

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-26-243
PROPOSED DEVELOPMENT:	Alterations to Shop (General Retail and Hire)
LOCATION:	45 Main Road Moonah
APPLICANT:	MCA Architects Pty Ltd
ADVERTISING START DATE:	25/09/2026
ADVERTISING EXPIRY DATE:	09/10/2026

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **09/10/2026**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **09/10/2026**, or for postal and hand delivered representations, by 5.00 pm on **09/10/2026**.

45 MAIN ROAD,
MOONAH TAS

PROPOSED BATHROOM AND STAFF KITCHENETTE

HYDRAULIC SERVICES LEGEND

PLUMBING AND DRAINAGE

	CONDENSATE DRAIN
	CONDENSATE DRAIN - EXISTING
	CHAMBER VENT PIPE
	CHAMBER VENT PIPE - EXISTING
	SANITARY DRAINAGE
	SANITARY DRAINAGE - EXISTING
	SANITARY PLUMBING
	SANITARY PLUMBING - EXISTING
	SANITARY WASTE
	SANITARY WASTE - EXISTING
	SANITARY RISING MAIN
	SANITARY RISING MAIN - EXISTING
	VENT PIPE
	VENT PIPE - EXISTING

TRADE WASTE AND GREASE WASTE

	GREASE WASTE
	GREASE WASTE - EXISTING
	GREASE WASTE RISING MAIN
	GREASE WASTE RISING MAIN - EXISTING
	GREASE WASTE VENT PIPE
	GREASE WASTE VENT PIPE - EXISTING
	TRADE WASTE
	TRADE WASTE - EXISTING
	TRADE WASTE RISING MAIN
	TRADE WASTE RISING MAIN - EXISTING
	TRADE WASTE VENT PIPE
	TRADE WASTE VENT PIPE - EXISTING

STORMWATER

	ROOF WATER CATCHMENT
	ROOF WATER DRAINAGE
	STORMWATER DRAINAGE
	STORMWATER DRAINAGE - EXISTING
	STORMWATER OVERFLOW
	STORMWATER OVERFLOW - EXISTING
	STORMWATER RISING MAIN
	STORMWATER RISING MAIN - EXISTING
	SUBSOIL
	SUBSOIL - EXISTING
	SYPHONIC OVERFLOW
	SYPHONIC OVERFLOW - EXISTING
	SYPHONIC STORMWATER
	SYPHONIC STORMWATER - EXISTING

POTABLE WATER

	COLD WATER
	COLD WATER - EXISTING

NON-POTABLE WATER

	IRRIGATION LINE
	IRRIGATION LINE - EXISTING
	NON-POTABLE COLD WATER
	NON-POTABLE COLD WATER - EXISTING
	NON-POTABLE HOT WATER
	NON-POTABLE HOT WATER - EXISTING
	NON-POTABLE HOT WATER RETURN
	NON-POTABLE HOT WATER RETURN
	RAINWATER RE-USE
	RAINWATER RE-USE - EXISTING
	RECYCLED COLD WATER
	RECYCLED COLD WATER - EXISTING
	ULTRA PURE WATER
	ULTRA PURE WATER - EXISTING

HEATED WATER

	HOT WATER
	HOT WATER - EXISTING
	HOT WATER - HEAT TRACED
	HOT WATER RETURN
	HOT WATER RETURN - EXISTING
	WARM WATER
	WARM WATER - EXISTING
	WARM WATER RETURN
	WARM WATER RETURN - EXISTING

GAS SERVICES

	GAS FLUE
	GAS SERVICE
	GAS SERVICE - EXISTING

FIRE SERVICES

	DIESEL EXHAUST
	FIRE HOSE REEL
	FIRE HOSE REEL - EXISTING
	FIRE HYDRANT
	FIRE HYDRANT - EXISTING
	FIRE SERVICE
	FIRE SERVICE - EXISTING
	FIRE SPRINKLER MAIN
	FIRE SPRINKLER MAIN - EXISTING
	FIRE SPRINKLER RANGE PIPE
	FIRE SPRINKLER RANGE PIPE - EXISTING
	GAS SUPPRESSION PIPE

MISCELLANEOUS

	AMENDMENT
	CASTIN
	DISCONNECTED SERVICE
	ELECTRICAL SERVICE
	PLANT LINE
	POOL DRAIN
	POOL HEATING WATER
	POOL WATER
	INSET BORDER
	SAWCUT

AUTHORITY MAINS

	AUTHORITY GAS MAIN
	AUTHORITY SEWER MAIN
	AUTHORITY STORMWATER MAIN
	AUTHORITY WATER MAIN
	AUTHORITY RECYCLED WATER MAIN
	AUTHORITY POWERCOMMS

EXTERNAL REFERENCES

	ARCHITECTURAL LAYOUT
	STRUCTURAL LAYOUT
	MECHANICAL SERVICES
	CIVIL SERVICES
	ELECTRICAL SERVICES
	FIRE SERVICES
	HYDRAULIC SERVICES
	GRID LINES
	HATCH

SYMBOLS

	RISER
	ADAPTABLE FIXTURE POINT (CAPPED FLUSH WITH SLAB)
	DROPPER
	TEE DROPPER
	PIPEWORK CAP
	PIPEWORK CONTINUATION
	UNDOCUMENTED CONTINUED LINE
	PIPEWORK SECTION
	DIRECTION ARROW
	NEW CONNECTION
	NEXT DRAWING
	DIRECTION OF FLOW
	SERVICE DESCRIPTION
	RISER NUMBER / FLOW RATE
	STOP VALVE
	CHECK VALVE
	BALANCING VALVE
	3-WAY VALVE
	BALL VALVE
	REDUCED PRESSURE ZONE DEVICE
	PRESSURE RELIEF VALVE
	PRESSURE REDUCTION / LIMITING VALVE
	SOLENOID VALVE
	DOUBLE CHECK VALVE
	INFRA RED SENSOR
	MONITORED VALVE
	THERMOSTATIC MIXING VALVE
	TEMPERING VALVE
	WATER FILTER
	REFLUX VALVE
	REFLUX VALVE IN PIT
	VALVE IN PATHBOX
	WATER METER
	GAS METER
	EXPANSION JOINT
	STRAINER
	PRESSURE GAUGE
	FLOW SWITCH
	PRESSURE SWITCH
	WATER POINT
	TAP SET
	HOSE TAP
	BAYONET POINT
	REGULATOR
	PUMP
	CONTROL PANEL
	FIRE HOSE REEL
	HOT WATER UNIT (ON SAFE TRAY)

DRAWING SCHEDULE

DRAWING NUMBER	DRAWING SCALE	DRAWING TITLE
H-000	N.T.S.	COVER SHEET AND LEGEND
H-001	N.T.S.	HYDRAULIC SPECIFICATION
H-010	1:200	SITE PLAN
H-100	1:100	GROUND FLOOR - SANITARY DRAINAGE PLAN
H-200	1:100	GROUND FLOOR - WATER RETICULATION PLAN

ABBREVIATIONS

DRAINAGE PIPING SYSTEMS	
AAV	Air Admittance Valve
BO	Balcony Outlet
BM	Boundary trap
BTW	Bucket Trap Floorwaste
CO	Clear Out
CST	Condensate Stack
DG	Disconnector Gully
DN	Downpipe
DR	Drainage Riser
DTU	Drainage Turn Up
FU	Fixture Units
FW	Floor Waste
GA	Grease Arrestor
GD	Grated Drain
GO	Gutter Outlet
GST	Grease Stack
GTU	Grease Turn Up
SWST	Grease Waste Stack
IO	Inspection Opening
IPMF	Induct Pipe Mica Flap
IS	Inspection Shaft
KIP	Kerb Inlet Pit
OF	Overflow
ORG	Over/low Relief Gully
PAPA	Positive Air Pressure
Attenuator	Attenuator
PO	Planter Outlet
PPW	Plasterboard Floor Waste
RVP	Relief Vent Pipe
RWH	Rain Water Head
RO	Rainwater Outlet
S/FR	Safe Tray
S/O	Spoon Drain Outlet
SFD	Sealed Floorwaste
SMH	Sewer Manhole
SO	Syphonic Outlet
SOF	Syphonic Overflow
ST	Stack
SB	Stack Bend
SWP	Stormwater Pit
SYP	Syphonic
TG	Trench Grate
TGMH	Trade Waste Manhole
TWST	Trade Waste Stack
TWTU	Tradewaste Turn Up
WST	Waste Stack
VALVES	
BV	Balancing Valve
CV	Check Valve
DCV	Double Check Valve
ECV	Expansion Control Valve
FV	Flush Valve
PG	Pressure Gauge
PLV	Pressure Limiting Valve
PRV	Pressure Reduction Valve
RPZD	Reduced Pressure Zone Device
RV	Reflex Valve
SV	Stop Valve
TMV	Thermostatic Mixing Valve
TPRV	Temperature & Pressure Relief Valve
TV	Tempering Valve
VB	Vacuum Breaker
WATERS PIPING SYSTEMS	
HWM	Hot Water Meter
HWU	Hot Water Unit
WM	Water Meter
FLUID FLOW	
kPa	Kilopascal
L	Litres
L/s	Litres Per Second
LU	Loading Units
m.HEAD	Metres Head
m/s	Metres per Second
m ³ /hr	Cubic Metres per Hour

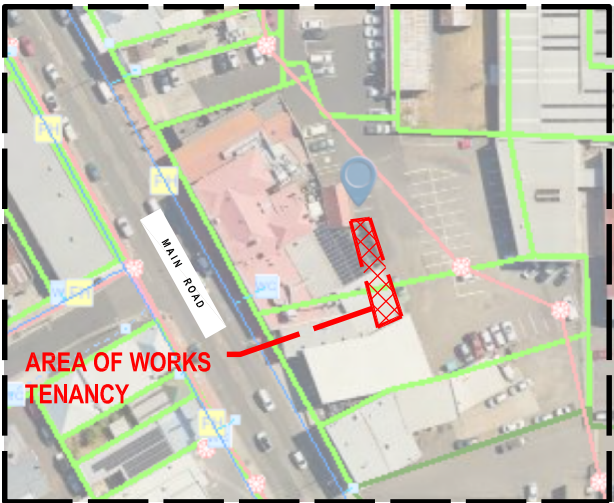
ABBREVIATIONS cont.

