEVELOPERS COST UNLESS APPROVED OTHERWISE
9. GENERAL MATERIALS, INSTALLATION AND TESTING SHALL COMPLY WITH TASMANIAN MUNICIPAL STANDARDS PART 4.
10. EXCAVATED AND IMPORTED MATERIAL USED AS FILL TO BE APPROVED BY ENGINEER PRIOR TO INSTALLATION.
11. ANY DEPARTURES FROM THE DESIGN DRAWINGS ARE TO BE AT THE WRITTEN APPROVAL OF THE ENGINEER AND APPROVAL FROM THE AUTHORITY. CHANGES INCLUDES CONFLICTS WITH EXISTING SERVICES.
12. UNLESS NOTED OTHERWISE, THESE NOTES SHALL APPLY TO ALL DRAWINGS IN THE SET
13. BATTERS:
MAX EMBANKMENT SLOPE 1:3.0
MAX CUTTING SLOPE 1:2.0 (LOOSE ROCK)
1:3.0 (SOIL)

GLENORCHY CITY COUNCIL
PLANNING SERVICES

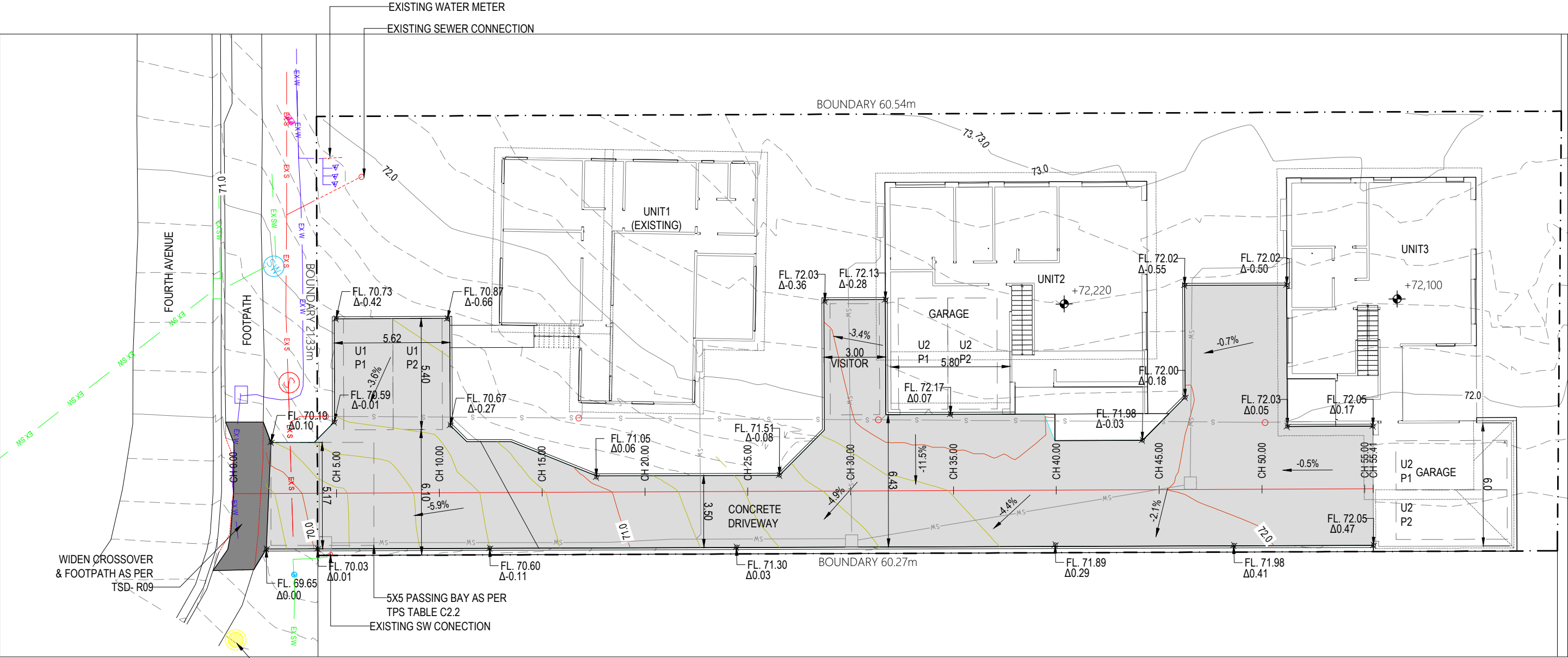
APPLICATION No. : PLN-26-137

DATE RECEIVED: 10.08.26

Version: 1, Version Date: 05/08/2026

Print Date: 7 August 2026, 9:39 am

IMPORTANT
DRAWINGS MUST BE
PRINTED & READ IN
COLOUR



1 SITE PLAN
Scale: 1:200

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-26-137

DATE RECEIVED: 10.08.26

ELECTRIC POLE

LEGEND

- EX W EXISTING TASWATER WATER MAIN
- EX S EXISTING TASWATER SEWER MAIN
- EX SW EXISTING SW MAIN

GENERAL NOTES

Contractors shall verify all dimensions and levels on site before commencement of any work. Contractors shall clarify any discrepancies before commencement of any work. Drawings must not be scaled.

Contractors shall submit samples and shop drawings before commencing work. All works shall be carried out in accordance with the Building Code of Australia and all relevant Australian Standards. These designs, plans, specifications and the copyright herein are the property of Oramatis Studio and must not be used, reproduced or copied wholly or in part without the written permission of Oramatis Studio.

