

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-25-340
PROPOSED DEVELOPMENT:	Single Dwelling and Secondary Residence with access via 106 Black Snake Road
LOCATION:	104 Black Snake Road Granton 106 Black Snake Road Granton
APPLICANT:	Studio Rad
ADVERTISING START DATE:	25/09/2026
ADVERTISING EXPIRY DATE:	09/10/2026

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **09/10/2026**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

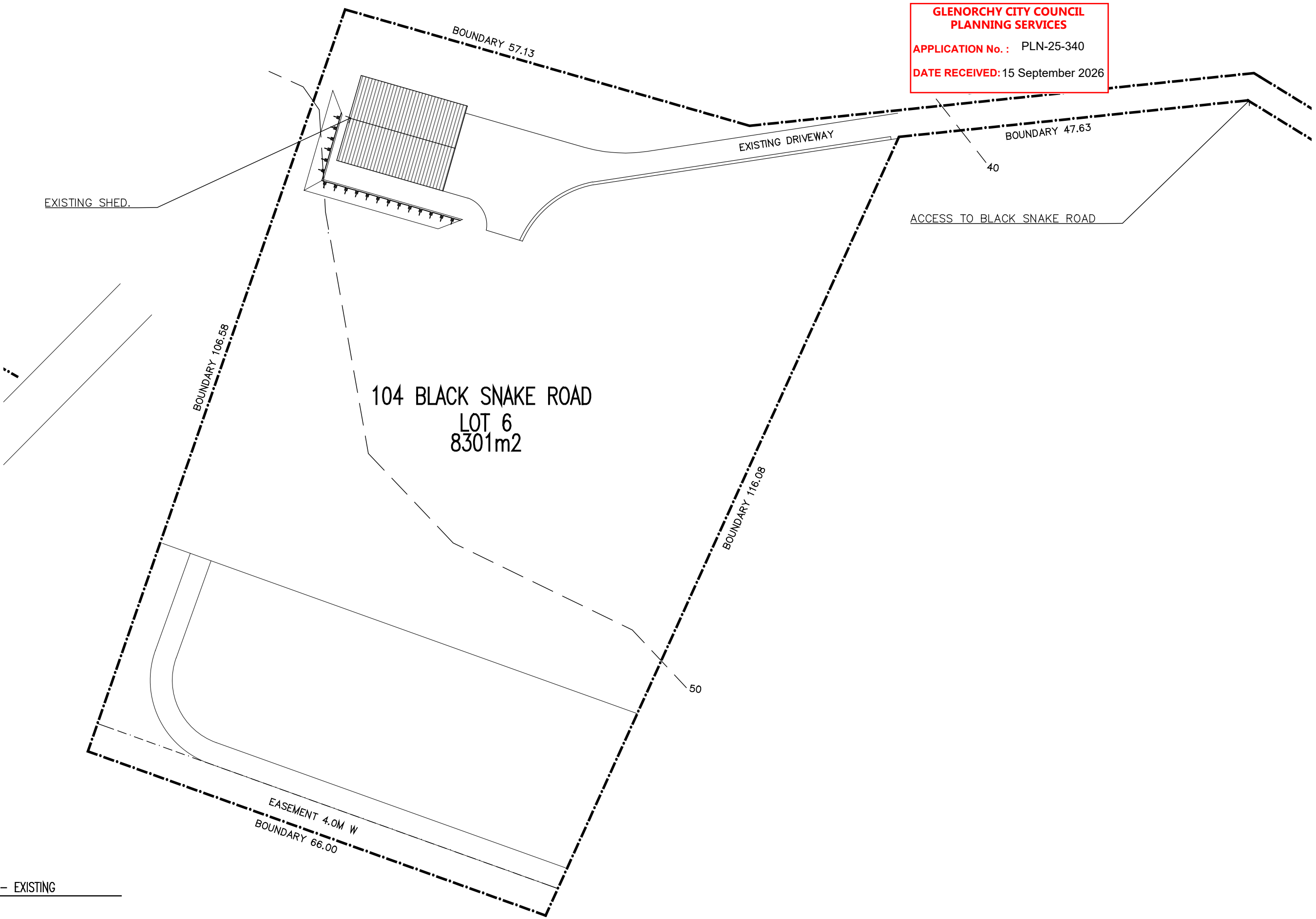
Representations must be received by no later than 11.59 pm on **09/10/2026**, or for postal and hand delivered representations, by 5.00 pm on **09/10/2026**.

DESIGN DETAILS		
TITLE REFERENCE		
VOLUME/CERTIFICATE FOLIO	179544/ 6	
PID	9758727	
FLOOR AREAS		
EXISTING SITE AREA	8301	m ²
EXISTING FLOOR AREA (SHED)	180	m ²
PROPOSED FLOOR AREA	267	m ²
PROPOSED ROOFED AREA	353	m ²
TOTAL FLOOR AREA	447	m ²
DESIGN WIND CLASSIFICATION	N3	
SOIL CLASSIFICATION	H-1 (TBC)	
CLIMATE ZONE	7	
BAL RATING	29	
ALPINE AREA	N/A	
CORROSION ENVIRONMENT	C3	
OTHER HAZARDS	N/A	

DRAWING SCHEDULE – ARCHITECTURAL			
		.	.
DRAWING NUMBER	TITLE		
A00	Cover Sheet & Location Plan		
EX-01	Site Plan – Existing		
A01	Site Access Plan – Proposed		
A02	Site Plan – Proposed		
A03	Site Drainage Plan – Proposed		
A04	Floor Plan– Proposed		
A08	Roof Plan– Proposed		
EX.02	Floor Plan – Existing Shed/Dwelling		
EX.B01	ELEVATIONS – Existing Shed/Dwelling		
EX.B02	ELEVATIONS – Existing Shed/Dwelling		
B01	Elevations – Proposed		



