

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-26-203
PROPOSED DEVELOPMENT:	Dwelling
LOCATION:	43 Wallcrest Road Berriedale
APPLICANT:	Cunic Homes
ADVERTISING START DATE:	22/09/2026
ADVERTISING EXPIRY DATE:	06/10/2026

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **06/10/2026**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **06/10/2026**, or for postal and hand delivered representations, by 5.00 pm on **06/10/2026**.



H990 - PROPOSED CLARK & WARD RESIDENCE
43 Wallcrest Road,
BERRIEDALE

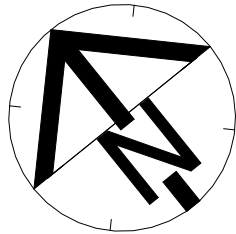
GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-26-203

DATE RECEIVED: 10/09/2026

SHEET		DRAWING TITLE
01	C	SITE PLAN
01a	B	DRAINAGE PLAN
01b	B	PARKING PLAN
02	B	FLOOR PLAN
03	B	ELEVATIONS SHEET 1
03a	B	ELEVATIONS SHEET 2
03b	B	PERSPECTIVE VIEWS

C	Council RFI: Show POS, note ex. footpath and rollover kerb to be unchanged, show fall on existing apron.	3 Sept. 2026	ST	SW	01	Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer:	Client / Project info	Soil Classification: TBC Title Reference: CT182104/30 Floor Areas: 129.20m² Porch / Deck Areas: 26.84m² Wind Speed: TBC Climate Zone: 7 Alpine Zone: N/A Corrosion Environment: Low Certified BAL: TBC Designed BAL: TBC (Refer to Standard Notes for Explanation)	COVER SHEET		
B	Show fridge box, swap vanity & shower in Ens, increase bathroom window, centre heat pump, change crash barrier to be horizontal, provide additional details on parking bay. Update all relevant plans.	4 Aug. 2026	ST	SW	01 - 03b		ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED CLARK & WARD RESIDENCE 43 Wallcrest Road, BERRIEDALE			H990	
A	Reduce house by 200mm - (Master, WIR, Living). Updated Bathroom/L'dry layout. Increase kitchen size. Update all plans to suit.	30 Apr. 2026	SW	ST	01 - 03					Date	2 April 2026	Sheet
	DA PLAN SET	02 Apr. 2026	SW	ST	01 - 03					Scale		00/03
No.	Amendment	Date	Drawn	Checked	Sheet							



Ground Floor FFL

NOTES:
This plan and associated digital model is prepared for Cunic Homes from a combination of field survey and existing records for the purpose of designing new constructions on the land and should not be used for any other purpose.
The title boundaries as shown on this plan were not marked at the time of the survey and have been determined by plan dimensions only and not by field survey. No measurements or offsets are to be derived between the features on this plan and the boundary layer.
The relationship between the features in this model and the boundary layers cannot be used for any set out purposes or to confirm the position of the title boundaries on site.
Services shown have been located where visible by field survey.
Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services and detailed locations of all services.
This note forms an integral part of the Plan/Data. Any reproduction of this plan/model without this note attached will render the information shown invalid.

GLENORCHY CITY COUNCIL
PLANNING SERVICES
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DATE RECEIVED: 10/09/2026

O.Star
RL (star) = 146.26
RL (gnd) = 146.20

Sewer Conn.
RL (lid) = 148.28
RL (inv) = 147.25

SW Conn.
RL (lid) = 148.30
RL (inv) = 147.27

O.Star
RL (star) = 146.60
RL (gnd) = 146.49

EXPLANATORY NOTES: TASMANIAN PLANNING SCHEME - GLENORCHY CITY COUNCIL		
8.4.3 - Site coverage and private open space for all dwellings		
A1	(a)	Site Coverage: Max. 50% of site = 406.00m² Proposed site coverage (excl. eaves up to 0.6m): 130.10m² (16.02%)

C	3 Sept. 2026	ST
B	4 Aug. 2026	ST
A	30 Apr. 2026	SW
No.	Date	Int.

Amendment changes as per cover sheet

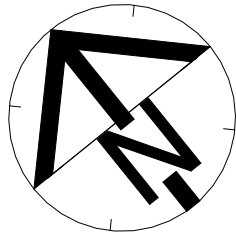
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Designer:
ANOTHER PERSPECTIVE PTY LTD
PO BOX 171
NORTH HOBART
LIC. NO. 685230609 (S. Turvey)
Ph: (03) 6231 4122
Fx: (03) 6231 4166
Email:
info@anotherperspective.com.au

Client / Project info
PROPOSED CLARK & WARD RESIDENCE
43 Wallcrest Road,
BERRIEDALE

Cunic.

SITE PLAN		
Drawn	SW	H990
Date	17 March 2026	Sheet
Scale	1:200	
		01/03



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PLANNING SERVICES

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DRAINAGE LEGEND		
Abbreviation	Fixture	Min. Outlet Size
B	Basin	400
Bth	Bath	400 (incl. trap)
Shr	Shower	400 (Note 3)
S	Sink	500
Tr	Trough	400
WC	Water Closet Pan	1000
d.p.	Downpipe	900
ORG	Overflow Relief Gully	1000
FWG	Floor Waste Gully	650 (Note 2)

----- Sewer Line (1000 UPVC)
(unless noted otherwise)
----- Stormwater Line (1000 UPVC)
(unless noted otherwise)
----- Stormwater Line (1500 UPVC)
(unless noted otherwise)