PROJECT

33 FOURTH AVE., WEST MOONAH

REVISION

DATE

SCALE

PAGE

NORTH

CLIENT

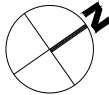
PROJECT ID

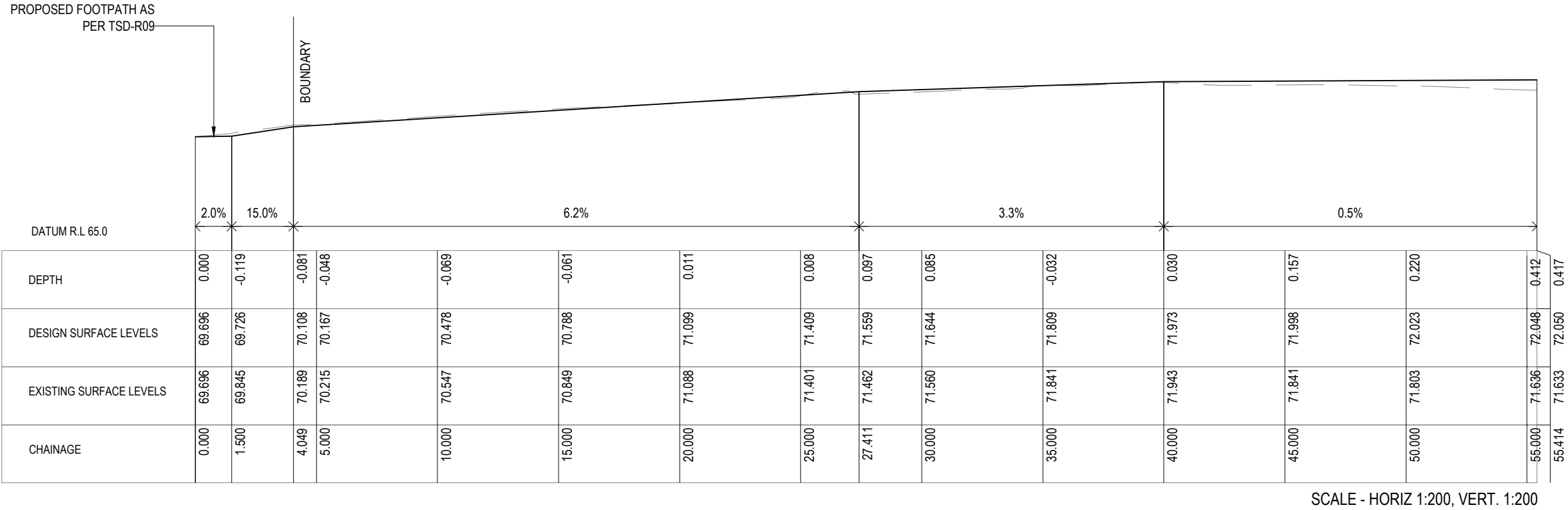
CHECKED BY

DRAWN BY

DRAWING

SITE PLAN





1

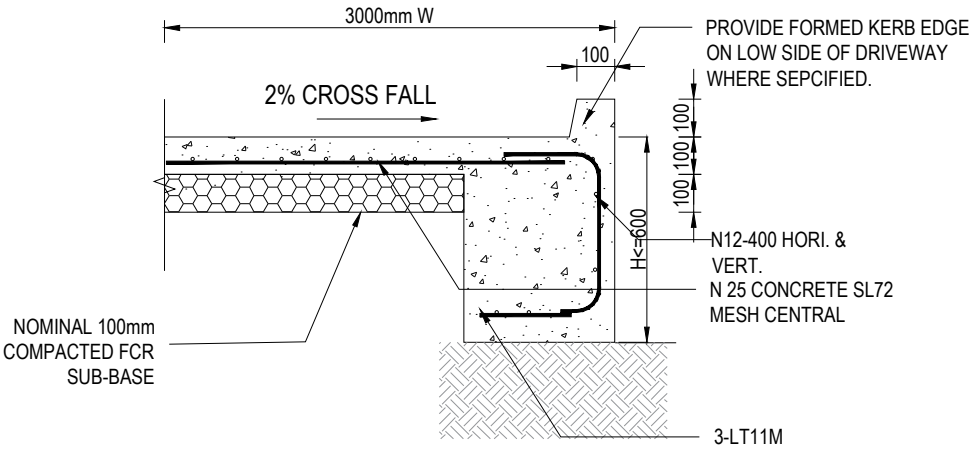
DRIVEWAY LONGSECTION

Scale: 1:200

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-26-137