FIXTURES	
Basin	Basin
BBQ	Barbeque
A/C	Bain Marie
AP	Access Panel
BSK	Bar Sink
BTH	Bath
BWU	Boiling Water Unit
CWM	Clothes Washing Machine
CWU	Chilled Water Unit
CS	Cleaners Sink
CT	Cook Top
DF	Drinking Fountain
DU	Dental Unit
DWC	Disabled Water Closet
DWM	Dish Washing Machine
EW	Eye Wash
FC	Fume Cupboard
FR	Fridge
FRS	Flushing Rim Sink
GWM	Glass Washing Machine
HT	Hose Tap
IM	Ice Machine
LSK	Laboratory Sink
LT	Laundry Tub
PSK	Pot Sink
SB	Surgeons Basin
SH	Slop Hopper
SHR	Shower
SK	Sink
SSHR	Safety Shower
STER	Steriliser
TD	Tandish
TTD	Trapped Tandish
UR	Urinal
UW	Uterisil Washer
WC	Water Closet
WT	Wash Trough
MATERIALS	
BR	Brass
CI	Cast Iron
CP	Chrome Plated
CCL	Cast Iron Cement Lined
CU	Copper
DICL	Ductile Iron Cement Lined
FRC	Fibre Reinforced Concrete
GAL	Galvanised
GMS	Galvanised Mild Steel
HDPE	High Density Polyethylene
MDPE	Medium Density Polyethylene
MS	Mild Steel
NY	Nylon
PEK	Cross Linked Polyethylene
PVC	Polyvinyl Chloride
RCP	Reinforced Concrete Pipe
S/S	Stainless Steel
UPVC	Unplasticised Polyvinyl Chloride
VCP	Vitrified Clay Pipe

GAS PIPING SYSTEMS	
GFP	Gas Fire Place
GM	Gas Meter
GR	Gas Regulator
KW	Kilowatt
LPG	Liquefied Petroleum Gas
MI	Megajoules
FIRE PROTECTION PIPING SYSTEM	
EXT	Extinguisher
FH	Fire Hydrant
FHBV	Fire Hydrant Booster Valve
FHR	Fire Hose Reel
FP	Fire Indicator Panel
FSBV	Fire Sprinkler Booster Valve
SPR	Sprinkler
STD	Sprinkler Test Drain

NOTE

- THESE DRAWINGS ARE DIAGRAMMATIC ONLY AND HAVE BEEN PREPARED FOR THE PURPOSE OF INDICATING THE DESIGN INTENT AND SCOPE OF WORKS OF THE HYDRAULIC SERVICES INSTALLATION AND SHOULD NOT BE INTERPRETED AS BEING DEFINITIVE.
- THE WHOLE OF THE WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE HYDRAULIC DRAWINGS AND HYDRAULIC SPECIFICATION. THE HYDRAULIC DRAWINGS AND HYDRAULIC SPECIFICATION ARE INTENDED TO BE MUTUALLY EXPLANATORY AND COMPLETE. HOWEVER, ALL WORK CALLED BY ONE, EVEN IF NOT BY THE OTHER, SHALL BE FULLY EXECUTED, SHOULD THERE BE ANY DISCREPANCY BETWEEN THE HYDRAULIC DRAWINGS AND THE HYDRAULIC SPECIFICATION. THE CONTRACTOR SHALL BE DEEMED TO INCLUDE WHICHEVER ALTERNATIVE INVOLVES THE GREATER COST. NO SUBSTITUTIONS OF NOMINATED PRODUCTS OR MATERIALS SHALL BE MADE WITHOUT THE PRIOR NOTIFICATION OF ALL COST BENEFITS WITH EQUAL WARRANTIES INCLUDING WRITTEN APPROVAL FROM THE CLIENT AND EUREKA DESIGNS.
- IT IS THE RESPONSIBILITY OF THE HYDRAULIC CONTRACTOR TO INVESTIGATE AND COORDINATE BEFORE AND DURING THE CONSTRUCTION PHASE WITH ALL EXISTING SERVICES.
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE HYDRAULIC SERVICES SPECIFICATION.
- ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE RELEVANT CONSTRUCTION AND PLUMBING CODES, STANDARDS AND LOCAL AUTHORITIES REGULATIONS AS APPROPRIATE BY A REGISTERED AND QUALIFIED PERSON ALSO LISTED UNDER THE MASTER PLUMBERS ASSOCIATION TASMANIA.
- POSITIONS AND LEVELS OF AUTHORITY MAINS AND/OR EXISTING SERVICES ARE INDICATIVE ONLY AND ARE TO BE CHECKED PRIOR TO COMMENCING ANY WORK. THE CONTRACTOR SHALL ADVISE THE SUPERINTENDENT IMMEDIATELY OF ANY DISCREPANCIES THAT MAY PREVENT THE CONSTRUCTION OF THE WORKS GENERALLY AS PER THE DRAWINGS.
- DO NOT SCALE FROM THESE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSION SETOUT.
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION TO RELEVANT ARCHITECTURAL, STRUCTURAL, ELECTRICAL, MECHANICAL, CIVIL AND LANDSCAPE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL ADVISE THE SUPERINTENDENT IMMEDIATELY OF ANY TECHNICAL OR COORDINATION ISSUES THAT MAY ARISE.
- THIS IS A STANDARD LEGEND. ALL PIPEWORK LINE TYPES AND SYMBOLS MAY NOT NECESSARILY BE USED IN THESE DRAWINGS.
- WORK HEALTH AND SAFETY NOTICE: EUREKA DESIGNS REMIND THE HYDRAULIC CONTRACTOR OF THEIR RESPONSIBILITIES UNDER THE WORK HEALTH AND SAFETY ACTS AND REGULATIONS TO FOLLOW WHILE UNDERTAKING ALL WORKS.
- THE HYDRAULIC CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS NOMINATED ON THE TWSWATER COW AND LOCAL AUTHORITY PLUMBING PERMIT INCLUDING ANY NOTIFICATIONS GIVEN DURING COUNCIL INSPECTIONS PRIOR TO PRACTICAL COMPLETION AND CONFIRM ALL REQUIREMENTS PRIOR TO CONSTRUCTION.
- THE HYDRAULIC CONTRACTOR IS RESPONSIBILITY TO MAKE ALL APPLICATIONS, PAY ALL FEES AND CHARGES INCLUDING ARRANGING ALL INSPECTIONS AND TESTING OF SERVICES REQUIRED BY THE LOCAL AUTHORITIES PRIOR TO CONCEALMENT. (THESE INCLUDE TWSWATER, TASCAS AND COUNCIL).
- ANY AND ALL CHANGES MADE BY THE BUILDER OR HYDRAULIC CONTRACTOR REQUIRING RESUBMITTING TO THE AUTHORITY SHALL BE AT THEIR COST AND NOT WITHOUT WRITTEN APPROVAL FROM THE CLIENT PRIOR TO CONSTRUCTION.



LOCALITY PLAN

THIS DRAWING HAS BEEN ISSUED FOR THE PURPOSES OF OBTAINING BUILDING APPROVAL. IT ACCURATELY DESCRIBES THE DESIGN INTENT, HOWEVER, FURTHER COORDINATION IS REQUIRED FOR CONSTRUCTION PURPOSES. EUREKA DESIGNS PTY LTD ACCEPTS NO LIABILITY FOR UNAUTHORISED USE.

Issue	Date	Description	Int.	App.	COORDINATED REFERENCE DRAWINGS			
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					ARCH			
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01	10/09/26	ISSUE FOR APPROVAL						
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Architect:

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49a DAVEY STREET,
HOBART TAS 7000
Anna Eaves
Ph 03 6224 1822

Project:

45 MAIN ROAD,
MOONAH TAS 7009
PROPOSED BATHROOM AND STAFF
KITCHENETTE

Drawing Title:

HYDRAULIC SERVICES
COVER SHEET

Status:

ISSUE FOR APPROVAL

Project No:

251022

Scale:

(A3) N.T.S.

No. in Set:

5

Dwg No:

H-000

Issue:

01

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USE NOTED DIMENSIONS AND ARCHITECTURAL DRAWINGS ONLY.

ORIGINAL SIZE: A3

EXISTING AUTHORITY SEWER CONNECTIONS TO REMAIN UNCHANGED.
(NOT IN SCOPE OF WORKS).