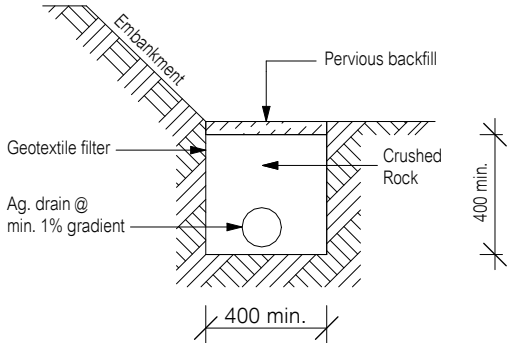
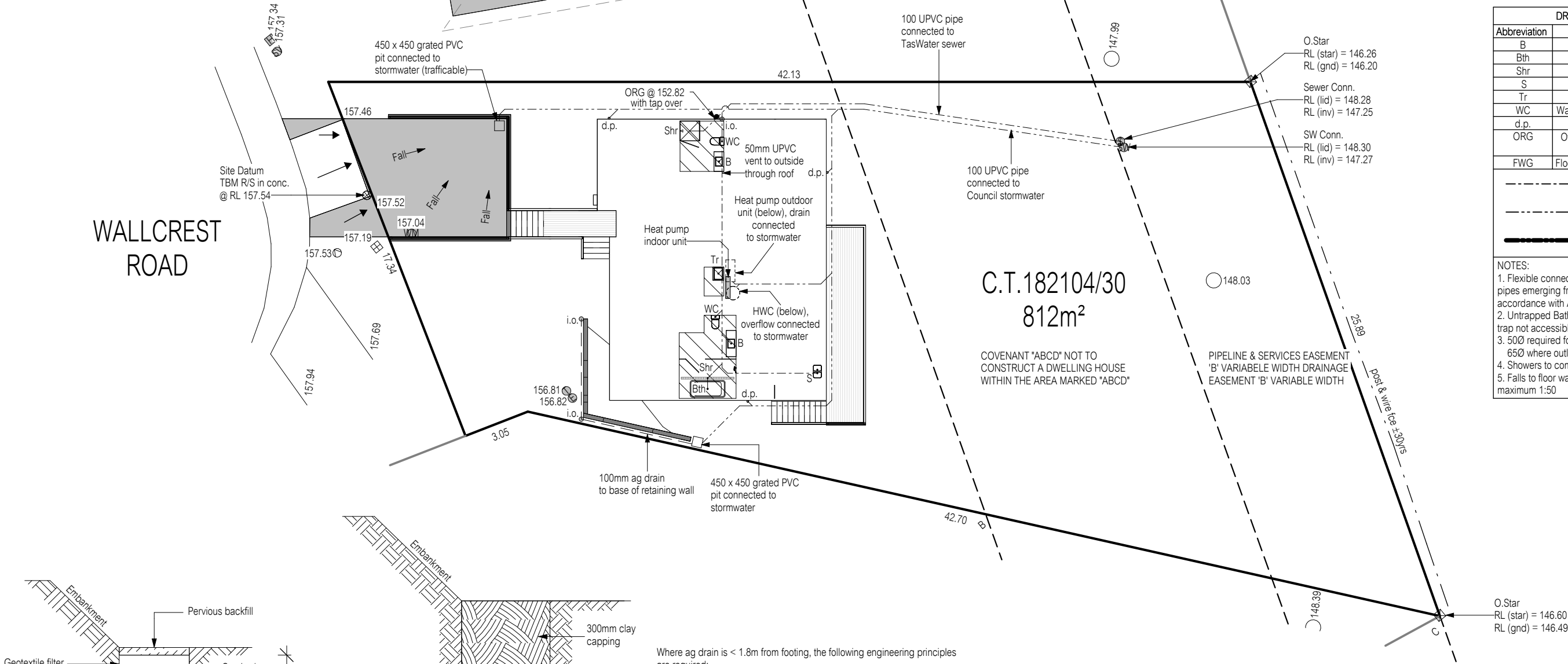
NOTES:
1. Flexible connections are to be installed on any pipes emerging from beneath the building in accordance with AS2870 & AS/NZS3500.2:2021.
2. Untrapped Bath tub pipe to connect to FWG if trap not accessible from below or access panel.
3. 500 required for multiple shower heads.
650 where outlet is being used as a FWG
4. Showers to comply with N.C.C. 10.2.14.
5. Falls to floor waste to be minimum 1:80 & maximum 1:50

WALLCREST ROAD

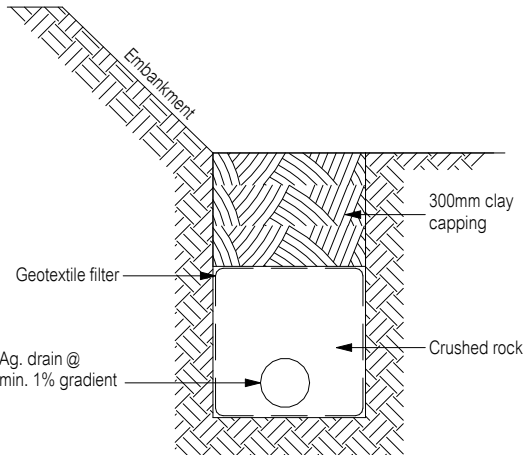
C.T.182104/30
812m²

COVENANT "ABCD" NOT TO
CONSTRUCT A DWELLING HOUSE
WITHIN THE AREA MARKED "ABCD"

PIPELINE & SERVICES EASEMENT
'B' VARIABLE WIDTH DRAINAGE
EASEMENT 'B' VARIABLE WIDTH



TYPICAL AG. DRAIN DETAIL
(≥1800 FROM HOUSE)
Not to scale



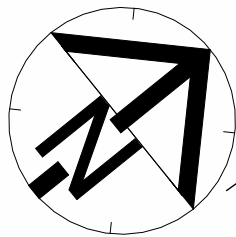
TYPICAL AG. DRAIN DETAIL
(<1800 FROM HOUSE)
Not to scale

Where ag drain is < 1.8m from footing, the following engineering principles are required:

- Ag drain to be capped with 300mm of clay to prevent ingress of surface run-off unless it is under a paving slab etc (ag drains are designed for removal of ground water, surface water should be dealt with separately).
- Ag drain to have a minimum 1% fall to a grated pit which drains to the stormwater system.
- Install a geotextile filter sock to the slotted drain, and enclose the whole drain in geofabric (to the underside of clay capping).
- Provide additional grated pits / or inspection openings along the length of the ag drain and at the high point to make the effect of a blockage visible and enable a blockage to be cleared.