DATE RECEIVED: 10.08.26

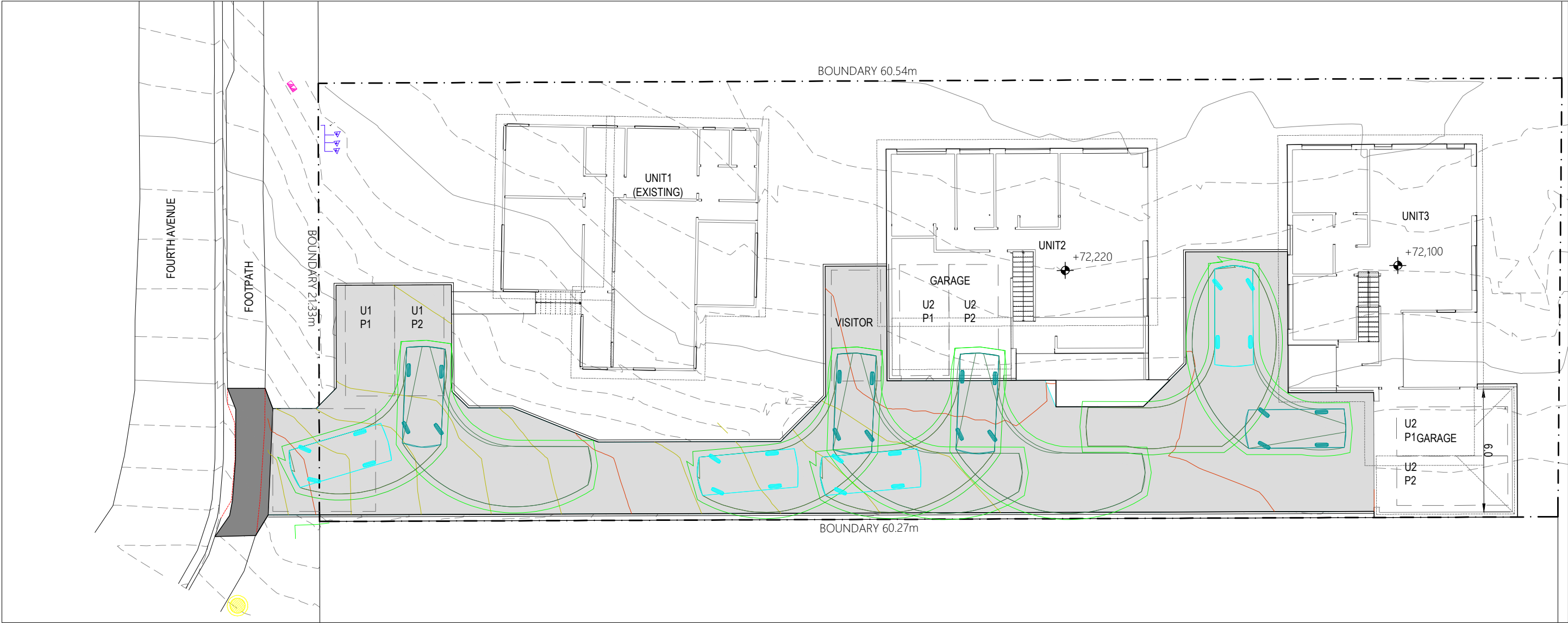


2

TYPICAL DRIVEWAY SECTION

Scale: 1:20

IMPORTANT
DRAWINGS MUST BE
PRINTED & READ IN
COLOUR



1 CAR TURNING PATH PLAN
Scale: 1:100

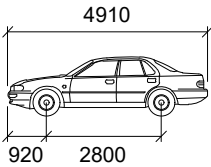
GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-26-137