LOCATION PLAN
N/A



GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-25-340

DATE RECEIVED: 15 September 2026

SITE PLAN- EXISTING
1:500

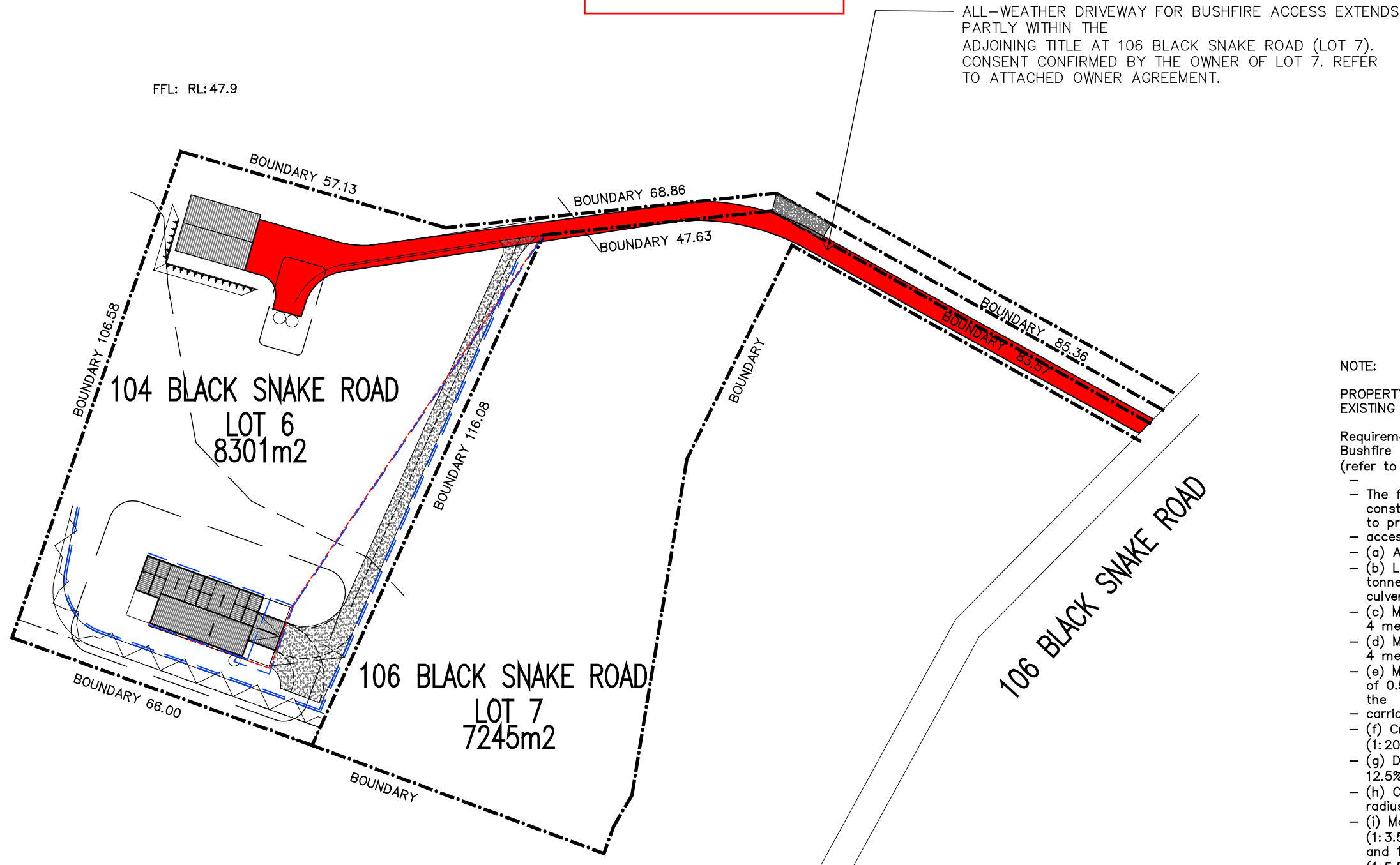
RAD
LUTRUWITA/TASMANIA
rowbottomarchitecture@gmail.com
0 4 3 9 8 4 9 4 3 3

PROJECT
NEW RESIDENTIAL
104 BLACK SNAKE ROAD
GRANTON , TAS 7030
CLIENT
GENA & SCOTT MOLES

TITLE
SITE PLAN - EXISTING

REV. No.	DESCRIPTION	DATE
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DRAWING No. EX-01		REVISION No. -	
	DATE	15/09/2026	
	SCALE	1: 500	
	PROJECT CODE	2505	
	APPROVAL	DEVELOPMENT APPLICATION	
Figured dimensions take precedence to scale readings. Verify all dimensions on site. Report any discrepancies to the Architect for decision before proceeding with the work.			
0	1	3	5 7M



NOTE:

PROPERTY ACCESS FOR BUSHFIRE VIA EXISTING ACCESS & DRIVEWAY.

Requirements for Property Access – Bushfire (refer to BUSHFIRE HAZARD REPORT)

- The following design and construction requirements apply to property access:
- (a) All-weather construction;
- (b) Load capacity of at least 20 tonnes, including for bridges and culverts;
- (c) Minimum carriageway width of 4 metres;
- (d) Minimum vertical clearance of 4 metres;
- (e) Minimum horizontal clearance of 0.5 metres from the edge of the carriageway;
- (f) Cross falls of less than 3° (1:20 or 5%);
- (g) Dips less than 7° (1:8 or 12.5%) entry and exit angle;
- (h) Curves with a minimum inner radius of 10 metres;
- (i) Maximum gradient of 15° (1:3.5 or 28%) for sealed roads, and 10° (1:5.5 or 18%) for unsealed roads; and
- (j) Terminate with a turning area for fire appliances provided by one of the following:
 - (i) A turning circle with a minimum outer radius of 10 metres;
 - (ii) A property access encircling the building; or
 - (iii) A hammerhead “T” or “Y” turning head 4 metres wide and 8 metres long

SITE PLAN– PROPOSED
1:500

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TITLE
SITE PLAN – PROPOSED ACCESS

REV. No.	DESCRIPTION	DATE
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DRAWING No. A01		REVISION No. –
DATE	15/09/2026	
SCALE	1:1000	
PROJECT CODE	2505	
APPROVAL	DEVELOPMENT APPLICATION	

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Document Set ID: 3668427
Version: 1, Version Date: 22/09/2026

EXISTING SHED REFER.
APPENDED PLANS FOR
DRAINAGE/STORMWATER DETAIL..

EXISTING TURNING AREA, HARDSTAND AND
FIRE FIGHTING TANKS.
REF. BUSHFIRE HAZARD MANAGEMENT REPORT
AND PLAN FOR APPROX SPECIFICATION..

GLENORCHY CITY COUNCIL
PLANNING SERVICES

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Water course zone.
To be sealed with an
appropriate hardstand
surface. NOM 13m long as shown.

EXISTING STORM WATER, SEWER AND POWER
CONNECTION POINT.

GULLY PIT (GP) INSTALLED AT
TERMINATION OF TABLE DRAIN
TO HOUSE CONNECTION POINT

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EXISTING ACCESS & DRIVEWAY.
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Bushfire
(refer to BUSHFIRE HAZARD REPORT)
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10,000Ltr HOLDING TANK WITH 1500Ltr
DETNETION TANK AS OVERFLOW WITH 25mm
ORIFICE FOR SLOW RELEASE.

SITE PLAN- PROPOSED
1:500

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NEW RESIDENTIAL
104 BLACK SNAKE ROAD
GRANTON , TAS 7030
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GENA & SCOTT MOLES

TITLE
SITE PLAN –DRAINAGE/STORMWATER

REV. No. DESCRIPTION DATE

DRAWING No. A03		REVISION No. -	
DATE	15/09/2026		
SCALE	1:500		
PROJECT CODE	2505		
APPROVAL	DEVELOPMENT APPLICATION		

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10	1	3	5	7M
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RAD

LUTRUWITA/TASMANIA

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GENERAL NOTES

BUILDING CLASS: 1A

ALL WORK CARRIED OUT IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA (BCA/NCC), RELEVANT AUSTRALIAN STANDARDS, WRITTEN SPECIFICATIONS, AND LOCAL AUTHORITY BY-LAWS AND REGULATIONS. CONDITIONS OF THE PLANNING PERMIT FORM PART OF THE CONTRACT. THE CONTRACTOR IS RESPONSIBLE FOR SATISFYING CONDITIONS.