0 2 4 6 8m
1:200

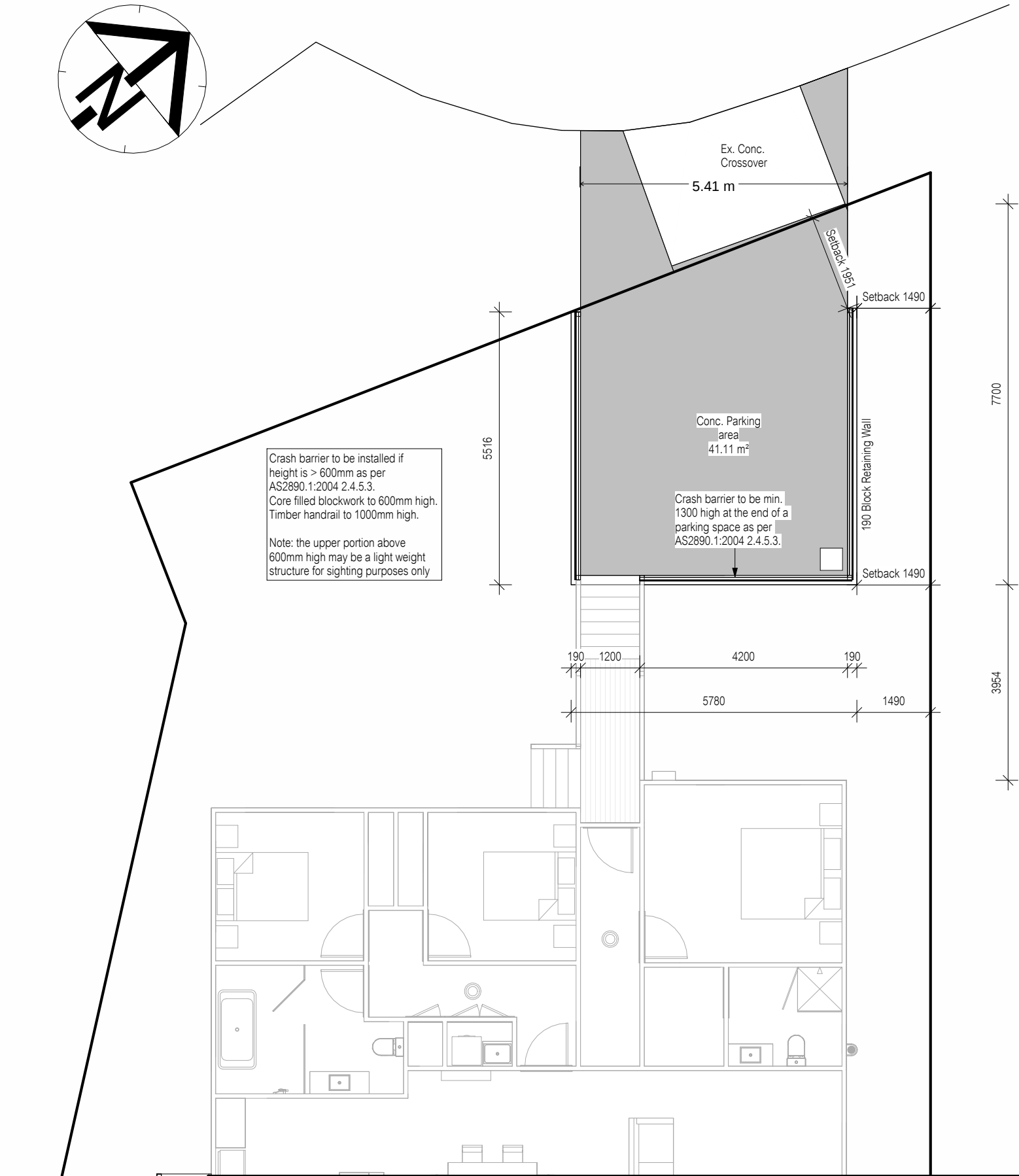
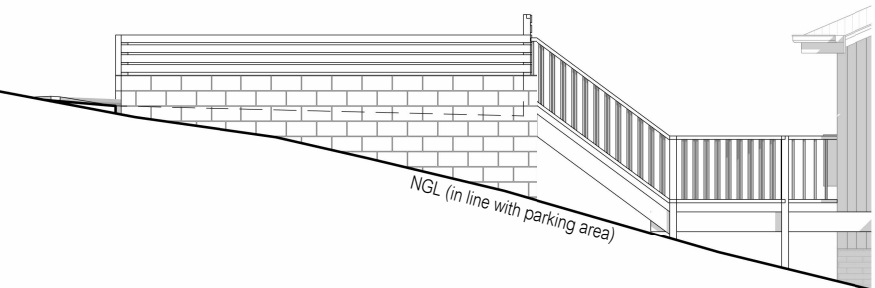
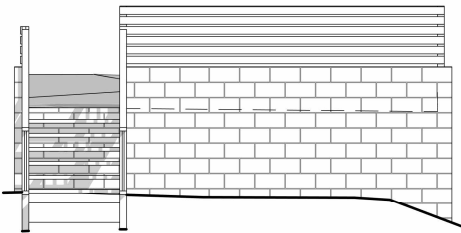
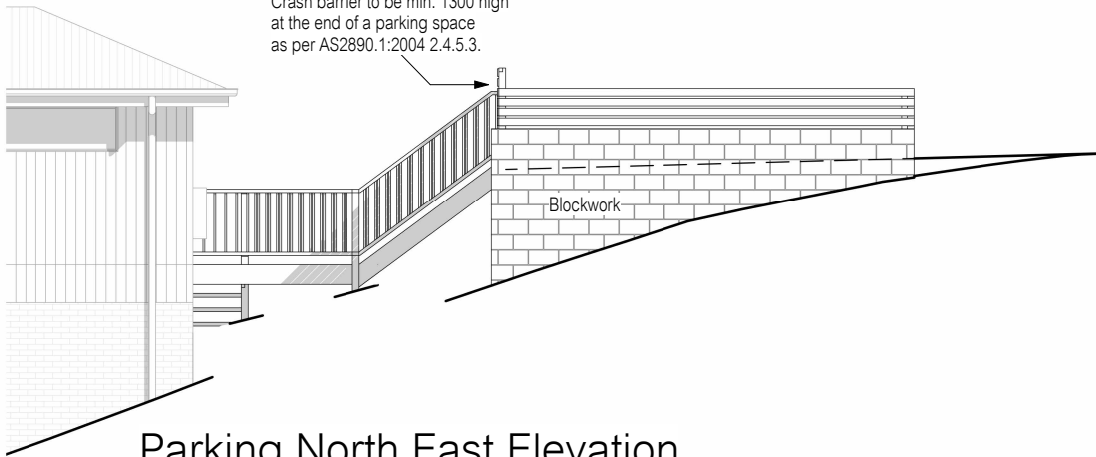
Soil classification: TBC	 - Wet areas to comply with NCC 10.2 and AS3740	Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer:	Client / Project info		DRAINAGE PLAN	
Refer to Soil Report for nominated founding depth and description of founding material.		ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED CLARK & WARD RESIDENCE 43 Wallcrest Road, BERRIEDALE	Drawn		SW	H990
All Materials and construction to comply with AS/NZ3500 Part 2 & Part 3				Date		2 April 2026	Sheet
Amendment changes as per cover sheet				Scale		1 : 200	01a/03