DATE RECEIVED: 10.08.26

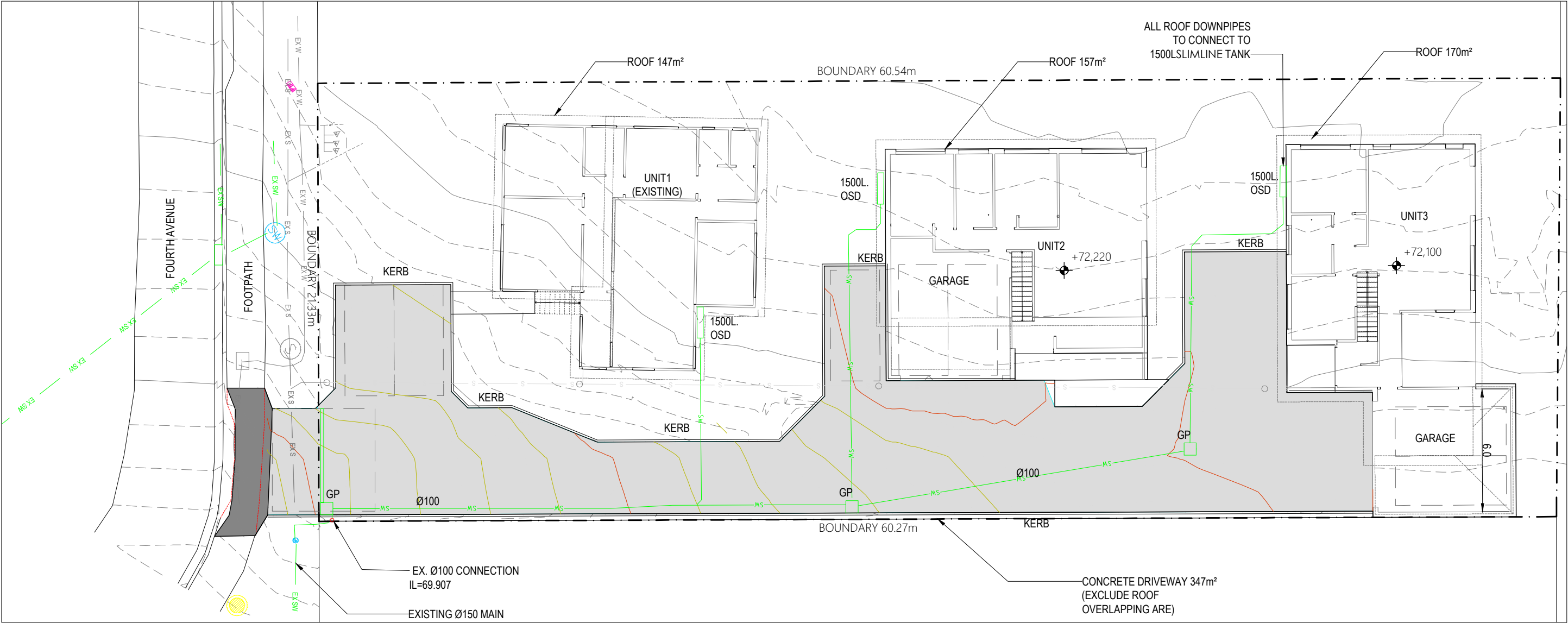
VEHICLE MOVEMENT NOTES:

1. MOVEMENT TEMPLATES DEMONSTRATE ABILITY OF VEHICLES TO ENTER INTERSECTION IN A FORWARDS DIRECTION, PARK IN THE GARAGE AND LEAVE IN A FORWARDS DIRECTION.
2. THE BASE DIMENSIONS OF THE CAR TEMPLATE REPRESENT THE B85 (85th PERCENTILE) VEHICLE
3. THE SWEEP PATH OF THE VEHICLE REPRESENT THE OUTER EXTENTS OF THE VEHICLE BODY
4. THE PATHS WERE GENERATED WITH A TURNING SPEED OF 5km/hr FROM THE STREET.