EXISTING AUTHORITY SEWER AND STORMWATER INCLUDING PRIVATE SEWER AND STORMWATER TO REMAIN UNCHANGED AND NOT IN SCOPE OF WORKS. SHOWN FOR INFORMATION ONLY AND REPRODUCED FROM HISTORICAL COUNCIL RECORDS AND OBSERVED ON SITE. (NOT A TRUE REPRESENTATION OF ALL BRANCHES AND DRAINAGE IN AREA OF WORKS).

PROPOSED PRIVATE SANITARY DRAINAGE TO PROPOSED
AMENITIES AND STAFF KITCHENETTE ACCORDANCE WITH AS3500.2.
(REFER TO DRAWING H-100 FOR CONTINUATION)

PROPOSED PRIVATE DOMESTIC COLD WATER TO PROPOSED
AMENITIES AND STAFF KITCHENETTE ACCORDANCE WITH AS3500.1.
(REFER TO DRAWING H-200 FOR CONTINUATION)

PROPOSED PRIVATE DOMESTIC COLD WATER PIPEWORK TO
CONNECT TO EXISTING WATER LOCATED ADJACENT TO
EXTERNAL COURTYARD ACCORDANCE WITH AS3500.1.
(SUPPLY AND INSTALL ISOLATION VALVE LOCKED AND
TAGGED "TENANCY B").

EXISTING AUTHORITY WATER METER ADJACENT EXISTING BUILDING TO REMAIN UNCHANGED. (NOT IN SCOPE OF WORKS).

EXISTING AUTHORITY GAS METER ADJACENT EXISTING BUILDING TO REMAIN UNCHANGED.
(NOT IN SCOPE OF WORKS).

CONFIRM LOCATION AND DEPTH OF EXISTING SANITARY DRAINAGE ON SITE PRIOR TO CONSTRUCTION TO ENSURE CONNECTION POSSIBLE WITH CROSS OVER WITH EXISTING STORMWATER DRAINAGE.

PROPOSED PRIVATE SANITARY DRAINAGE PIPEWORK TO
CONNECT TO EXISTING SEWER LOCATED ADJACENT TO
EXTERNAL COURTYARD ACCORDANCE WITH AS3500.2.
(SUPPLY AND INSTALL HEAVY DUTY CAST IRON LID TO
INSPECTION OPENING TO SURFACE).

WARNING:
COORDINATE WITH EXISTING STRUCTURE AND ALL SERVICES.
POSSIBLE NATURAL GAS IN AREA. ALLOW TO CONFIRM NEW
SANITARY DRAINAGE ON SITE IN MOST DIRECT PATH OF
TRAVEL.

EXISTING PRIVATE SEWER AND STORMWATER TO REMAIN UNCHANGED AND NOT IN SCOPE OF WORKS.
SHOWN FOR INFORMATION ONLY AND REPRODUCED FROM HISTORICAL COUNCIL RECORDS AND OBSERVED ON SITE.
(NOT A TRUE REPRESENTATION OF ALL BRANCHES AND DRAINAGE IN AREA OF WORKS).

ALLOW TO CAMERA/LOCATE EXISTING SANITARY DRAINAGE WHERE NEEDED VIA EXISTING BAR OR BATHROOM CONNECTIONS FOR CONFIRMATION OF SUITABLE CONNECTION POINT.

EXISTING DN450 VC AUTHORITY SEWER MAIN (APPROXIMATE LOCATION FROM DBDY ONLY)

LIMIT OF AREA OF WORKS

100 PVC @ 1.65% MINIMUM DEPTH

TENANCY B

Ex. RETAIL STORE

Ex. RL.31.90

TENANCY A

Ex. COOLEY'S HOTEL

Ex RI 31 24



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THIS DRAWING HAS BEEN ISSUED FOR THE PURPOSES OF OBTAINING BUILDING
APPROVAL. IT ACCURATELY DESCRIBES THE DESIGN INTENT, HOWEVER
FURTHER COORDINATION IS REQUIRED FOR CONSTRUCTION PURPOSES.
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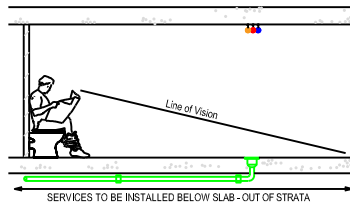
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HCAA
HYDRAULIC CONSULTANTS
ASSOCIATION AUSTRALASIA
Corporate Member 2014/2015

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45 MAIN ROAD,
MOONAH TAS 7009
PROPOSED BATHROOM AND STAFF
KITCHENETTE

Drawing Title:

HYDRAULIC SERVICES
SITE PLAN

Key Plan / North Point:



Status:			ISSUE FOR APPROVAL		
Project No:		251022		Scale:	(A3) 1:200
Dwg No:		H-010		No. In Set:	5
				Issue:	01

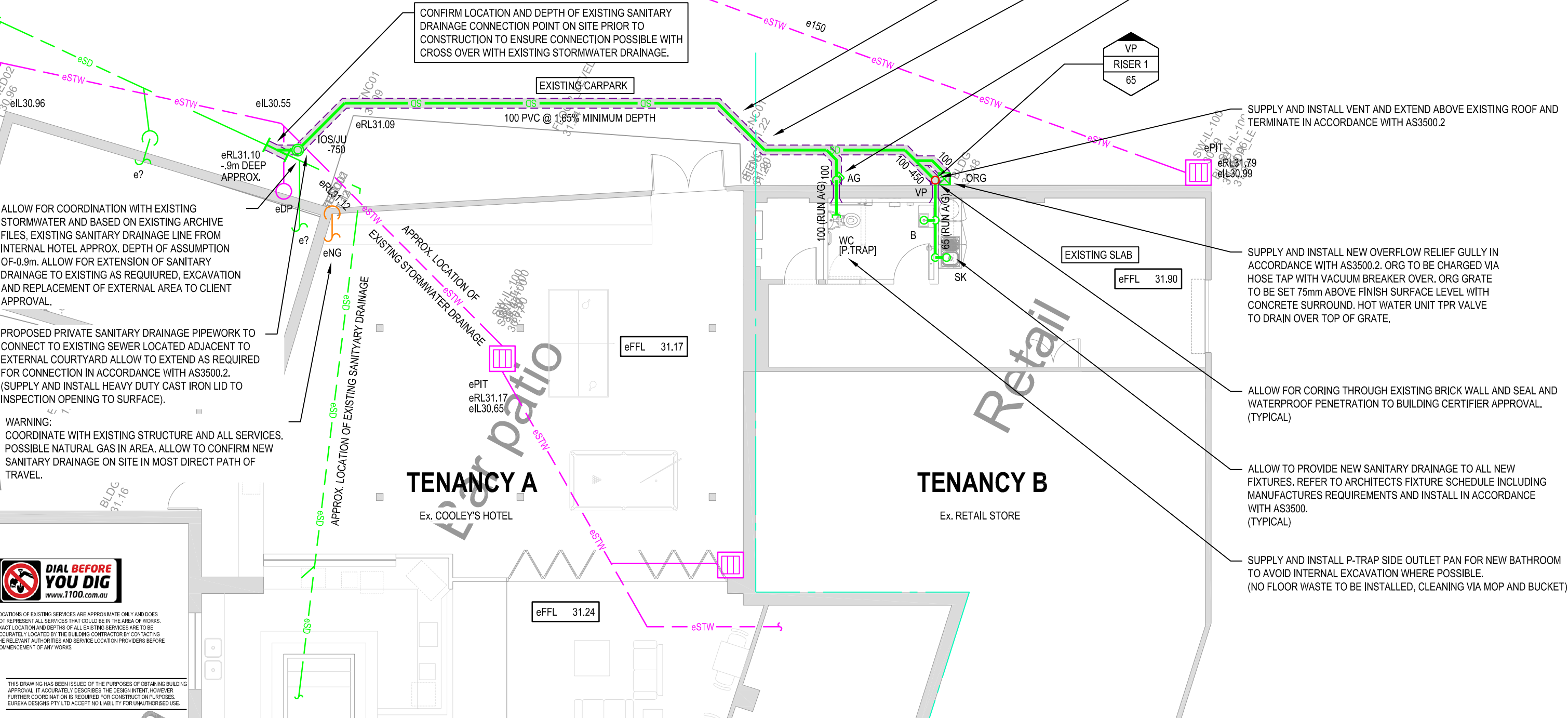
NOTE: - EXISTING SANITARY AND STORMWATER DRAINAGE
ALL EXISTING SITE SANITARY DRAINAGE AND
STORMWATER DRAINAGE SHALL REMAIN IN CURRENT
CONDITION AS INDICATED. (NOT IN SCOPE OF WORKS)

SIZING AND MINIMUM GRADES NOTE:

ALL PIPEWORK SIZED AS PER AS 3500.2 & AS 3500.3 AND UNLESS NOTED
OTHERWISE THE FOLLOWING MINIMUM PIPE GRADES APPLY:-

- SEWER AND SANITARY DRAINAGE
 - 40mm - 80mm uPVC @ 2.5% (1:40)
 - 100mm uPVC @ 1.65% (1:60)
 - ALL VENTING uPVC @ 1.25% (1:80)
- STORMWATER DRAINAGE
 - 50mm - 100mm uPVC @ 1.00% (1:100)
 - 150mm uPVC @ 1.00% (1:100)

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No. : PLN-26-243
DATE RECEIVED: 16/09/2026



LOCATIONS OF EXISTING SERVICES ARE APPROXIMATE ONLY AND DOES NOT REPRESENT ALL SERVICES THAT COULD BE IN THE AREA OF WORKS. EXACT LOCATION AND DEPTHS OF ALL EXISTING SERVICES ARE TO BE ACCURATELY LOCATED BY THE BUILDING CONTRACTOR BY CONTACTING THE RELEVANT AUTHORITIES AND SERVICE LOCATION PROVIDERS BEFORE COMMENCEMENT OF ANY WORKS.