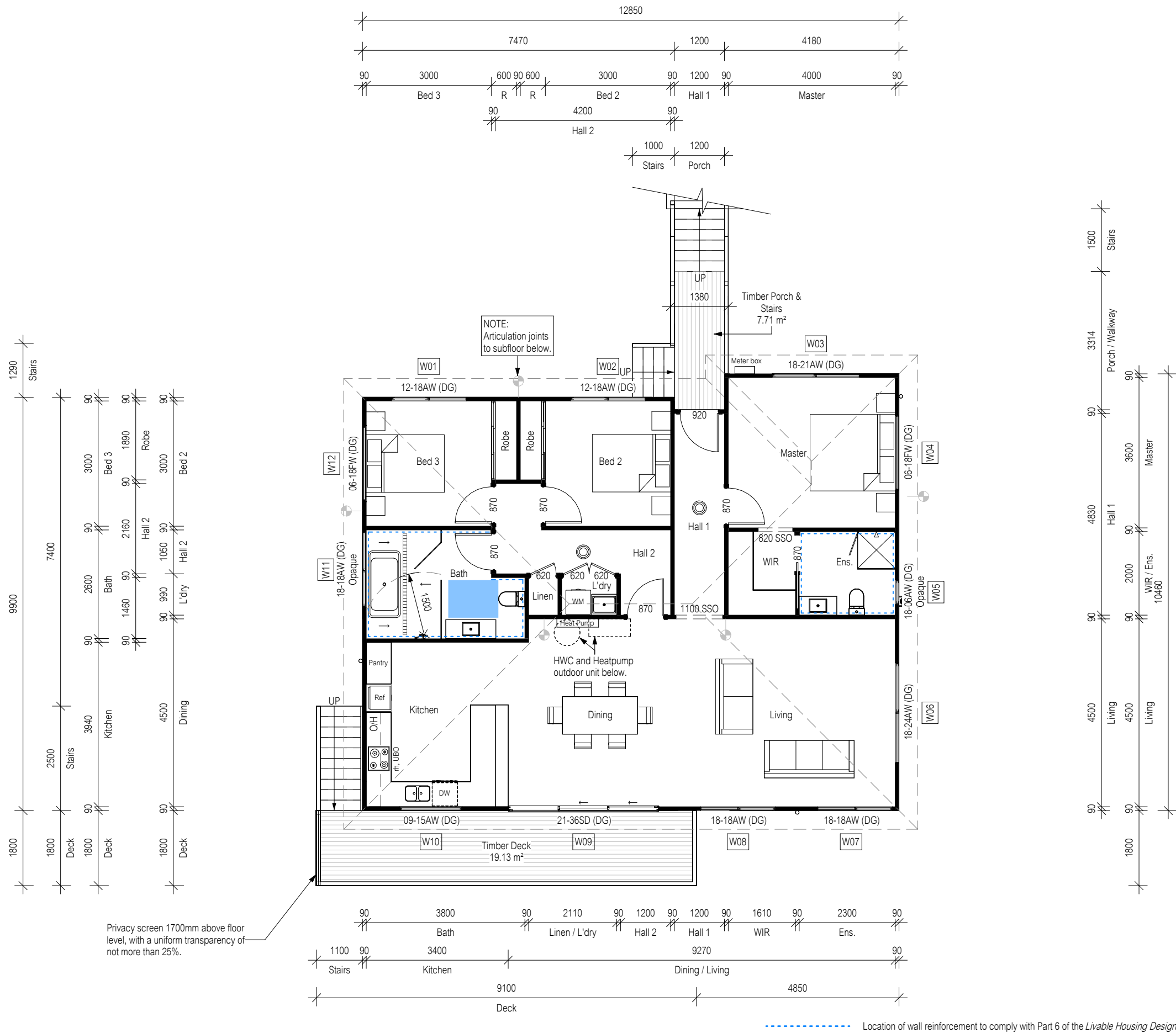
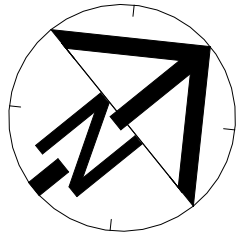
Crash barrier to be installed if height is > 600mm as per AS2890.1:2004 2.4.5.3.
Core filled blockwork to 600mm high.
Timber handrail to 1000mm high.

Note: the upper portion above 600mm high may be a light weight structure for sighting purposes only

Crash barrier to be min. 1300 high at the end of a parking space as per AS2890.1:2004 2.4.5.3.



Floor Area = 41.11m²			All window sizes to be checked and/or confirmed on site prior to ordering glazing units	Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer:	Client / Project info	Cunic.	PARKING PLAN	
					ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED CLARK & WARD RESIDENCE 43 Wallcrest Road, BERRIDALE		Drawn ST	H990
Amendment changes as per cover sheet			Date	4 August 2026	Sheet				
			Scale	1 : 100	01b/03				
			Copyright ©						



Floor Area = 129.20m ²		All window sizes to be checked and/or confirmed on site prior to ordering glazing units	Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer: ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	Client / Project info PROPOSED CLARK & WARD RESIDENCE 43 Wallcrest Road, BERRIEDALE	Cunic.	FLOOR PLAN		
Articulation joints							Drawn	SW	H990
Smoke Alarm (interconnected where more than 1)		Date	17 March 2026	Sheet					
- Circulation space to comply with Part 4.2 of the <i>Livable Housing Design Standard</i>.		Scale	1 : 100	02/03					
		Copyright ©							
Amendment changes as per cover sheet									

All lightweight cladding to be installed to manufacturer's guidelines. Refer to manufacturer's documentation.