DO NOT SCALE.DIMENSIONS ARE TO FINISHED SURFACES UNLESS OTHERWISE NOTED. DIMENSIONS IN MILLIMETERS UNLESS OTHERWISE NOTED.VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORK WITH THE ARCHITECT.

ALL DRAWINGS SHALL BE READ IN CONJUNCTION WITH SPECIFICATIONS AND ENGINEERS/SPECIALIST DOCUMENTATION. ANY DISCREPANCIES SHALL BE REFERRED TO THE ARCHITECT.

- LEGEND – PLAN
- WALLS:
- NEW TIMBER-FRAMED WALL
- NEW MASONRY WALL
- COL

COLUMN
- D

DOOR
- DP

DOWNPIPE
- EX

EXISTING
- W

WINDOW
- FITTINGS & EQUIPMENT:
- BA

BATH
- CT

COOKTOP
- CUPB'D

CUPBOARD
- DR

DRYER
- DW

DISHWASHER
- FP

FIREPLACE
- FR

FRIDGE
- OV

OVEN
- RH

RANGEHOOD
- S

SINK
- SHR

SHOWER
- SL

SKYLIGHT
- TR

LAUNDRY TROUGH
- VB

VANITY BASIN
- WC

TOILET
- WM

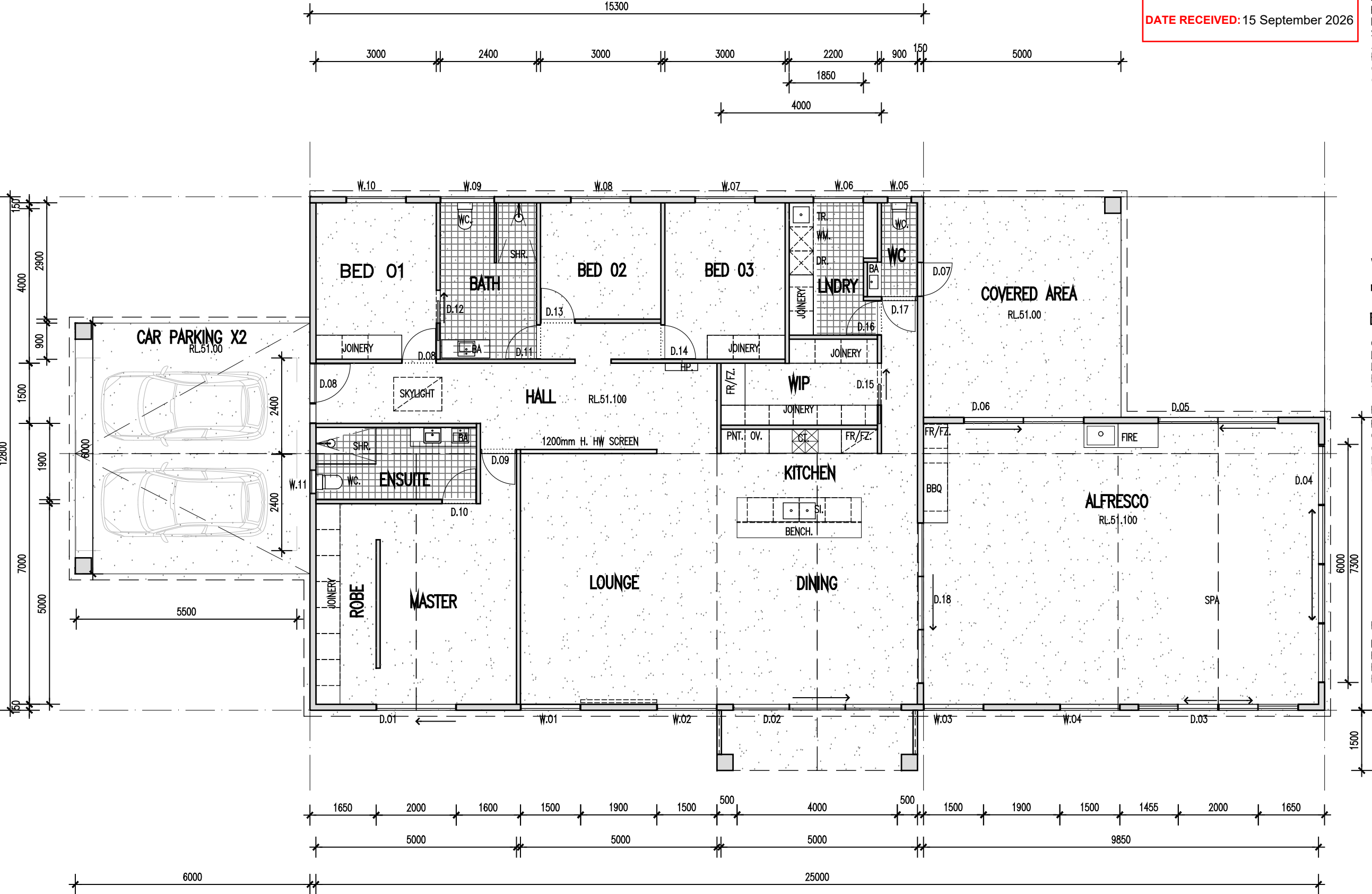
WASHING MACHINE
- FLOOR FINISHES:
- F.CO

CONCRETE – FINISH TBC
- F.CPT

WOOL CARPET + UNDERLAY
- F.CT

CERAMIC TILE
- F.TBD

TIMBER VNR BOARD – FLOATING FLOOR



FLOOR PLAN- PROPOSED
1:100

PROJECT

NEW RESIDENTIAL

104 BLACK SNAKE ROAD

GRANTON , TAS 7030

CLIENT

GENA & SCOTT MOLES

TITLE

FLOOR PLAN – PROPOSED

REV. No.	DESCRIPTION	DATE	DRAWING No.	REVISION No. –
			A04	
			DATE	15/09/2026
			SCALE	1:100
			PROJECT CODE	2505
			APPROVAL	DEVELOPMENT APPLICATION

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7M

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LEGEND – ROOF PLAN

R.CO ROOF SHEETING – CUSTOM ORB OR SIMILAR.. COLOUR BY CLEINT.TO MATCH EXISTING.