B85		mm
Width	:	1870
Track	:	1770
Lock to Lock Time	:	6.0
Steering Angle	:	34.0

IMPORTANT
DRAWINGS MUST BE
PRINTED & READ IN
COLOUR



GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-26-137

DATE RECEIVED: 10.08.26

STORMWATER NOTES:

1. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH COUNCIL MUNICIPAL STANDARDS, AS3500 AND IPWEA (TAS) MUNICIPAL STANDARD DRAWINGS AND SPECIFICATIONS WHERE APPLICABLE AND TO THE SATISFACTION OF COUNCIL'S MUNICIPAL ENGINEER
2. ALL EXISTING SERVICES TO BE LOCATED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS. ALL CONNECTIONS TO EXISTING MAINS TO BE CARRIED OUT BY COUNCIL AT DEVELOPERS COST UNLESS APPROVED OTHERWISE.
3. GENERAL MATERIALS, INSTALLATION & TESTING SHALL COMPLY WITH TASMANIAN MUNICIPAL STANDARDS PART 4. PROVIDE 600mm MIN COVER TO ALL SERVICES.
4. ALL PIPE WORK UNDER TRAFFICABLE AREAS INCLUDING DRIVEWAYS IS TO BE FILLED WITH FCR.
5. LOT CONNECTIONS SHALL BE DN150 UPVC UNO MINIMUM PIPE CLASS TO BE CLASS SN4, PIPE UNDER ROADS TO BE CLASS SN8.
6. ALL MAINTENANCE HOLES DEEPER THAN 1m FROM FINISHED SURFACE LEVEL TO MAINTENANCE HOLE BASE TO BE FITTED WITH APPROVED STEP IRONS.
7. IPWEA STANDARD DRAWINGS REFERENCED ARE THE MOST RECENT DRAWING SET UNO

LEGEND

- EX SW EXISTING SW MAIN
- SW PROPOSED SW

1 STORMWATER PLAN

Scale: 1:200



Oramatis Studio

212 Elizabeth Street, Hobart
p: (03) 6286 8440
e: admin@oramatis.com.au
© Oramatis Studio PTY LTD
Document Set ID: 3650109
Version: 1, Version Date: 05/08/2026

GENERAL NOTES

Contractors shall verify all dimensions and levels on site before commencement of any work. Contractors shall clarify any discrepancies before commencement of any work. Drawings must not be scaled.
Contractors shall submit samples and shop drawings before commencing work. All works shall be carried out in accordance with the Building Code of Australia and all relevant Australian Standards. These designs, plans, specifications and the copyright herein are the property of Oramatis Studio and must not be used, reproduced or copied wholly or in part without the written permission of Oramatis Studio.

PROJECT

33 FOURTH AVE., WEST MOONAH

REVISION

DATE

05/05/2025

SCALE

As shown @ A3

PAGE

C05

NORTH



CLIENT

S & S

PROJECT ID

2516

CHECKED BY

D. DJEKANOVIC

DRAWN BY

C. Li

DRAWING

STORMWATER PLAN

STORMWATER FLOW CALCULATION

Pre-development				
	A(m ²)	C	Flow(Q _{pre} =CA ⁵ I ₂₀ /3600) L/s	5I ₂₀ =85.3mm/h Design Rainfall Data System (2016)
SITE	1289	0.55	16.80	
C=0.55 FOR DEVELOPED RESIDENTIAL AREA				
Post-development				
	A(m ²)	C	Flow(Q _{post} =CA ⁵ I ₂₀ /3600) L/s	5I ₂₀ =85.3mm/h Design Rainfall Data System (2016)
UNIT 1 ROOF	147	0.9	3.13	
UNIT 2 ROOF	157	0.9	3.35	
UNIT 3 ROOF	170	0.9	3.63	
DRIVEWAY	347	0.9	7.40	
GRASS	468	0.4	4.44	
T otal			21.94	
OSD SCHEDULE				
	Vol (L)	Ofirce	Flow Q _{post} (L/s) (AVERAGE)	
UNIT 1 TANK	1500	25	0.98	
UNIT 2 TANK	1500	25	0.98	
UNIT 3 TANK	1500	25	0.98	
TOTAL FLOW AFTER OSD	4500		2.94	
AFTER OSD FLOW				
	A(m ²)	C	Flow(Q _{post} =CA ⁵ I ₂₀ /3600) L/s	
DRIVEWAY	347	0.9	7.40	
GRASS	468	0.4	4.44	
OSD OUTLET			2.94	
TOTAL			14.78	< Qpr

ORIFICE SCHEDULE				
	Orifice d(mm)	Water Head h(m)	Flow Q (L/s)	Q=Cd*A*(2gh) 1/2
1500L SLIMLINTANK	25	1.6	1.65	