◆ - W07, W08 Protection of openable windows to comply with N.C.C. 11.3.7 & 11.3.8

DATE RECEIVED: 10/09/2026

Note: the upper portion above 600mm high may be a light weight structure for sighting purposes only

Crash barrier to be min. 1300 high
at the end of a parking space
as per AS2890.1:2004 2.4.5.3.



SUB-FLOOR VENTILATION CALCULATIONS (as per N.C.C. 6.2.1)

- Minimum Sub-floor Ventilation 6000mm² per metre of subfloor perimeter (for Climatic Zone C where ground isn't sealed with impervious membrane)
 - Vents to be evenly spaced around perimeter of dwelling.
 - Vents to be located within 600mm of corners.
 - If located within a bushfire prone area, vents to be BAL compliant as per AS3959.
- e.g. Pryda 230 x 75 metal vent spaced every 1048mm around subfloor perimeter.

LEGEND:

AJ - Articulation Joint
BV - Brick Vent

Amendment changes as per cover sheet

Shadows shown for stylisation purposes only

Notes

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Client / Project info

PROPOSED CLARK & WARD RESIDENCE
43 Wallcrest Road,
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Cunic.

ELEVATIONS SHEET 1

Drawn	SW
Date	2 April 2026
Scale	1 : 100

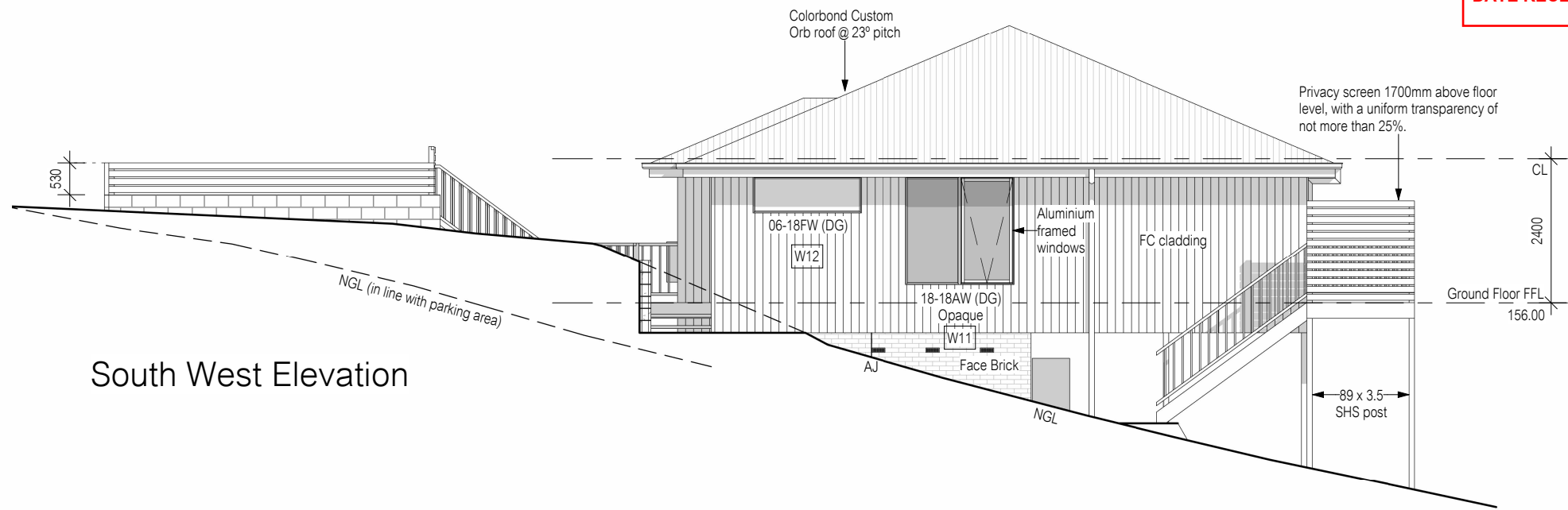
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03/03

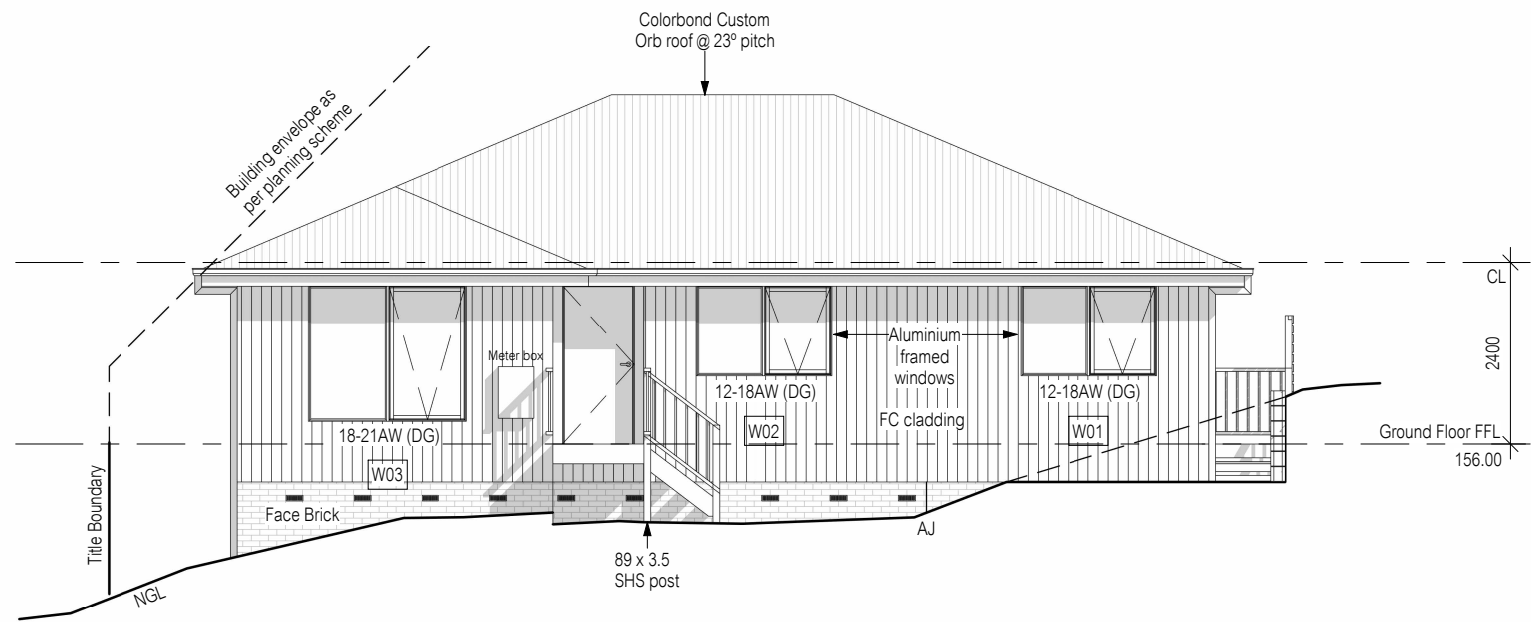
Material	Colour
Colorbond Roof	tbc
Face Brick	tbc
FC Sheet	tbc