R.CH CHIMNEY
CHS 90Ø CHS
COL COLUMN
R.DP DOWNPIPE 90Ø
R.SK SKYLIGHT
R.EG EAVES GUTTER
R.FL METAL FLASHING

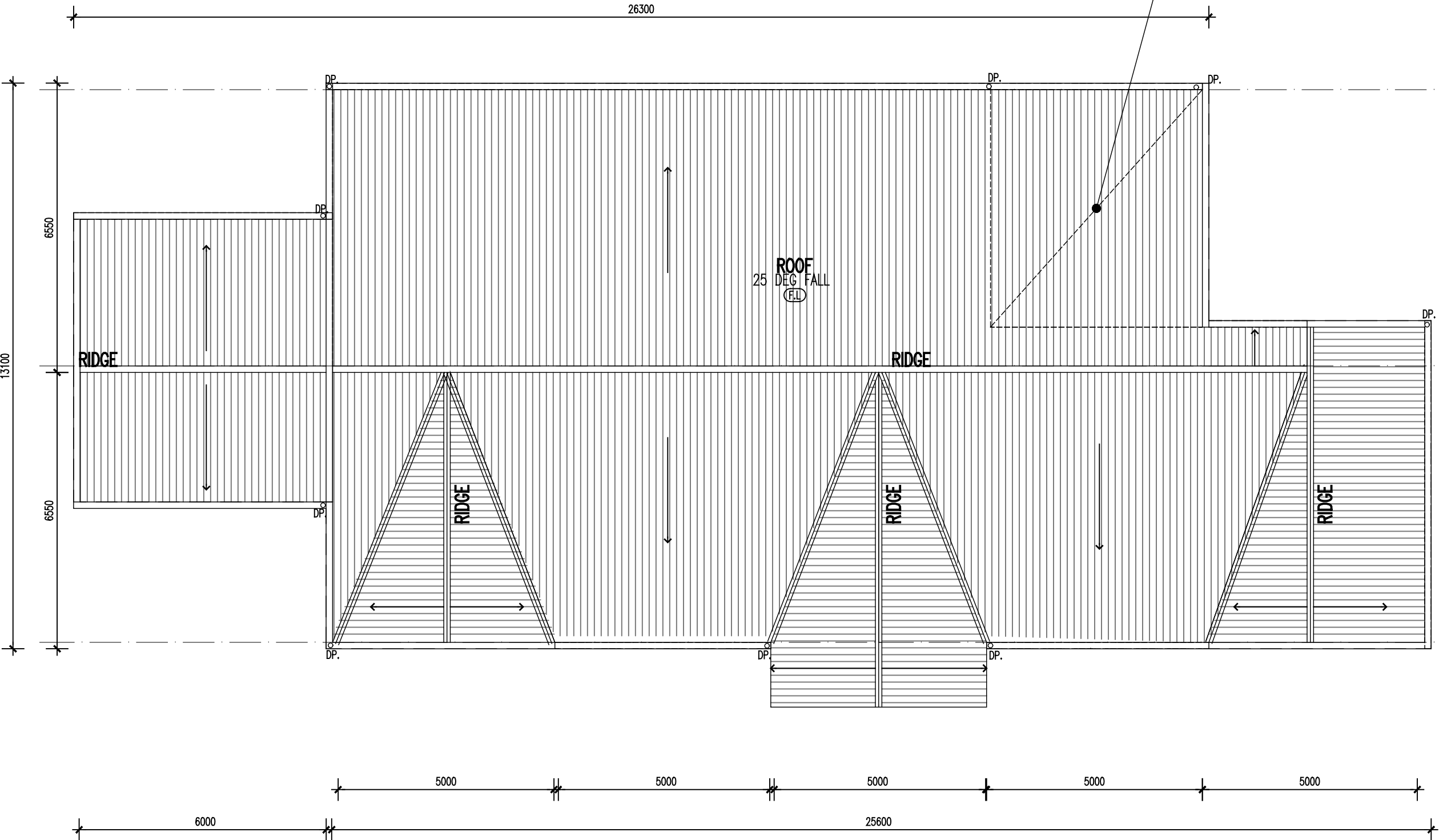
DOWNPIPES GENERALLY TO MATCH ROOFING COLOUR REFER TO PLAN AND DETAILS FOR LOCATIONS AND DETAILS

ALL STEEL ROOF SHEETING IS TO BE LYSAGHT 'TRIMDEK'. COLORBOND COLOUR TO BE CONFIRMED BY CLIENT. FLASHING AND TRIMS TO MATCH.

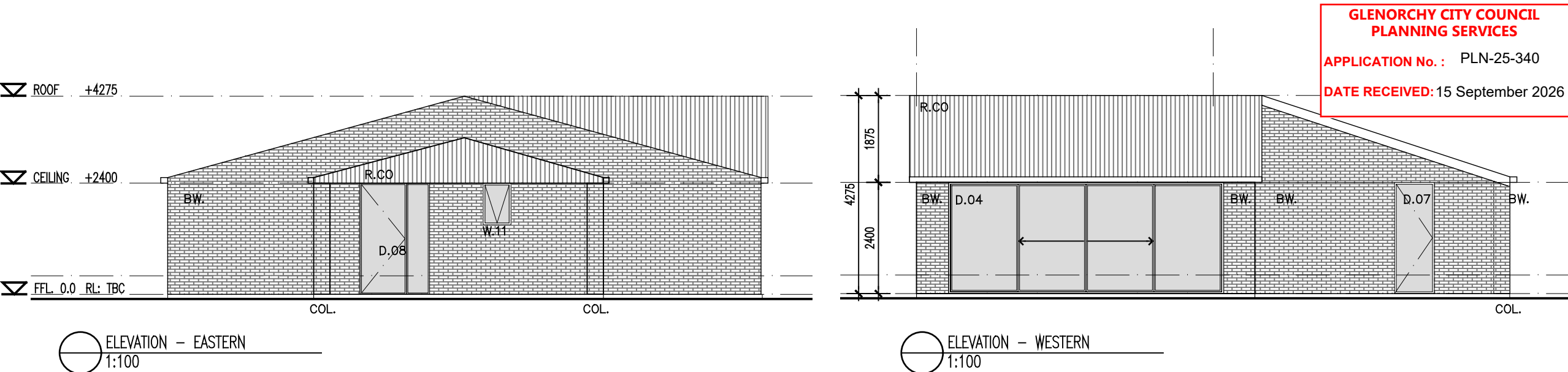
CONTRACTOR IS TO ALLOW FOR ALL FLASHINGS, TRIMS, ACCESSORIES REQUIRED TO MEET PERFORMANCE REQUIREMENTS AND UNDERTAKE THE INTENT OF THE WORKS.

CONTRACTOR IS TO ALLOW FOR ALL TAPES, ADHESIVES, SOLVENTS, SEALANTS, FLASHINGS AND ACCESSORIES REQUIRED TO MEET PERFORMANCE REQUIREMENTS AND UNDERTAKE THE INTENT OF THE WORKS.

BEFORE "ANY" VENTS OR DUCTS ARE TERMINATED AT THE ROOF CONFIRM LOCATION AND DETAIL WITH ARCHITECT.