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. :
PLN-26-137

DATE RECEIVED: 10.08.26

UNIT 1 TANK OSD SIZE CALCULATION

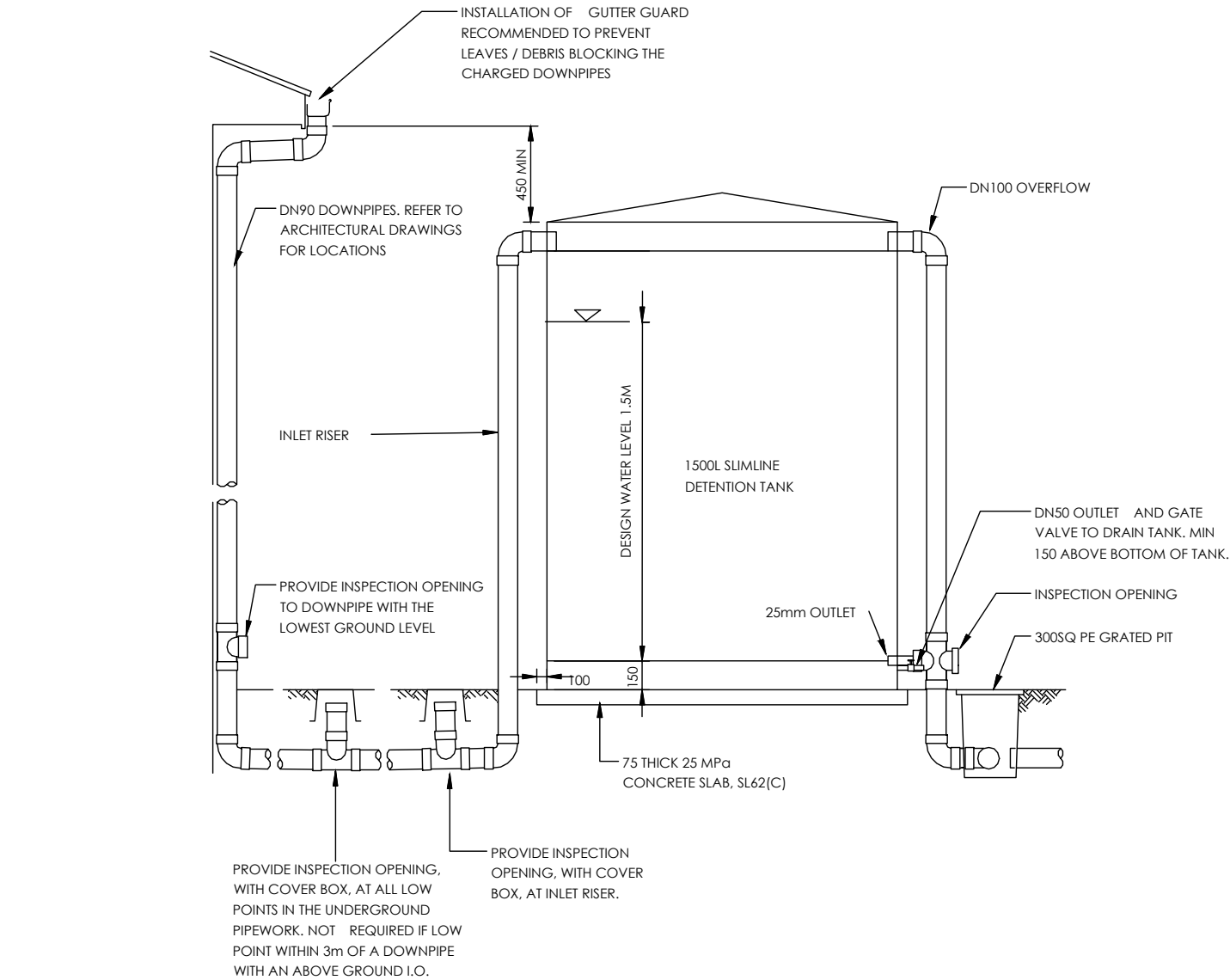
Storm Duration (min)	Rainfall intensity(mm/h) 5% AEP (I)	Q(L/s) A*CI/3600	Q out (REFER TO 1500L SPEC.)	Volume(L) (Q-Qout)t
5	85.9	3.16	0.98	653.0
10	64.6	2.37	0.98	836.4
15	52.4	1.93	0.98	851.1
20	44.6	1.64	0.98	790.9
25	39.1	1.44	0.98	685.4
30	35.1	1.29	0.98	557.9
45	27.4	1.01	0.98	72.8
60	23	0.85	0.98	