All lightweight cladding to be installed to manufacturer's guidelines. Refer to manufacturer's documentation.

♦ - W07, W08 Protection of openable windows to comply with N.C.C. 11.3.7 & 11.3.8



South West Elevation



North West Elevation

SUB-FLOOR VENTILATION CALCULATIONS (as per N.C.C. 6.2.1)	
- Minimum Sub-floor Ventilation 6000mm ² per metre of subfloor perimeter (for Climatic Zone C where ground isn't sealed with impervious membrane)	
- Vents to be evenly spaced around perimeter of dwelling.	
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e.g. Pryda 230 x 75 metal vent spaced every 1048mm around subfloor perimeter.	

B	4 Aug. 2026	ST
A	30 Apr. 2026	SW
No.	Date	Int.

All window sizes to be checked and/or confirmed on site prior to ordering glazing units	
LEGEND: AJ - Articulation Joint BV - Brick Vent	
Amendment changes as per cover sheet	
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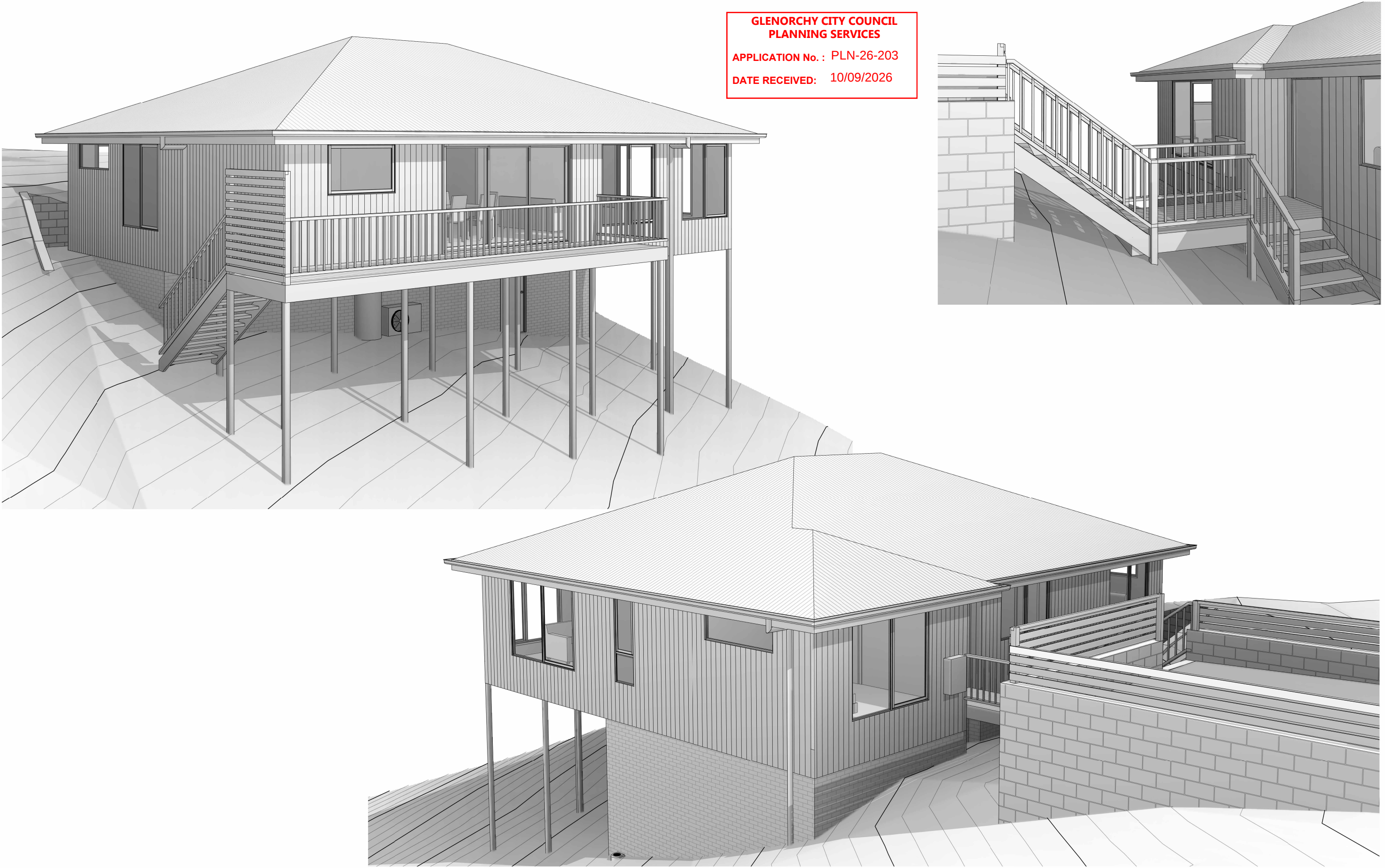
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PROPOSED CLARK & WARD RESIDENCE 43 Wallcrest Road, BERRIEDALE	

Cunic.	
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ELEVATIONS SHEET 2		
Drawn	SW	H990
Date	2 April 2026	Sheet
Scale	1 : 100	03a/03
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**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No. : PLN-26-203
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B	4 Aug. 2026	ST
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Amendment changes as per cover sheet