ROOF PLAN – PROPOSED
1:100



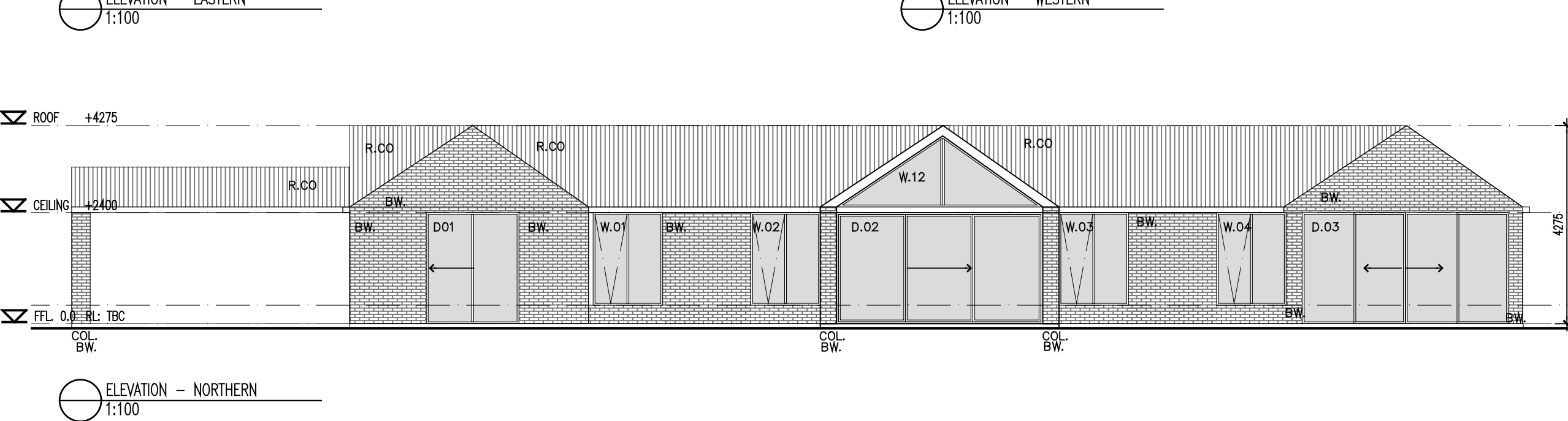
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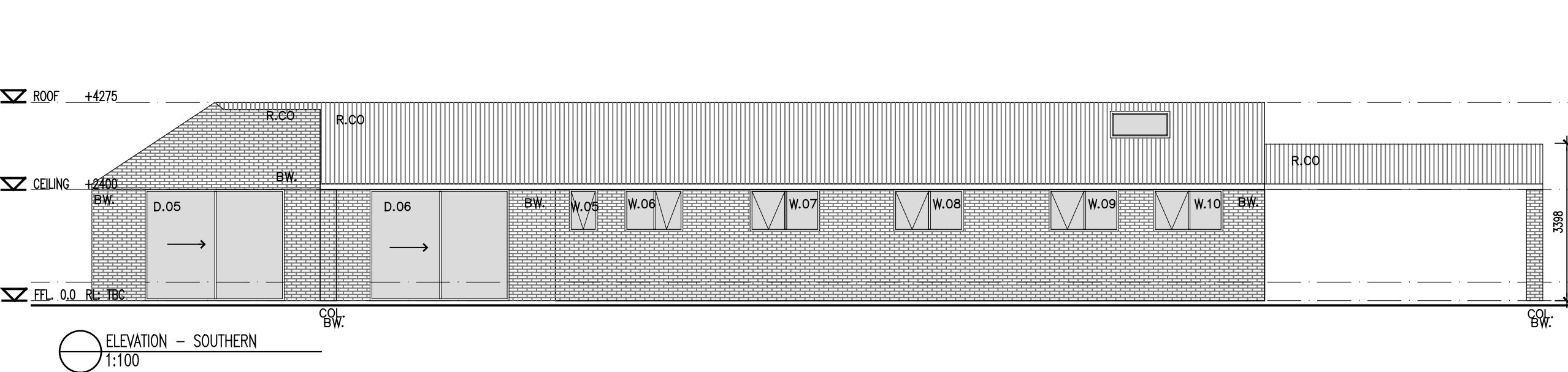
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LEGEND – ELEVATIONS:

D DOOR
DP DOWNPIPE – TO MATCH.
CONC CONCRETE
GL GLASS – CLEAR
NGL NATURAL GROUND LINE
W WINDOW – (FRAME COL'R T' MTCH)
COL COLUMN – BRICK.(TO MATCH)
BW BRICK – NATURAL –RED/BROWN
R.CO COR. METAL SHEET–CUSTOM ORB – GREEN/GREY (APPROX COLOURBOND COLOUR TO BE CONFIRMED)
/
/



DRAINAGE SCHEDULE

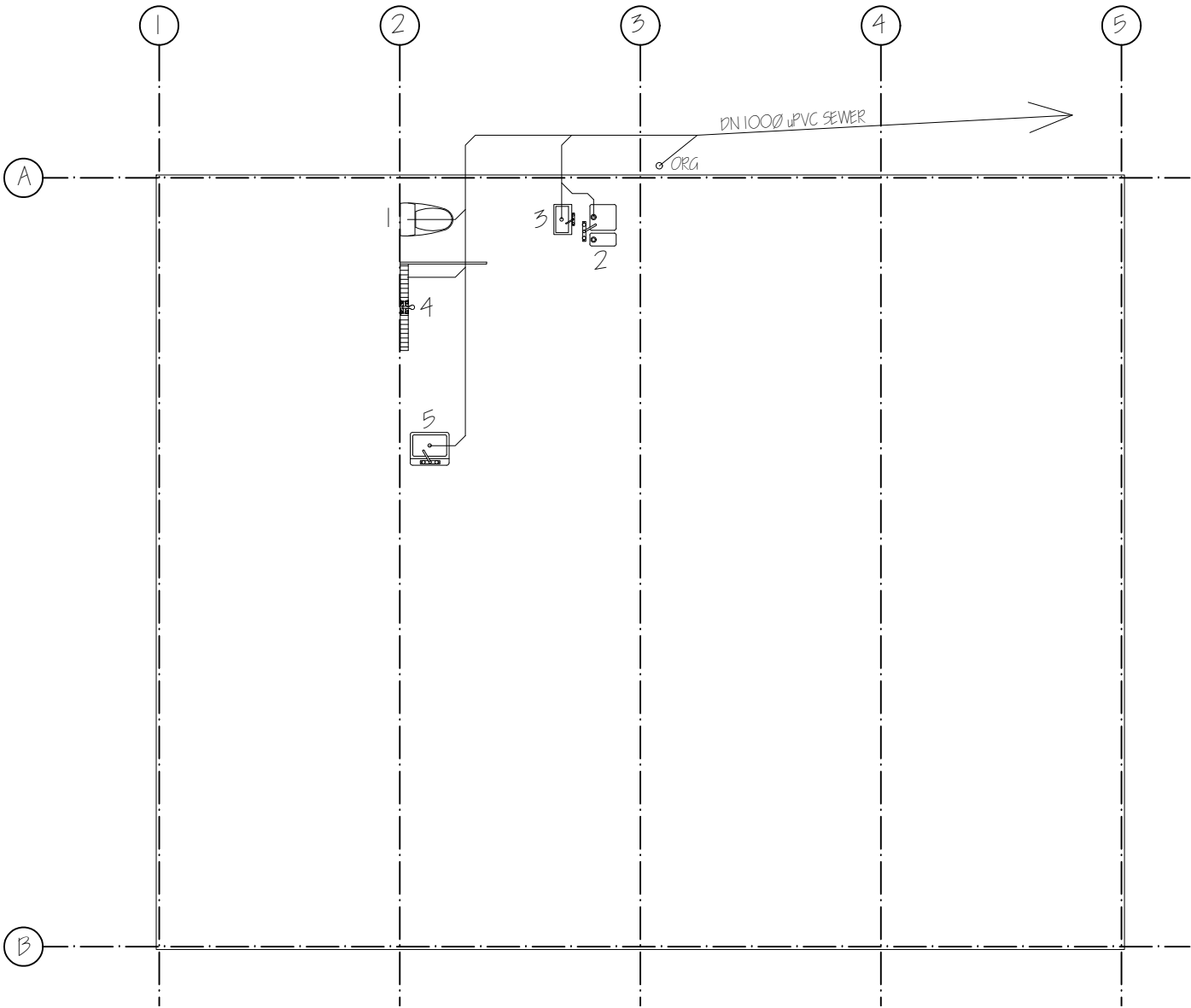
- 1 = WC
- 2 = SINK
- 3 = VANITY BASIN - 50mm vent to air
- 4 = SHOWER
- 5 = TROUGH