UNIT 2 TANK OSD SIZE CALCULATION

Storm Duration (min)	Rainfall intensity(mm/h) 5% AEP (I)	Q(L/s) A*CI/3600	Q out (REFER TO 1500L SPEC.)	Volume(L) (Q-Qout)t
5	85.9	3.37	0.98	717.5
10	64.6	2.54	0.98	933.3
15	52.4	2.06	0.98	969.0
20	44.6	1.75	0.98	924.7
25	39.1	1.53	0.98	832.0
30	35.1	1.38	0.98	715.8
45	27.4	1.08	0.98	257.7
60	23	0.90	0.98	

UNIT 3 TANK OSD SIZE CALCULATION

Storm Duration (min)	Rainfall intensity(mm/h) 5% AEP (I)	Q(L/s) A*CI/3600	Q out (REFER TO 1500L SPEC.)	Volume(L) (Q-Qout)t
5	85.9	3.65	0.98	801.2
10	64.6	2.75	0.98	1059.3
15	52.4	2.23	0.98	1122.3
20	44.6	1.90	0.98	1098.6
25	39.1	1.66	0.98	1022.6
30	35.1	1.49	0.98	921.2
45	27.4	1.16	0.98	498.2
60	23	0.98	0.98	



1 WATER TANK DETAIL NTS.

GLENORCHY CITY COUNCIL
PLANNING SERVICES

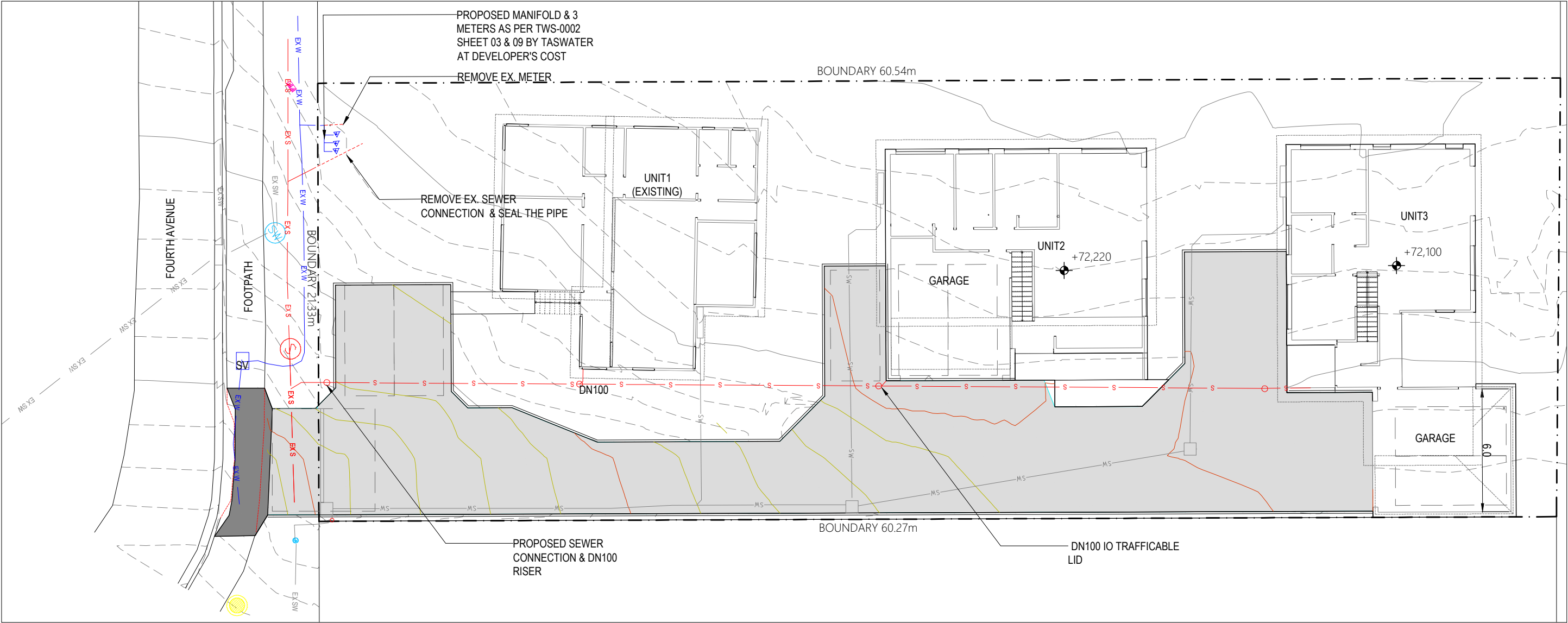
APPLICATION No. :
PLN-26-137

DATE RECEIVED: 10.08.26

1500L SLIMLINE TANK FLOW SCHEDULE (25mm ORIFICE, FLOW Q=Q=Cd*A*(2gh) ^{1/2})							
WATER HEAD (m)			TANK BASE AREA(m ²)	AVERAGE FLOW Q(L/S)	VOLUME (L)	TIME TO DRAIN(s)	TIME TO DRAIN(MIN)
0	~	0.1	0.98	0.426	98	230	4
0.1	~	0.2	0.98	0.602	98	163	3
0.2	~	0.3	0.98	0.738	98	133	2
0.3	~	0.4	0.98	0.852	98	115	2
0.4	~	0.5	0.98	0.952	98	103	2
0.5	~	0.6	0.98	1.043	98	94	2
0.6	~	0.7	0.98	1.127	98	87	1
0.8	~	0.9	0.98	1.278	98	77	1
0.9	~	1	0.98	1.347	98	73	1
1	~	1.1	0.98	1.412	98	69	1
1.1	~	1.2	0.98	1.475	98	66	1
1.2	~	1.3	0.98	1.535	98	64	1
1.3	~	1.4	0.98	1.593	98	62	1
1.4	~	1.5	0.98	1.649	98	59	1
TOTAL				0.984	1372	1395	23

MAINTENANCE ACTION	FREQUENCY	RESPONSIBILITY	PROCEDURE
DISCHARGE CONTROL PIT			
INSPECT AND REMOVE ANY BLOCKAGE OF ORIFICE	SIX MONTHLY	MAINTENANCE CONTRACTOR	REMOVE GRATE ON TANK TO INSPECT ORIFICE.
CHECK ORIFICE DIAMETER CORRECT AND RETAINS SHARP EDGE.	FIVE YEARLY	MAINTENANCE CONTRACTOR	COMPARE ORIFICE DIAMETER TO APPROVED DESIGN AND ENSURE ORIFICE IS NOT PITTED OR DAMAGED.