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Anna Eaves
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Project:
**45 MAIN ROAD,
MOONAH TAS 7009
PROPOSED BATHROOM AND STAFF
KITCHENETTE**

Drawing Title:
**HYDRAULIC SERVICES
GROUND FLOOR
SANITARY DRAINAGE PLAN**

Key Plan / North Point:

Status:
ISSUE FOR APPROVAL

Project No: **251022** Scale: (A3) 1:100 No. In Set: 5
Dwg No: **H-100** Issue: **01**

Plot Date & Time: 10 Sep, 2026 - 11:20am

Plotted By: 'Ryan Petkovich'

Original Size: A3

NOTE: - EXISTING SANITARY AND STORMWATER DRAINAGE
ALL EXISTING SITE SANITARY DRAINAGE AND
STORMWATER DRAINAGE SHALL REMAIN IN CURRENT
CONDITION AS INDICATED. (NOT IN SCOPE OF WORKS)

SIZING AND MINIMUM GRADES NOTE:

ALL PIPEWORK SIZED AS PER AS 3500.2 & AS 3500.3 AND UNLESS NOTED
OTHERWISE THE FOLLOWING MINIMUM PIPE GRADES APPLY:-

- SEWER AND SANITARY DRAINAGE
 - 40mm - 80mm uPVC @ 2.5% (1:40)
 - 100mm uPVC @ 1.65% (1:60)
 - ALL VENTING uPVC @ 1.25% (1:80)
- STORMWATER DRAINAGE
 - 50mm - 100mm uPVC @ 1.00% (1:100)
 - 150mm uPVC @ 1.00% (1:100)

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-26-243

DATE RECEIVED: 16/09/2026

ALLOW TO SAW CUT AND REPLACE EXISTING CONCRETE AND
CARPARKING HARDSTAND AND REINSTATE TO STRUCTURAL AND
CLIENT APPROVAL. (TYPICAL)

WARNING:
COORDINATE WITH EXISTING STRUCTURE AND ALL SERVICES.
ALLOW TO CONFIRM NEW DOMESTIC COLD WATER PIPEWORK
ON SITE IN MOST DIRECT PATH OF TRAVEL.

SUPPLY AND INSTALL NEW EXTERNAL HOSE TAP WITH VACUUM
BREAKER AND VANDAL PROOF HANDEL TO CHARGE NEW ORG IN
ACCORDANCE WITH AS3500.1

ALLOW FOR CORING THROUGH EXISTING BRICK WALL AND SEAL AND
WATERPROOF PENETRATION TO BUILDING CERTIFIER APPROVAL.
(TYPICAL)

SUPPLY AND INSTALL
TENANCY INCOMING ISOLATION VALVE IN ACCESSIBLE LOCATION
WITHIN JOINERY INCLUDING PRESSURE REDUCTION VALVE WHERE
EXISTING PRESSURE EXCEEDS 500kPa.

ALLOW TO DISCONNECT AND REMOVE EXISTING PIPEWORK AND
EXISTING HOSE TAP AND REMOVE FROM SITE.

SUPPLY AND INSTALL NEW
ELECTRIC HOT WATER HEATER EQUAL TO RHEEM 50L
MODEL (3x3.6Kw) SET TO 60°C (MINIMUM) WITH ALL
REQUIRED FITTINGS AND VALVES TO AS3500 AND
MANUFACTURES REQUIREMENTS IN KITCHENETTE
JOINERY. ALL ELECTRICAL REQUIREMENTS SHALL BE
INSTALLED IN ACCORDANCE WITH AS3000. BY A
QUALIFIED INSTALLER. INCLUDING SUITABLE
SUPPORTS AND NO WASTE TO SAFETRAY. ALLOW TO
COORDINATE WITH ELECTRICAL CONTRACTOR TO
PROVIDE ALL POWER AND WIRING REQUIREMENTS.

SUPPLY AND INSTALL
TPR VALVE FROM HOT WATER UNIT TO DISCHARGE EXTERNAL
TO ORG. HOT WATER UNIT SAFETRAY TO HAVE WATER
SENSOR AUTOMATIC SHUT VALVE EQUAL TO MILDRED VALVE
2.0 WITH NO TUNDISH TO SAFETRAY.

SUPPLY AND INSTALL
THERMOSTATIC MIXING VALVE UNDER BENCH ADJACENT HOT
WATER UNIT EQUAL TO ENWARE AQUABLEND 1500
SET TMV TO 43.5°C MAX. INCLUDING ALL FITTINGS, VALVES AND
UNIONS IN ACCESSIBLE LOCATION.

ALLOW TO PROVIDE NEW HOT, COLD AND MIXED WATER TO ALL
NEW FIXTURES. REFER TO ARCHITECTS PLANS AND CLIENT
SPECIFICATIONS FOR SANITARY FIXTURE SCHEDULE AND
MANUFACTURES INSTALLATION REQUIREMENTS FOR ALL
SETOUTS ALLOW TO INSTALL IN ACCORDANCE WITH AS3500
INCLUDING ALL FITTINGS AND VALVES.

ALLOW TO LOCATE AND CONNECT TO EXISTING WATER
LOCATED ADJACENT TO EXTERNAL COURTYARD
ACCORDANCE WITH AS3500.1.
(SUPPLY AND INSTALL ISOLATION VALVE LOCKED OPEN AND
TAGGED "TENANCY B").

TENANCY A

Ex. COOLEY'S HOTEL

TENANCY B

Ex. RETAIL STORE



LOCATIONS OF EXISTING SERVICES ARE APPROXIMATE ONLY AND DOES
NOT REPRESENT ALL SERVICES THAT COULD BE IN THE AREA OF WORKS.
EXACT LOCATION AND DEPTHS OF ALL EXISTING SERVICES ARE TO BE
ACCURATELY LOCATED BY THE BUILDING CONTRACTOR BY CONTACTING
THE RELEVANT AUTHORITIES AND SERVICE LOCATION PROVIDERS BEFORE
COMMENCEMENT OF ANY WORKS.

THIS DRAWING HAS BEEN ISSUED OF THE PURPOSES OF OBTAINING BUILDING
APPROVAL. IT ACCURATELY DESCRIBES THE DESIGN INTENT. HOWEVER,
FURTHER COORDINATION IS REQUIRED FOR CONSTRUCTION PURPOSES.
EUREKA DESIGNS PTY LTD ACCEPT NO LIABILITY FOR UNAUTHORISED USE.

Issue	Date	Description	Int.	App.	COORDINATED REFERENCE DRAWINGS				Consultant:	
					SERVICE	DRAWING NUMBER	ISSUE	DATE		
					ARCH					
					MECH					
					STRUCT					
					ELEC					
					CIVIL					
01	10/09/26	ISSUE FOR APPROVAL		CP	RP					
P1	31/08/26	PRELIMINARY ISSUE		CP	RP					

EUREKA
DESIGNS PTY LTD

PO Box 4738
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Web: www.eurekadesigns.com.au
A.B.N.: 15 621 198 196

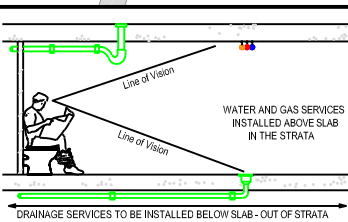
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WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN AUTHORITY OF EUREKA DESIGNS
PTY LTD. THIS DRAWING HAS BEEN DOCUMENTED IN COLOUR AND AS SUCH SHALL BE
PRINTED IN COLOUR. FAILURE TO DO SO MAY RESULT IN LOSS OF INFORMATION.
NOTE: SYMBOLS ARE DRAWN IN THE CORRECT POSITION BUT ARE
NOT SHOWN TO SCALE. DO NOT SCALE OFF THIS DRAWING.
USE NOTED DIMENSIONS AND ARCHITECTURAL DRAWINGS ONLY

Client:

E KALIS PROPERTIES PTY LTD
LEVEL 4, 142 ELIZABETH STREET,
HOBART TAS 7000
Theo Mui Wilson
Phone No: 0455 380 991

Architect:

MCA ARCHITECTS
49a DAVEY STREET,
HOBART TAS 7000
Anna Eaves
Ph 03 6224 1822



45 MAIN ROAD,
MOONAH TAS 7009
PROPOSED BATHROOM AND STAFF
KITCHENETTE

Drawing Title:
HYDRAULIC SERVICES
GROUND FLOOR
WATER RETICULATION PLAN

Key Plan / North Point:

Status:

ISSUE FOR APPROVAL

Project No:

251022

Scale:

(A3) 1:100

No. in Set:

5

Dwg No:

H-200

Issue:

01

ORIGINAL SIZE: A3

PROPOSED ALTERATIONS & ADDITIONS at COOLEY'S HOTEL 45 MAIN ROAD MOONAH TAS 7009 for COOLEY'S PTY LTD.		MCA JOB # 25080
ARCHITECTURAL - JULY 2026		
DWG. No.	DRAWING	ISSUE