NOTE; ALL PLUMBING AND DRAINAGE IS TO BE CARRIED OUT IN ACCORDANCE WITH AS/ NZS 3500.2:2018 AND AS DIRECTED BY COUNCIL AUTHORITIES. THE BUILDER SHALL CONTACT THE ENGINEER SHOULD ANY UNSTABLE SOIL CONDITIONS OCCUR FOR DRAINS INSTALLED IN OTHER THAN STABLE SOIL.

NOTE; CONSTRUCTION REQUIREMENTS TO BAL 29 & IN ACCORDANCE WITH THE BAL REPORT

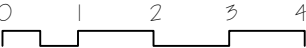
WINDOW & DOOR SCHEDULE

	HEIGHT	WIDTH	DESCRIPTION
W1	1500	1500	AWNING
W2	1000	1000	AWNING
W3	1500	1500	AWNING
D2	2100	900	GLAZED PANEL ENTRY DOOR
D3	2900	4500	GARAGE DOOR
D4	2100	2700	GARAGE DOOR



PROPOSED DRAINAGE FLOOR PLAN

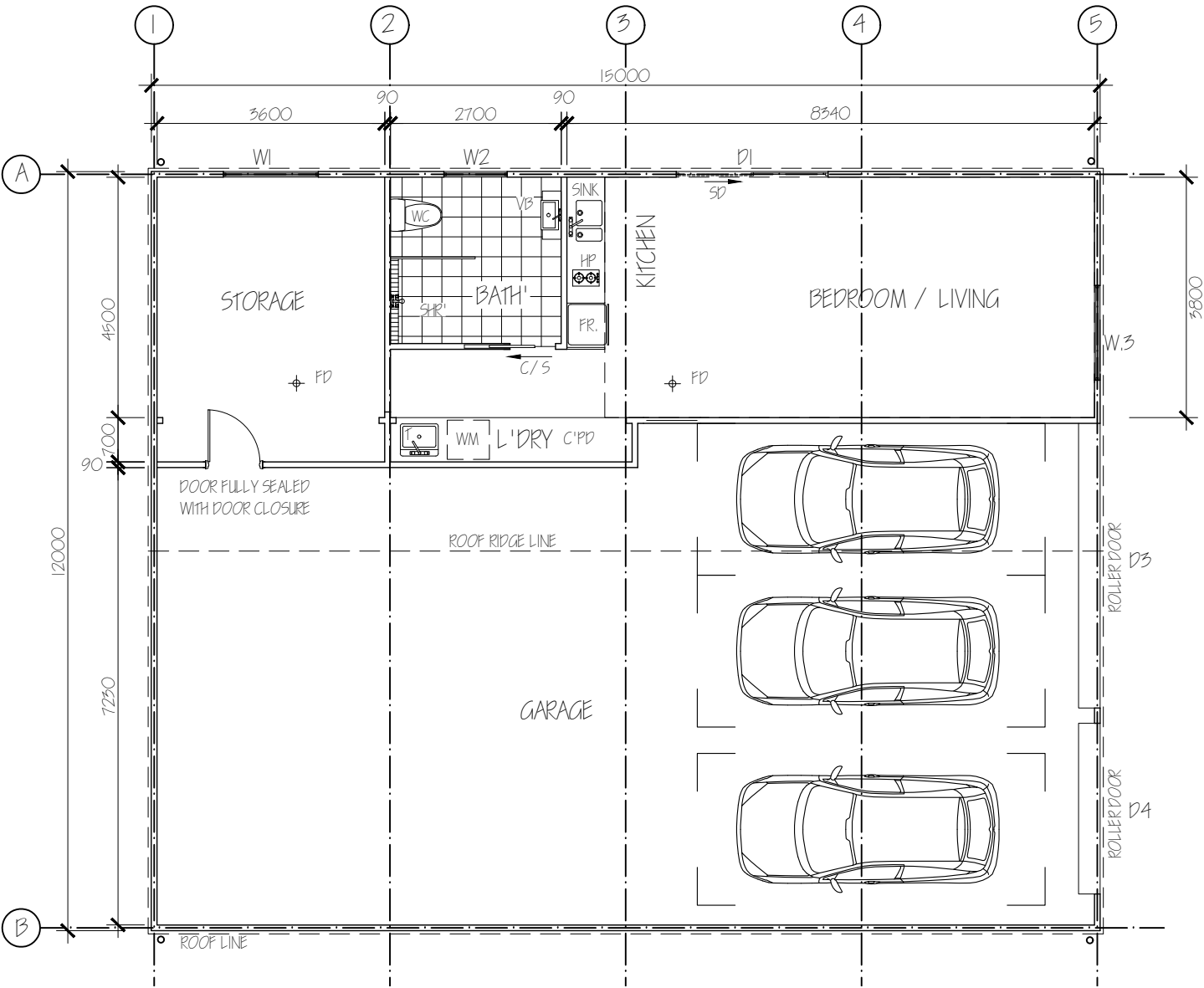
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NOTE:
SHED CONSTRUCTION DETAILS BY OTHERS.

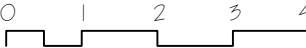
EXTERNAL COLOURS - "MANGROVE" - LRV 17%

NOTE; HABITABLE AREA WITH 90X35 MGPI/O THROUGHOUT WITH EXTERNAL WALL LINING FIXED TO BATTENS & PERMEABLE VAPOUR WRAP WITH MIN' R2.5 WALL BATTS, PB CEILINGS SUSPENDED TO 2700mm THROUGHOUT WITH R5.0 CEILING INSULATION TO HABITABLE ZONES. WET AREA INSTALLATION TO NCC STANDARDS & VENTILATION / FIRE DETECTION IN ACCORDANCE WITH RELEVANT STANDARDS.