INSPECT OVERFLOW AND REMOVE ANY BLOCKAGE	SIX MONTHLY	OWNER	REMOVE GRATE AND OPEN COVER TO VENTILATE UNDERGROUND STORAGE IF PRESENT. ENSURE OVERFLOW OUTLET IS CLEAR OF BLOCKAGES.
INSPECT DISCHARGE PIT SUMP AND REMOVE ANY SEDIMENT/SLUDGE	SIX MONTHLY	OWNER	REMOVE GRATE AND SCREEN. REMOVE SEDIMENT/SLUDGE BUILD UP AND CHECK ORIFICE AND OUTLET VALVE ARE CLEAR.
INSPECT OUTLET PIPE AND REMOVE ANY BLOCKAGE	SIX MONTHLY	MAINTENANCE CONTRACTOR	REMOVE GRATE AND SCREEN. VENTILATE UNDERGROUND STORAGE IF PRESENT. CHECK ORIFICE AND REMOVE ANY BLOCKAGES IN OUTLET PIPE. FLUSH OUTLET PIPE TO CONFIRM IT DRAINS FREELY. CHECK FOR SLUDGE/DEBRIS.

IMPORTANT
DRAWINGS MUST BE
PRINTED & READ IN
COLOUR



**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-26-137

DATE RECEIVED: 10.08.26

LEGEND

- S

PROPOSED SEWER
- EX W

EXISTING TASWATER WATER MAIN
- EX S

EXISTING TASWATER SEWER MAIN

1

SEWER & WATER PLAN

Scale: 1:200



Oramatis Studio

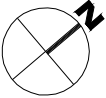
212 Elizabeth Street, Hobart
p: (03) 6286 8440
e: admin@oramatis.com.au
© Oramatis Studio PTY LTD

GENERAL NOTES

Contractors shall verify all dimensions and levels on site before commencement of any work. Contractors shall clarify any discrepancies before commencement of any work. Drawings must not be scaled.

Contractors shall submit samples and shop drawings before commencing work. All works shall be carried out in accordance with the Building Code of Australia and all relevant Australian Standards. These designs, plans, specifications and the copyright herein are the property of Oramatis Studio and must not be used, reproduced or copied wholly or in part without the written permission of Oramatis Studio.

PROJECT	REVISION	DATE	SCALE
33 FOURTH AVE., WEST MOONAH		05/05/2025	As shown @ A3
CLIENT	PROJECT ID	CHECKED BY	DRAWN BY
S & S	2516	D. DJEKANOVIC	C. Li

PAGE	NORTH
C08	
DRAWING	
SEWER & WATER PLAN	

Print Date: 7 August 2026, 9:39 am