25080-A01	DRAWING INDEX AND LOCATION PLAN	A
25080-A02	SITE PLAN 1:200	A
25080-A03	EXISTING / DEMOLITION PLAN 1:50	A
25080-A04	PROPOSED PLAN 1:50 / 1:20	A
25080-A05	UNISEX ACCESS TOILET ELEVATIONS 01 1:20	A
25080-A05.1	UNISEX ACCESS TOILET ELEVATIONS 02 1:20	A
25080-A05.2	UNISEX ACCESS TOILET ELEVATIONS 03 1:20	A
25080-A06	KITCHEN DETAILS 01 1:20	A
25080-A07	GENERAL NOTES	A

EX. SERVICE REQUIREMENTS
EXIT REQUIREMENTS
ILLUMINATED EXIT SIGN FITTED DIRECTLY ABOVE DOORS - TO COMPLY WITH AS 2293.1 AND PART E4 OF THE NCC.
ARTIFICIAL LIGHTING
ARTIFICIAL LIGHTING SHALL BE INSTALLED TO COMPLY WITH CLAUSE F4.4 OF THE NCC AND AS/NZS 1680. CONTRACTOR TO CONSIDER ENERGY EFFICIENCY AND PART J OF NCC.
ARTIFICIAL VENTILATION
MECHANICAL VENTILATION TO BE BALANCED FOR PROPOSED LAYOUT. ANY NEW INSTALLATION TO COMPLY WITH CLAUSE F4.5 OF THE NCC AND AS/NZS 3666.1.
EMERGENCY LIGHTING
EMERGENCY LIGHTING TO BE IN ACCORDANCE WITH AS 2293.1 & PART E4 OF THE NCC.
FIRE SAFETY
SMOKE ALARMS MUST COMPLY WITH AS 1670.1. CONNECT DIRECTLY INTO THE ELECTRICAL SYSTEM (MUST POSSESS BATTERY BACK-UP).

A01. DRAWING INDEX AND LOCATION PLAN

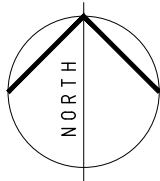
GLENORCHY CITY COUNCIL PLANNING SERVICES

APPLICATION No. : PLN-26-243

DATE RECEIVED: 16/09/2026

REVISIONS			
Rev.	Description:	By:	Date:
A	BUILDING APPROVAL.	AE	14.07.26

GENERAL NOTES			
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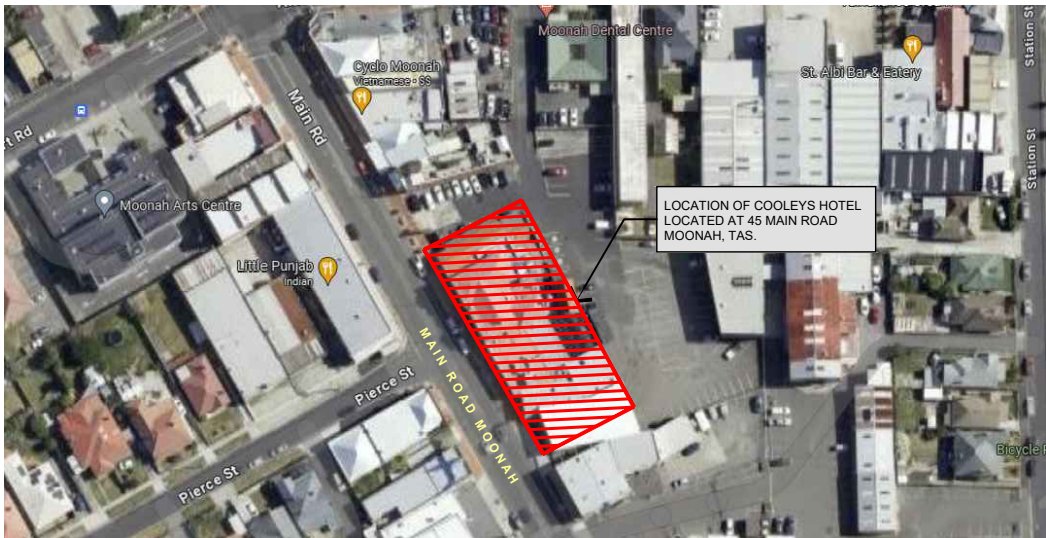


SHEET No. **1** OF **9**

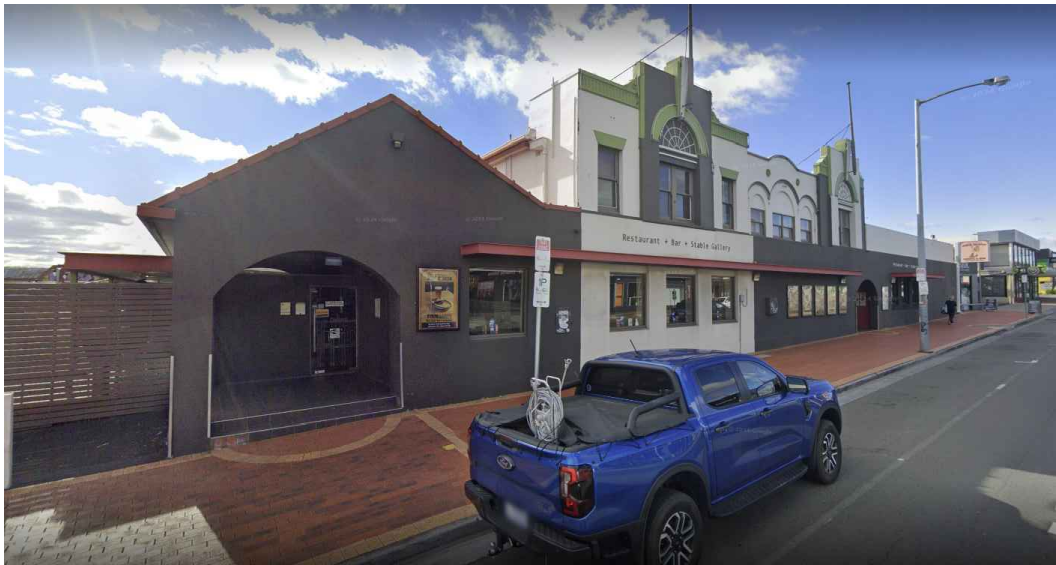


CERTIFIED BUILDING PRACTITIONER - ARCHITECT
TAS - CC982U VIC - 17933 NSW - 9523
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THE STUDIO 49A DAVEY STREET HOBART
Phone: (03) 6224 1822 admin@mcaarchitects.com.au
Anna: 0439 330 923 Michael: 0418 124 355

PROJECT TITLE PROPOSED ALTERATIONS & ADDITIONS No. 45 MAIN ROAD MOONAH TAS 7009 for COOLEY'S PTY LTD.				
ISSUE BUILDING APPROVAL				
DRAWING TITLE DRAWING INDEX AND LOCATION PLAN				
Scale: - @ A3	Drawn: AEE	Checked:	Approved:	Date: 14.07.2026
REVISION: A				
File: -				
PROJECT No: 25080				



FRONT ELEVATION (MAIN ROAD MOONAH)



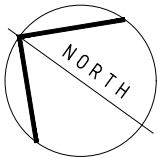
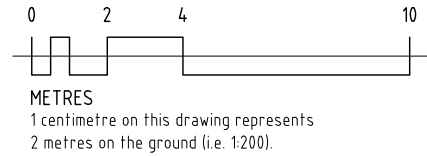
LOCATION PLAN

REVISIONS

Rev.	Description:	By:	Date:
A	BUILDING APPROVAL.	AE	14.07.26

GENERAL NOTES

- o CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS. ADVISE PROJECT MANAGER AND ARCHITECT OF DISCREPANCIES WHICH MAY OCCUR.
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- o ALL GLAZING TO COMPLY WITH AS 1288.
- o NO SMOKING ON SITE.
- o NO DOGS ON SITE.



SHEET No. **2** OF **9**



CERTIFIED BUILDING PRACTITIONER - ARCHITECT
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PROJECT TITLE
**PROPOSED ALTERATIONS & ADDITIONS
No. 45 MAIN ROAD MOONAH TAS 7009
for COOLEY'S PTY LTD.**