PROPOSED FLOOR PLAN

1:100



AREA:	
Habitable Area	= 48m ²
Storage	= 17m ²
Shed/ Garage	= 115.0m ²
Total	= 180.0m ²



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NEW RESIDENTIAL
104 BLACK SNAKE ROAD
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CLIENT
GENA & SCOTT MOLES

TITLE
EXISTING SHED/ANCILLARY FLOOR PLAN

REV. No. DESCRIPTION DATE

DRAWING No.	EX-02	REVISION No. "	
DATE	15/09/2026		
SCALE	1:100		
PROJECT CODE	2505		
APPROVAL	DEVELOPMENT APPLICATION		

Figured dimensions take precedence to scale readings. Verify all dimensions on site. Report any discrepancies to the Architect for decision before proceeding with the work.



SOUTH ELEVATION 1:100

0 1 2 3 4

WALL CLADDING;
SPANDEK WALL CLADDING AS NOTED INSTALLED TO MANUFACTURE'S SPECIFICATIONS TO GARAGE ZONE & ON FURRING CHANNEL / BATTEN SYSTEM AT 600 CTRS. THROUGHOUT HABITABLE ZONE. PROVIDE MIN R2.5 BULK INSULATION THROUGHOUT EXTERNAL WALLS, PERMEABLE VAPOUR WRAP IS TO BE PLACED EXTERNALLY TO THE STUD FRAME. WALL CLADDING ABOVE CEILING LEVEL - INSULATION NOT REQUIRED

GLAZING NOTE;
DOUBLE GLAZED POWDER COATED ALUMINIUM FRAMED WINDOWS AND DOORS. THE BUILDER OR WINDOW SUPPLIER MUST ENSURE THE MINIMUM AND MAXIMUM VALUES OF THE ENERGY REPORT ARE MET. IF WINDOWS ARE SUPPLIED WHICH FALL OUTSIDE THESE PARAMETERS, THE HOUSE ENERGY RATING WILL BE AFFECTED.

ELECTRICAL NOTE;
ALL DOWNLIGHTS USED SHALL BE IP44, IC-F INSTALLED IN ACCORDANCE WITH RELEVANT STANDARD

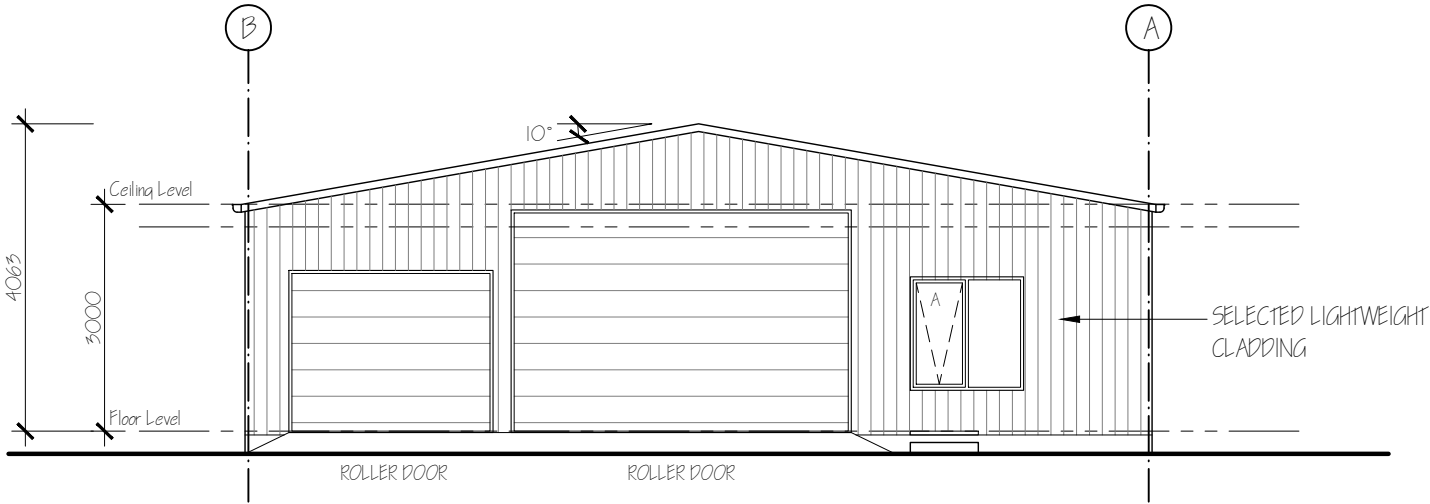
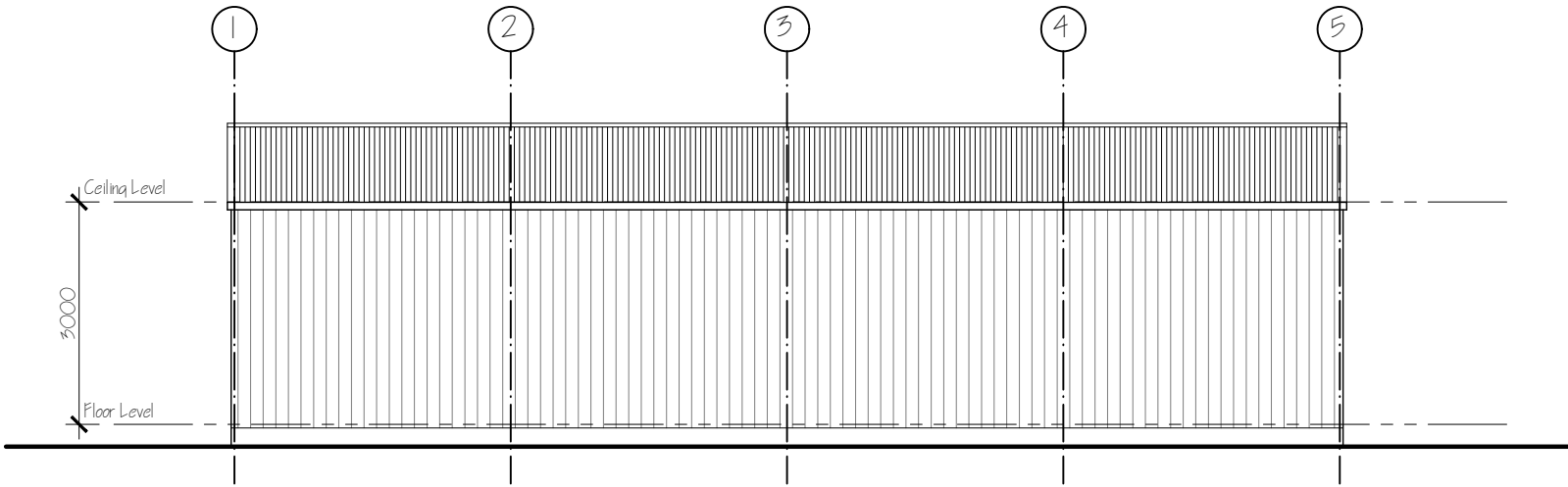
NOTE;
SHED CONSTRUCTION DETAILS BY OTHERS.