Shadows shown for stylisations purpose only

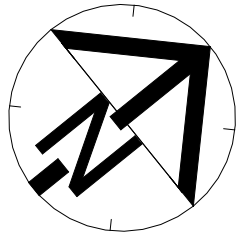
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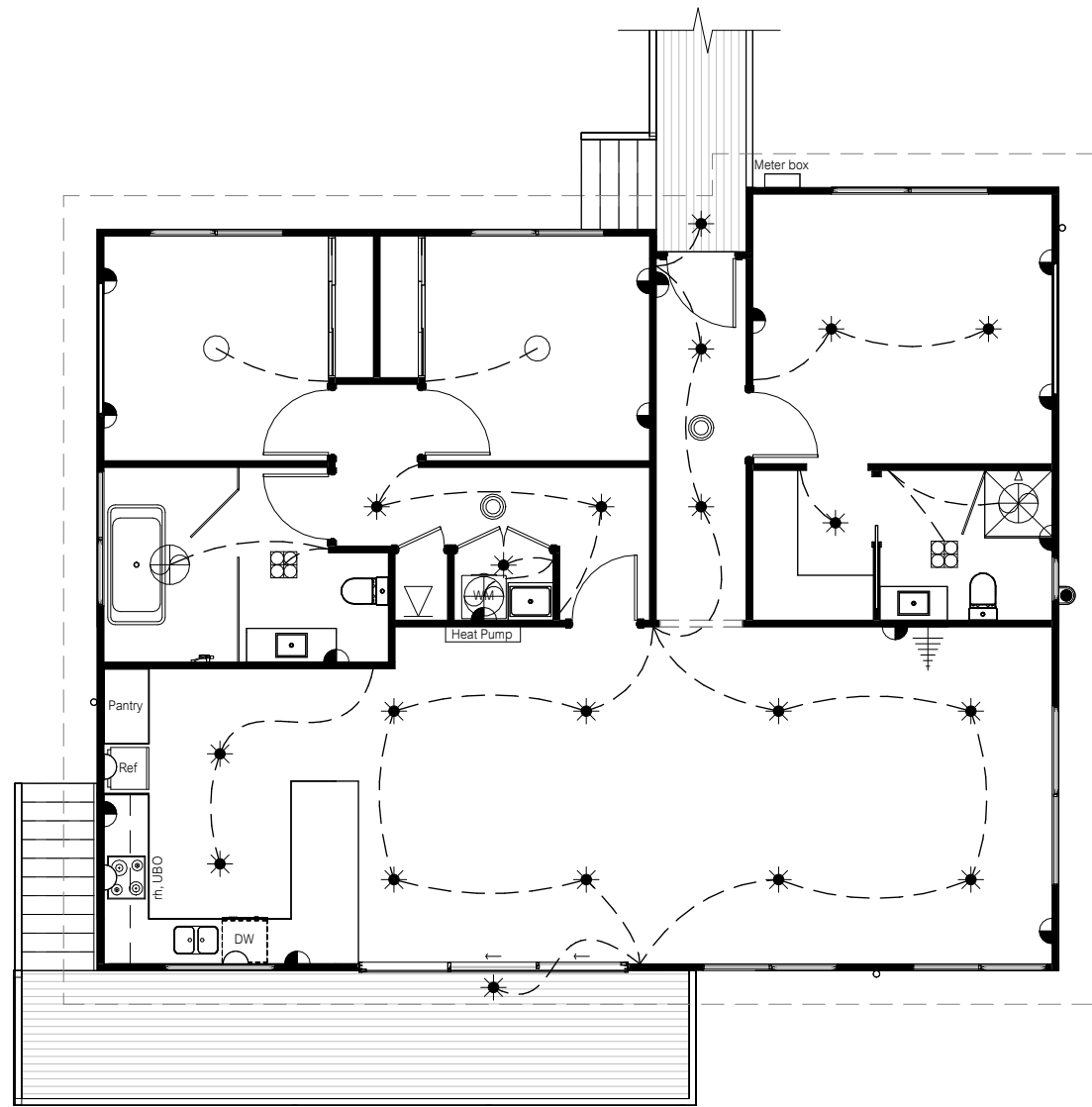
PERSPECTIVE VIEWS		
Drawn	SW	H990
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Scale		03b/03
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PLANNING SERVICES**

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- LEGEND (W = Wattage e.g. 35W = 35 Watts.)
- STANDARD CEILING LIGHT POINT (30W)
 - DOWNLIGHT POINT (UNVENTED) (35W)
 - ✱ LED DOWNLIGHT POINT (10W) SUITABLE FOR & FITTED WITH INSULATION OVER. (IC RATED)
 - PENDANT LIGHT (30W)
 - WALL LIGHT POINT (30W)
 - 2 x 900mm FLUORESCENT LIGHT POINT (36W)
 - 2 x SLIM T5 900mm FLUORESCENT LIGHT POINT (28W)
 - ⌒ SINGLE POWER POINT
 - ⌒ DOUBLE POWER POINT
 - ⌒ DOUBLE POWER POINT WITH USB
 - ⌒ WATER PROOF POWER POINT
 - ⊙ MAINS POWERED SMOKE ALARM (INTERCONNECTED WHERE MORE THAN 1)
 - ⊞ FAN / HEATER / LIGHT (8W) (VENT IN ACCORDANCE WITH N.C.C. 10.8.2)
 - ⌚ TV CONNECTION POINT
 - ▽ NBN/TELEPHONE CONNECTION POINT
 - ⌒ SENSOR LIGHT
 - ⊙ EXHAUST FAN (VENT IN ACCORDANCE WITH N.C.C. 10.8.2)
 - ⌒ FLOOD LIGHT
 - ⌒ CAT 6 CONNECTION POINT
 - ▶ TREAD LIGHTS (2W)
 - ⌒ DUCTED VACUUM POINT
 - ⌒ SECURITY SYSTEM KEYPAD
 - ⌒ SECURITY SYSTEM SENSOR

ALL EXHAUST FANS:
25 L/s for a bathroom or sanitary compartment, 40 L/s for a kitchen or laundry. Exhaust from a kitchen, kitchen range hood, bathroom, sanitary compartment, or laundry must be discharged directly or via a shaft or duct to outdoor air.