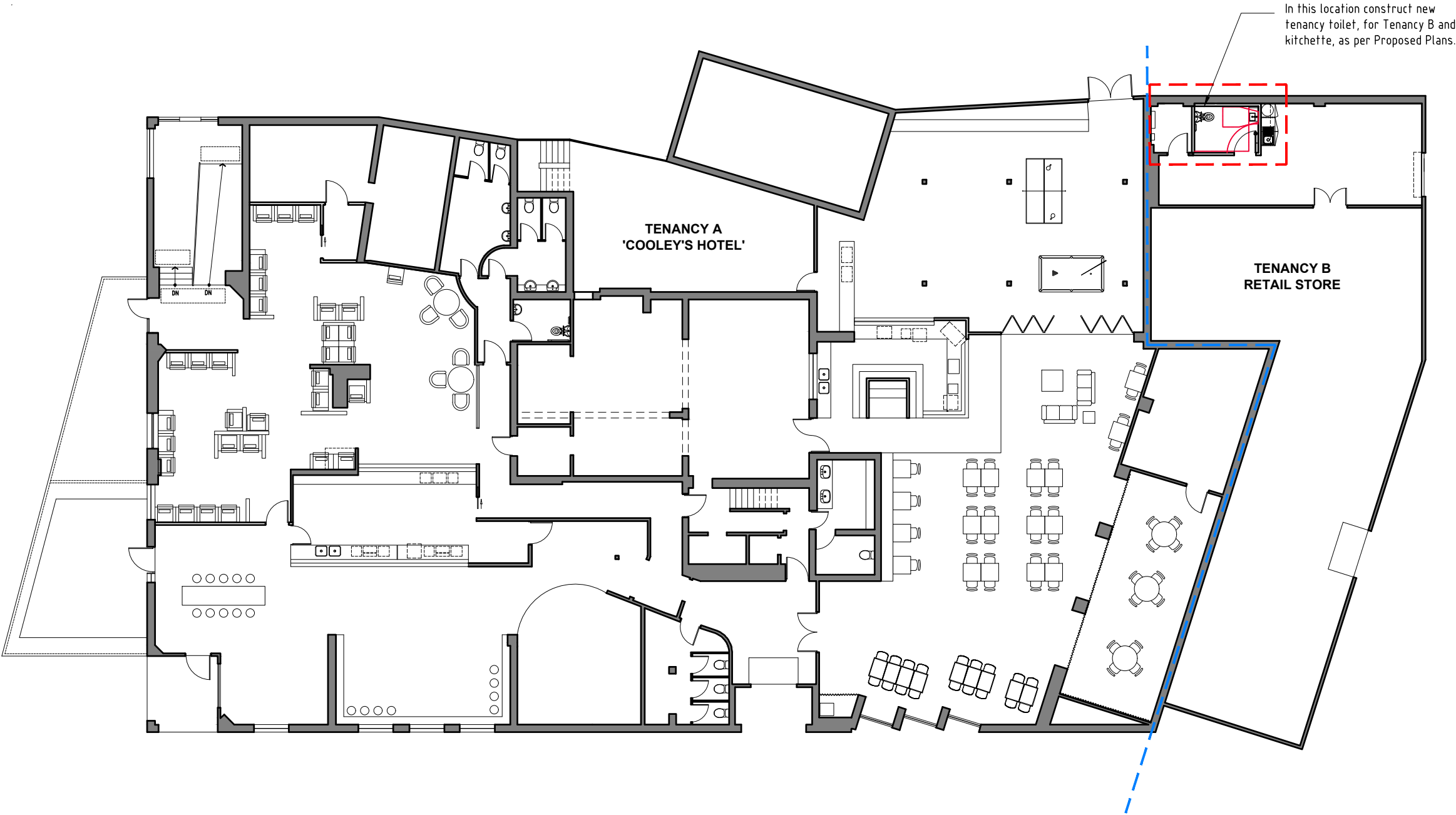
ISSUE
BUILDING APPROVAL

DRAWING TITLE
SITE PLAN

Scale:	Drawn:	Checked:	Approved:	Date:
1:200 @ A3	AEE			14.07.2026

REVISION: **A**
File: **-**
PROJECT No: **25080**

A02



A02. SITE PLAN 1:200

WALL LEGEND

	EXISTING WALLS TO BE RETAINED.
	EXISTING WALLS TO BE DEMOLISHED.

DEMOLITION NOTES

GENERALLY DEMOLITION WORKS MUST BE CARRIED OUT IN ACCORDANCE WITH AS 2601-2001: DEMOLITION OF STRUCTURES & REGULATIONS 45, 46 & 47 OF THE BUILDING REGULATIONS (Tas.) 2016.

PROCEDURES & METHODS OF DEMOLITION MUST BE ADEQUATE TO PREVENT INJURY TO PERSONS & AVOID DAMAGE TO NEIGHBORING PROPERTIES.

ALL DEMOLISHED MATERIALS, RUBBISH & DEBRIS SHALL BE REMOVED FROM THE SITE ON COMPLETION OF DEMOLITION.

BEFORE REMOVING EXISTING WALLS SHOWN TO BE DEMOLISHED, BUILDER SHALL CONFIRM ON-SITE WHETHER THEY ARE LOADBEARING / BRACING OR NOT. IF IT IS FOUND THAT THEY ARE LOADBEARING / BRACING, A STRUCTURAL ENGINEER MUST BE ENGAGED TO DETERMINE ANY BEAMS REQUIRED TO SUPPORT THESE EXISTING LOADS.

ALL REDUNDANT STORMWATER, SEWER AND WATER CONNECTIONS ASSOCIATED WITH THE DEMOLITION SHALL BE CUT & SEALED TO THE SATISFACTION OF COUNCIL'S SENIOR PLUMBING INSPECTOR.

THE REMOVAL OF EXISTING PLUMBING FIXTURES SHALL INCLUDE ALL ASSOCIATED WASTE & VENT PIPES, FLOOR DRAINS, WATER SERVICE PIPEWORK BRACKETS, SUPPORTS etc. & SEAL OFF EXISTING SERVICES. SEAL OFF & MAKE GOOD ALL FLOOR, WALL & ROOF PENETRATIONS.

GENERALLY, MAKE GOOD TO EXISTING FLOORS, WALLS & CEILINGS WHERE ALL DEMOLITION WORK OCCURS TO MATCH EXISTING AS & WHERE REQUIRED.

ASBESTOS NOTES

IMPORTANT:

IDENTIFY ASBESTOS OR ASBESTOS CONTAINING MATERIALS (ACM'S) AT THE SITE.

IF IN PLACE, REFER TO THE ASBESTOS REGISTER FOR DETAILS.

IF NOT IN PLACE, A THOROUGH INSPECTION IS TO BE UNDERTAKEN BY A SUITABLY 'COMPETENT' PERSON & RECORDED IN DETAIL IN AN ASBESTOS REGISTER.

ASBESTOS REMOVAL SHALL BE CARRIED OUT BY QUALIFIED PERSONNEL ONLY IN ACCORDANCE WITH RELEVANT STANDARDS / CODES OF PRACTICE (PREFERABLY 'CLASS A' ASBESTOS REMOVAL LICENCE HOLDERS ONLY), WITH A THOROUGH 'ASBESTOS MANAGEMENT PLAN' IN PLACE.

FURTHERMORE, IF MORE THAN 10 sqm. OF ASBESTOS IS TO BE REMOVED A VISUAL CLEARANCE CERTIFICATE FORM No. AR4 IS TO BE COMPLETED & SUBMITTED TO THE BUILDING SURVEYOR. RECORDS OF CORRECT DISPOSAL ARE TO BE SUBMITTED TO THE BUILDING SURVEYOR FOR ANY ASBESTOS REMOVED.

A03. EXISTING / DEMOLITION PLAN 1:50

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-26-243

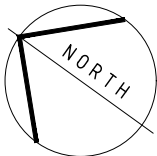
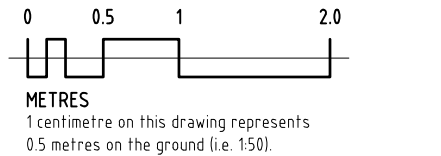
DATE RECEIVED: 16/09/2026

REVISIONS

Rev.	Description:	By:	Date:
A	BUILDING APPROVAL.	AE	14.07.26

GENERAL NOTES

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- o ALL GLAZING TO COMPLY WITH AS 1288.
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- o NO DOGS ON SITE.



SHEET No. **3** OF **9**



MCA ARCHITECTS

CERTIFIED BUILDING PRACTITIONER - ARCHITECT
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THE STUDIO 49A DAVEY STREET HOBART
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Anna: 0439 330 923 Michael: 0418 124 355