EXTERNAL COLOURS - "MANGROVE" LRV - 17%

NOTE; CONSTRUCTION REQUIREMENTS TO BAL 29 & IN ACCORDANCE WITH THE BAL REPORT

EAST ELEVATION 1:100

0 1 2 3 4



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TITLE
EXISTING SHED/ANCILLARY – Elevations

REV. No.	DESCRIPTION	DATE
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DRAWING No.	EX-B01	REVISION No. -
DATE	15/09/2026	
SCALE	1:100	
PROJECT CODE	2505	
APPROVAL	DEVELOPMENT APPLICATION	

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0 1 3 5 7M

NORTH ELEVATION 1:100

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WALL CLADDING;
SPANDEK WALL CLADDING AS NOTED INSTALLED TO MANUFACTURE'S SPECIFICATIONS TO GARAGE ZONE & ON FURRING CHANNEL / BATTEN SYSTEM AT 600 CTRS. THROUGHOUT HABITABLE ZONE + UTILITY ROOM. PROVIDE MIN R2.5 BULK INSULATION THROUGHOUT EXTERNAL WALLS, PERMEABLE VAPOUR WRAP IS TO BE PLACED EXTERNALLY TO THE STUD FRAME. WALL CLADDING ABOVE CEILING LEVEL - INSULATION NOT REQUIRED

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NOTE;
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EXTERNAL COLOURS - "MANGROVE" LRV - 17%

NOTE; CONSTRUCTION REQUIREMENTS TO
BAL 29 & IN ACCORDANCE WITH THE BAL REPORT

WEST ELEVATION 1:100

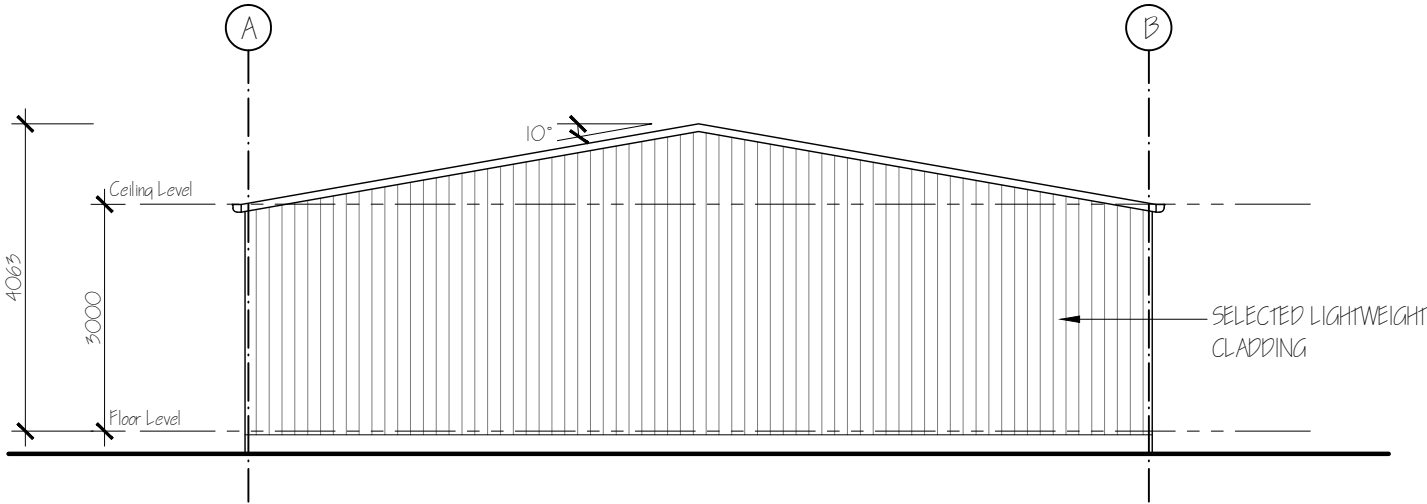
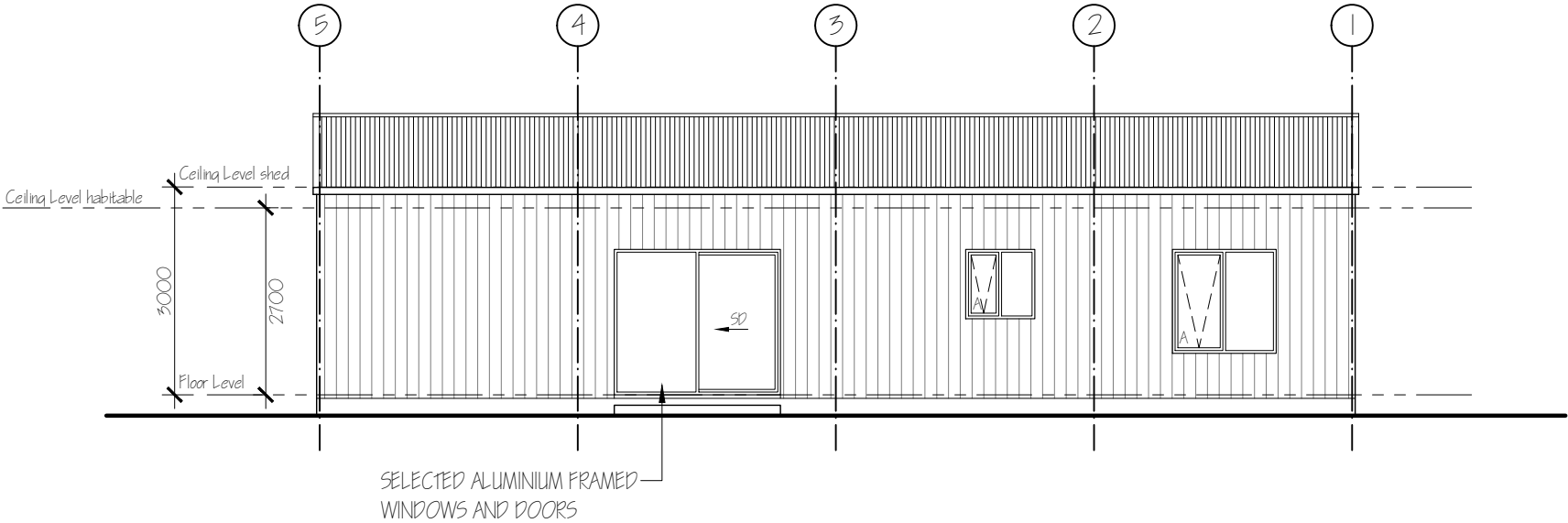
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TITLE
EXISTING SHED/ANCILLARY – Elevations

REV. No.	DESCRIPTION	DATE
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DRAWING No.	EX-B02	REVISION No. -
DATE	15/09/2026	
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