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ELECTRICAL PLAN

Drawn	SW	H990
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Scale	1 : 100	

09/03

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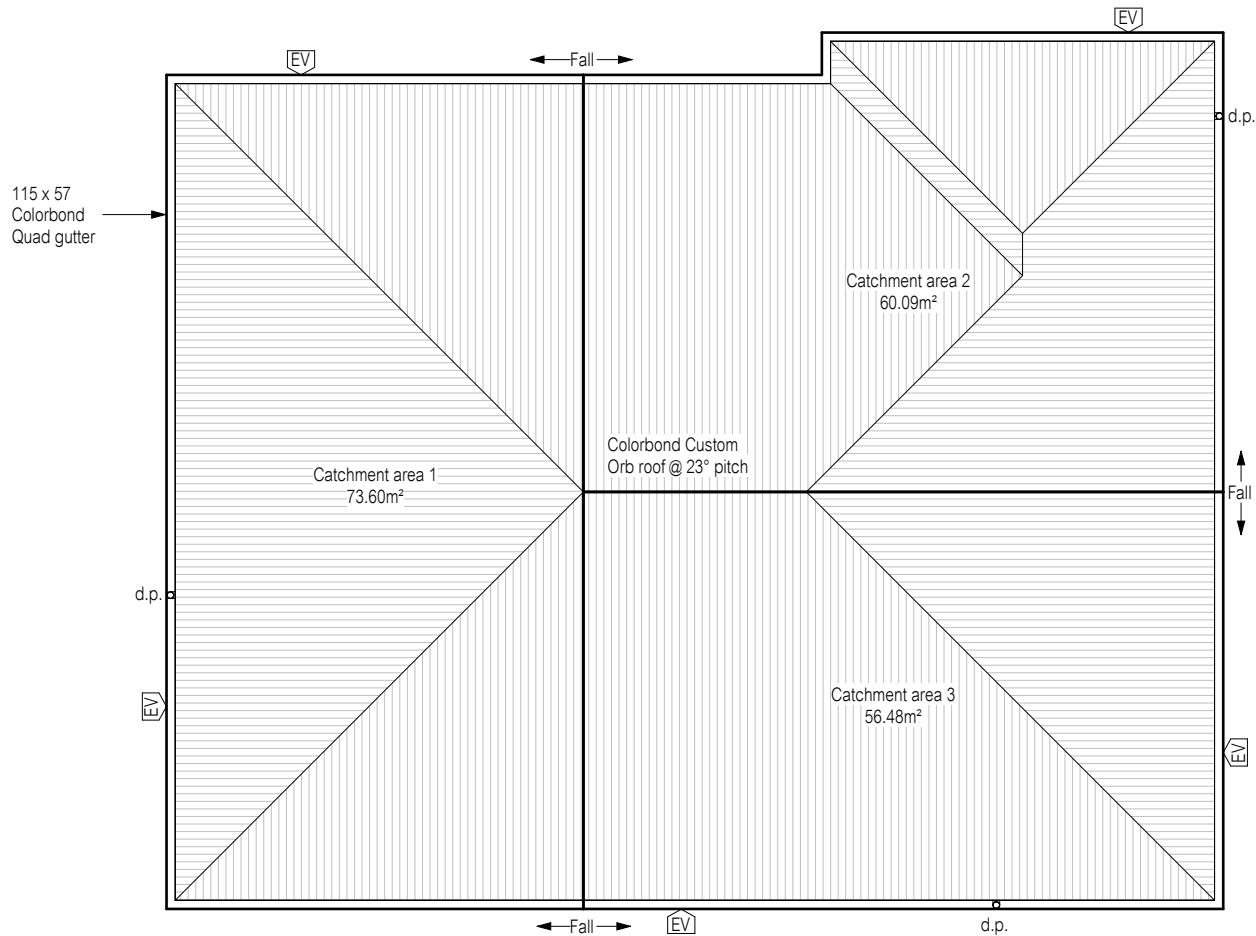
DATE RECEIVED: 10/09/2026

GUTTER OVERFLOW
REQUIREMENTS as per
N.C.C. Figure 7.4.6a:
Minimum slot opening area of 1200
mm² per metre of gutter and the lower
edge of the slots installed a minimum
of 25 mm below the top of the fascia.
The acceptable overflow capacity
must be 0.5 L/s/m.

Batten fixings:
100mm type 17, 14g bugle
screws to comply with
AS1684, or refer to AS1684
for alternatives.

Batten spacing:
75 x 38 F8
@ 900 Centre

Colorbond fixings:
50mm M6 11 x 50 EPDM
seal to comply with AS3566
or refer to AS3566 for
alternatives.



Position and quantity of downpipes
are not to be altered without
consultation with designer

Area's shown are surface areas /
catchment areas, not plan areas.

DOWNPIPE AND ROOF CATCHMENT AREA CALCULATIONS (as per AS/NZS 3500.3)		
Ah ¹	151.35	Area of Roof (excluding 115mm Quad gutter) (m ²)
Ah ²	157.17	Area of Roof (including 115mm Quad gutter) (m ²)
Ac	190.18	Ah ² x Slope factor (Table 3.2 from AS/NZS 3500.3) (m ²)
Ae	6555	Cross sectional area of assumed 57 x 115 Quad Gutter. (mm ²)
DRI	86.9	Design Rainfall Intensity (determined from Appendix D from AS/NZS 3500.3)
ACDP	76	Catchment area per Downpipe (determined from Figure 3.5.4(A) from AS/NZS 3500.3) (m ²)
Required Downpipes	2.50	Ac ÷ Acdp
Downpipes Provided	3	

Sarking to be cut / discontinuous along ridge line.
Custom orb profile to provide N.C.C. required
ventilation between ridge capping and roofing sheet.



EAVES VENT NOTE:
BRADFORD CSR METAL EAVE VENT (34,600mm²).
5 VENTS EVENLY SPACED

A	30 Apr. 2026	SW
No.	Date	Int.

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Client / Project info

PROPOSED CLARK & WARD RESIDENCE
43 Wallcrest Road,
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Cunic.

ROOF PLAN

Drawn	SW	H990
Date	2 April 2026	Sheet
Scale	1 : 100	

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