PROJECT TITLE
**PROPOSED ALTERATIONS & ADDITIONS
No. 45 MAIN ROAD MOONAH TAS 7009
for COOLEY'S PTY LTD.**

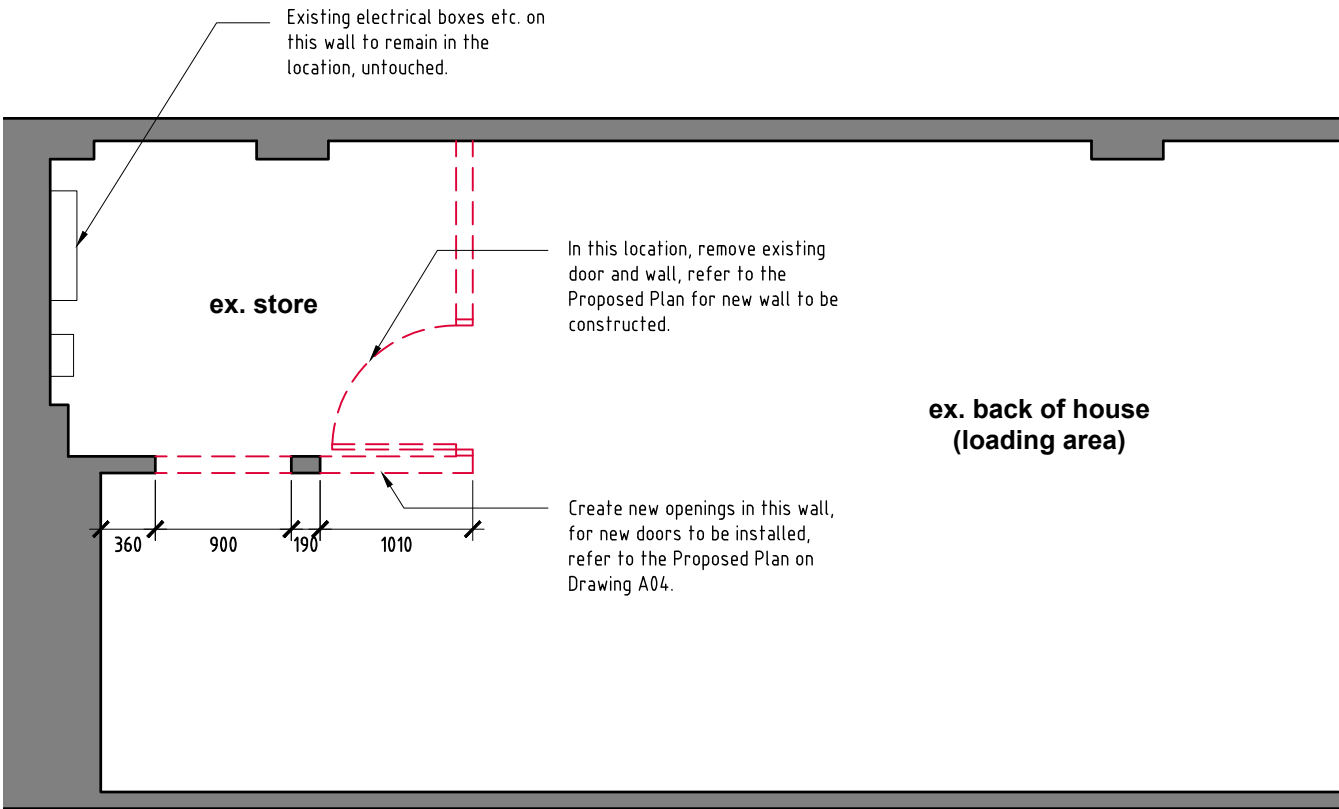
ISSUE
BUILDING APPROVAL

DRAWING TITLE
**EXISTING / DEMOLITION
PLAN**

Scale:	Drawn:	Checked:	Approved:	Date:
1:50 @ A3	AEE			14.07.2026

REVISION: **A**
File: **-**
PROJECT No: **25080**

A03



WALL LEGEND

	EXISTING WALLS TO BE RETAINED.
	NEW WALLS TO BE CONSTRUCTED.

AS 1428.1-2009 - CLAUSE 13.1
LUMINANCE CONTRAST OF DOORWAYS

ALL DOORWAYS SHALL HAVE A MINIMUM LUMINANCE CONTRAST OF 30% PROVIDED BETWEEN -

- (a). DOOR LEAF AND DOOR JAMB;
(b). DOOR LEAF AND ADJACENT WALL;
(c). ARCHITRAVE AND WALL;
(d). DOOR LEAF AND ARCHITRAVE; or
(e). DOOR JAMB AND ADJACENT WALL.

THE MINIMUM WIDTH OF THE AREA OF LUMINANCE CONTRAST SHALL BE 50mm. REFER TO SPECIFICATIONS &/OR LUMINANCE CONTRAST CALCULATOR BY INTERIOR DESIGNER FOR FULL DETAILS.

PAINTING SCHEDULE

NEW AND EXISTING PLASTERBOARD WALLS :
1 COAT PLASTERBOARD SEALER (NEW)
2 COATS OF 'DULUX' LO-SHEEN WASHABLE LATEX
DULUX 'NATURAL WHITE' (15W)

EXISTING CEILING - IN STORE AND WC ONLY:
2 COATS OF 'DULUX' LO-SHEEN WASHABLE LATEX
DULUX 'NATURAL WHITE' (15W)

NEW TIMBER DOORS - STORE AND WC:
INCLUDING EXISTING TOILET DOORS.
1 COAT OF 3 IN 1 (PRIMER/SEALER/UNDERCOAT).
3 COATS OF 'DULUX' SEMI-GLOSS ENAMEL
COLOUR DULUX 'TRANQUIL RETREAT'

WALL TYPES

WT1 90mm TIMBER STUD FRAMING
1 x 13mm AQUACHEK PLASTERBOARD ON WC SIDE.
PAINT FINISH, WITH 150mm COVERED VINYL SKIRTING.

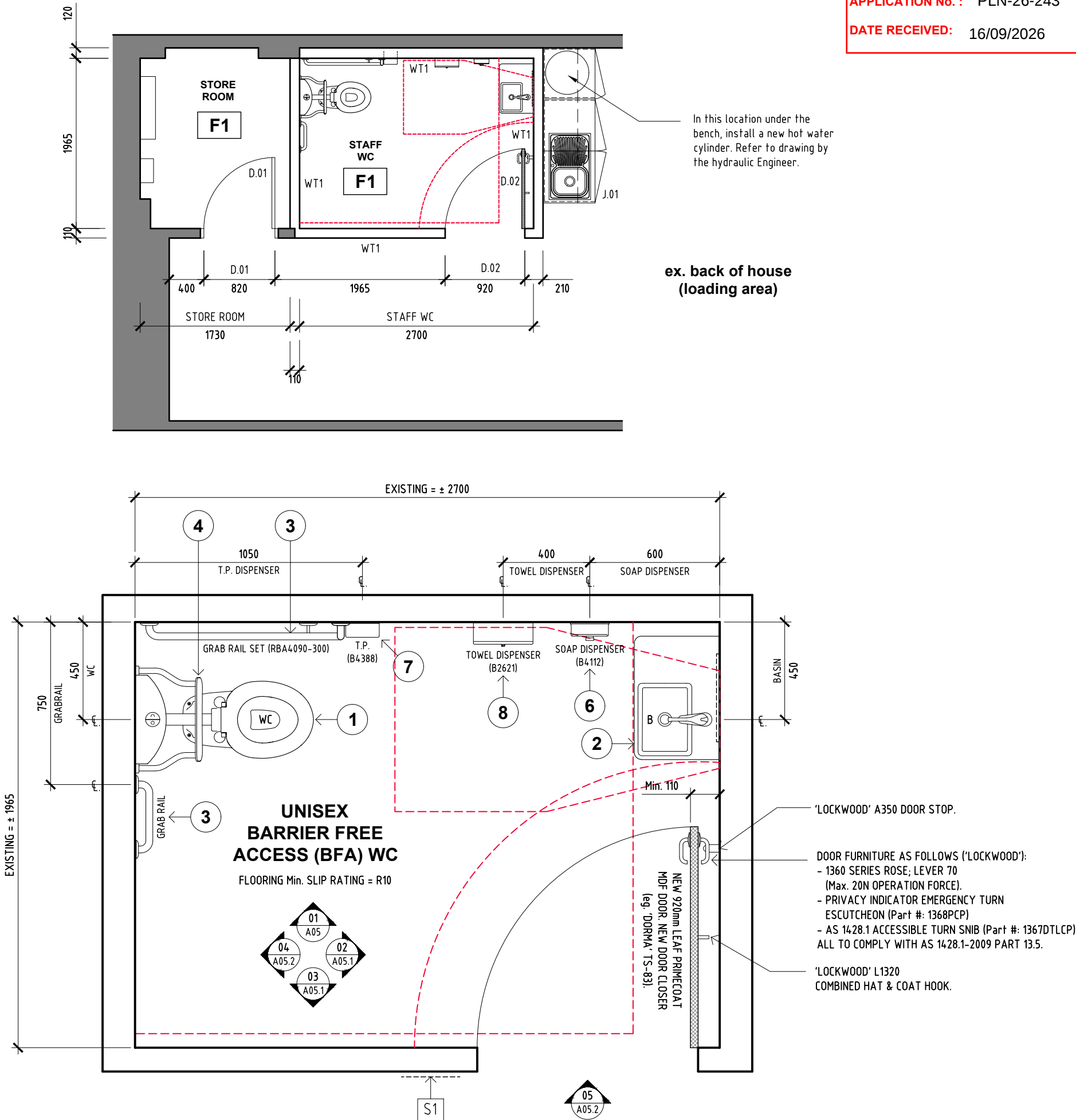
FLOOR FINISHES TYPES

F1 FLOOR VINYL
'POLYFLOR' PALETTONE
PENCIL LEAD 8608 2m x 20.0m
MATCHING 100mm COVERED VINYL SKIRTING

FLOOR COVERING NOTES

SUBMIT MANUFACTURERS DETAILS FOR ANY NEW CARPET &/OR FLOOR VINYL SHOWING THE FIRE HAZARD PROPERTIES TO ALLOW ASSESSMENT WITH SPECIFICATION C1.10 OF THE B.C.A, PRIOR TO INSTALLATION.
FLOOR COVERINGS / SURFACES SHALL ALSO COMPLY WITH PART 7 OF AS 1428.1-2009 (DESIGN FOR ACCESS & MOBILITY).

A04. PROPOSED FLOOR PLAN 1:50 / 1:20



GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-26-243

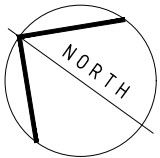
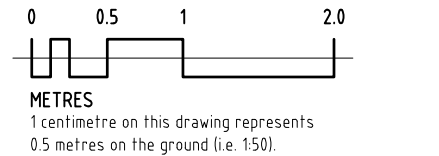
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REVISIONS

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A	BUILDING APPROVAL.	AE	14.07.26

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- o NO DOGS ON SITE.



SHEET No. 4 OF 9



CERTIFIED BUILDING PRACTITIONER - ARCHITECT
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PROJECT TITLE
**PROPOSED ALTERATIONS & ADDITIONS
No. 45 MAIN ROAD MOONAH TAS 7009
for COOLEY'S PTY LTD.**

ISSUE
BUILDING APPROVAL

DRAWING TITLE
**PROPOSED FLOOR PLAN
1:50 AND 1:20**

Scale:	Drawn:	Checked:	Approved:	Date:
- @ A3	AEE			14.07.2026

REVISION: **A**
File: **-**
PROJECT No: **25080**

A04

BFA WC FIXTURES SCHEDULE

- 1

'CAROMA' COSMO SOVEREIGN CARE TOILET SUITE WITH BACKREST. CARAVELLE SINGLE FLAP SEAT (SB = Sorrento Blue). S-TRAP (Code No. 987919BSB).
- 2

'CAROMA' CUBE EXTENSION LHS WALL BASIN (Code No. 864215W).
'CAROMA' ECO CHROME BOTTLE TRAP (Code No. 687295C).
'CAROMA' ACQUA CARE BASIN MIXER (Code No. 90989C5A).
- 3

'RBA' SATIN FINISH STAINLESS STEEL GRAB RAILS
90° LH + 300 STRAIGHT GRAB RAIL SET: (Code No. RBA4090-300 - LEFT HAND).
- 4

'CAROMA' BACKREST AS SUPPLIED WITH WC.
- 5

'RBA' MIRROR WITH STAINLESS STEEL ANGLE FRAME - SAFETY GLASS (Code No. B2908-1639).
- 6

'RBA' CONTURA SURFACE-MOUNTED SOAP DISPENSER (Code No. B4112).
- 7

'CAROMA' LIANO II TOILET ROLL HOLDER (Code No. 946441C).
- 8

'RBA' CONTURA SURFACE-MOUNTED PAPER TOWEL DISPENSER (Code No. B2621).
- S1

UNISEX ACCESSIBLE TOILET LEFT HAND TRANSFER SYMBOL TO COMPLY WITH AS 1428.1-2009 & PART D3.6 OF THE B.C.A. (NOM. 270 x 190mm).

NOTES

1. ITEMS / FIXTURES AS SPECIFIED OR 'AS SELECTED' TO COMPLY WITH AS 1428.1-2009: 'DESIGN FOR ACCESS AND MOBILITY'.
2. ALL SETOUT DIMENSIONS / CLEARANCES ARE TO BE FROM FINISHED SURFACES. ALLOW FOR ALL WALL LININGS etc.



S1 UNISEX ACCESSIBLE TOILET LEFT HAND TRANSFER SYMBOL TO COMPLY WITH AS 1428.1-2009 & PART D3.6 OF THE B.C.A. (NOM. 270 x 190mm).

A05. UNISEX ACCESS TOILET - ELEVATIONS 01 1:20

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-26-243

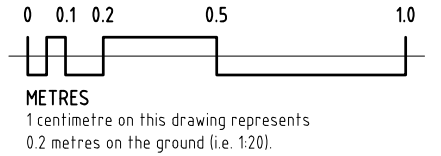
DATE RECEIVED: 16/09/2026

REVISIONS

Rev.	Description:	By:	Date:
A	BUILDING APPROVAL.	AE	14.07.26

GENERAL NOTES

- o CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS. ADVISE PROJECT MANAGER AND ARCHITECT OF DISCREPANCIES WHICH MAY OCCUR.
- o SCHEDULES DOCUMENTS MUST BE READ IN CONJUNCTION WITH ALL DRAWINGS AND THE CONTRACT SPECIFICATION TAKES PRECEDENCE OVER OTHER DOCUMENTS. ADVISE PROJECT MANAGER AND ARCHITECT OF DISCREPANCIES.
- o FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DIMENSIONS.
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- o ALL GLAZING TO COMPLY WITH AS 1288.
- o NO SMOKING ON SITE.
- o NO DOGS ON SITE.



SHEET No. 5 OF 9

CERTIFIED BUILDING PRACTITIONER - ARCHITECT
TAS - CC982U VIC - 17933 NSW - 9523
PO BOX 1 BATTERY POINT TASMANIA 7004
THE STUDIO 49A DAVEY STREET HOBART
Phone: (03) 6224 1822 admin@mcaarchitects.com.au
Anna: 0439 330 923 Michael: 0418 124 355

PROJECT TITLE
**PROPOSED ALTERATIONS & ADDITIONS
No. 45 MAIN ROAD MOONAH TAS 7009
for COOLEY'S PTY LTD.**

ISSUE
BUILDING APPROVAL

DRAWING TITLE
**UNISEX ACCESS TOILET
ELEVATIONS 01**

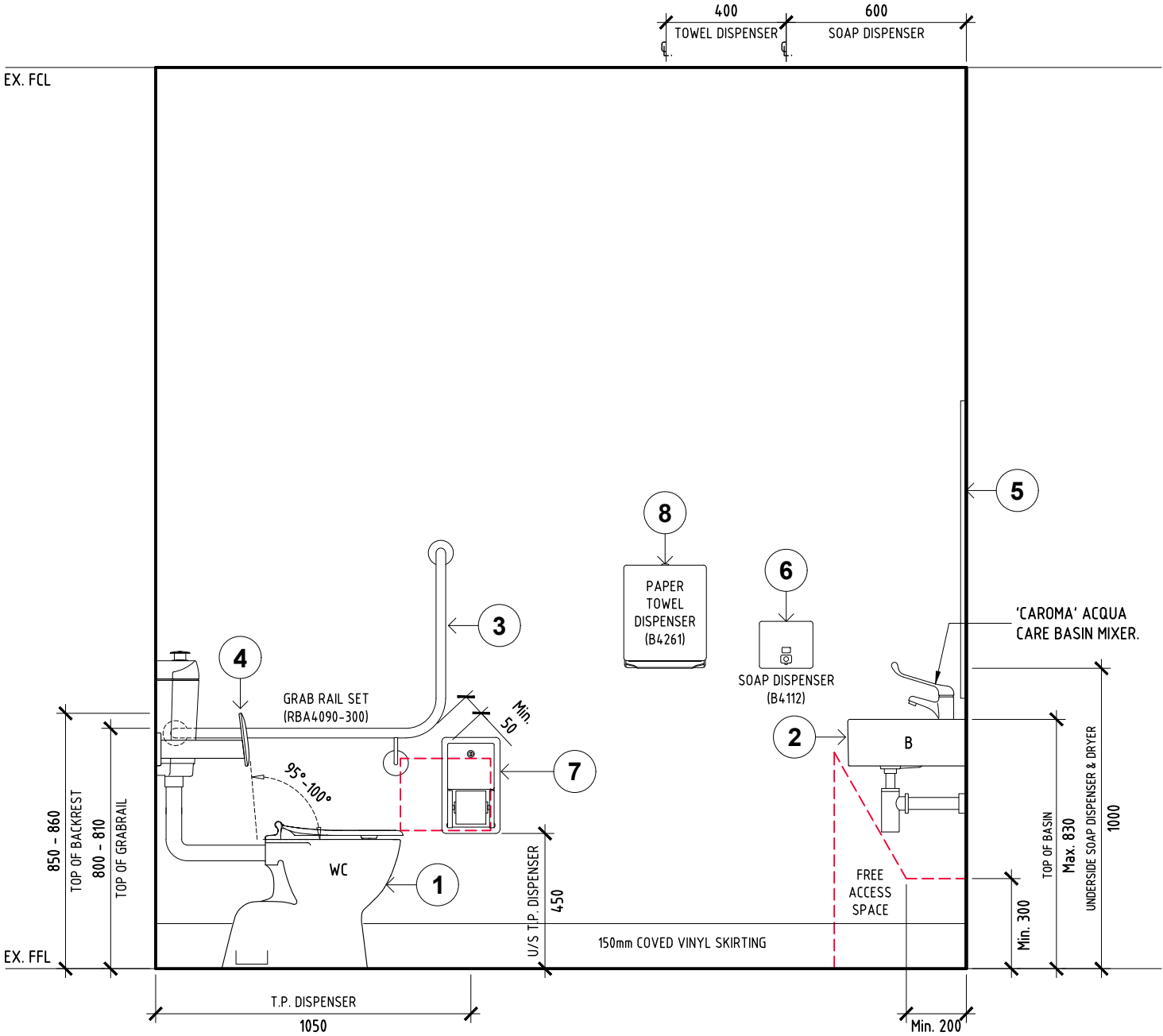
Scale:	Drawn:	Checked:	Approved:	Date:
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REVISION: **A**

File: **-**

PROJECT No: **25080**

A05



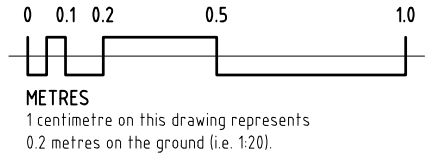
01 ELEVATION 01 1:20
A04 UNISEX BARRIER FREE ACCESS WC
TO COMPLY WITH AS 1428.1-2021.

REVISIONS

Rev.	Description:	By:	Date:
A	BUILDING APPROVAL.	AE	14.07.26

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SHEET No. 6 OF 9



CERTIFIED BUILDING PRACTITIONER - ARCHITECT
TAS - CC982U VIC - 17933 NSW - 9523
PO BOX 1 BATTERY POINT TASMANIA 7004
THE STUDIO 49A DAVEY STREET HOBART
Phone: (03) 6224 1822 admin@mcaarchitects.com.au
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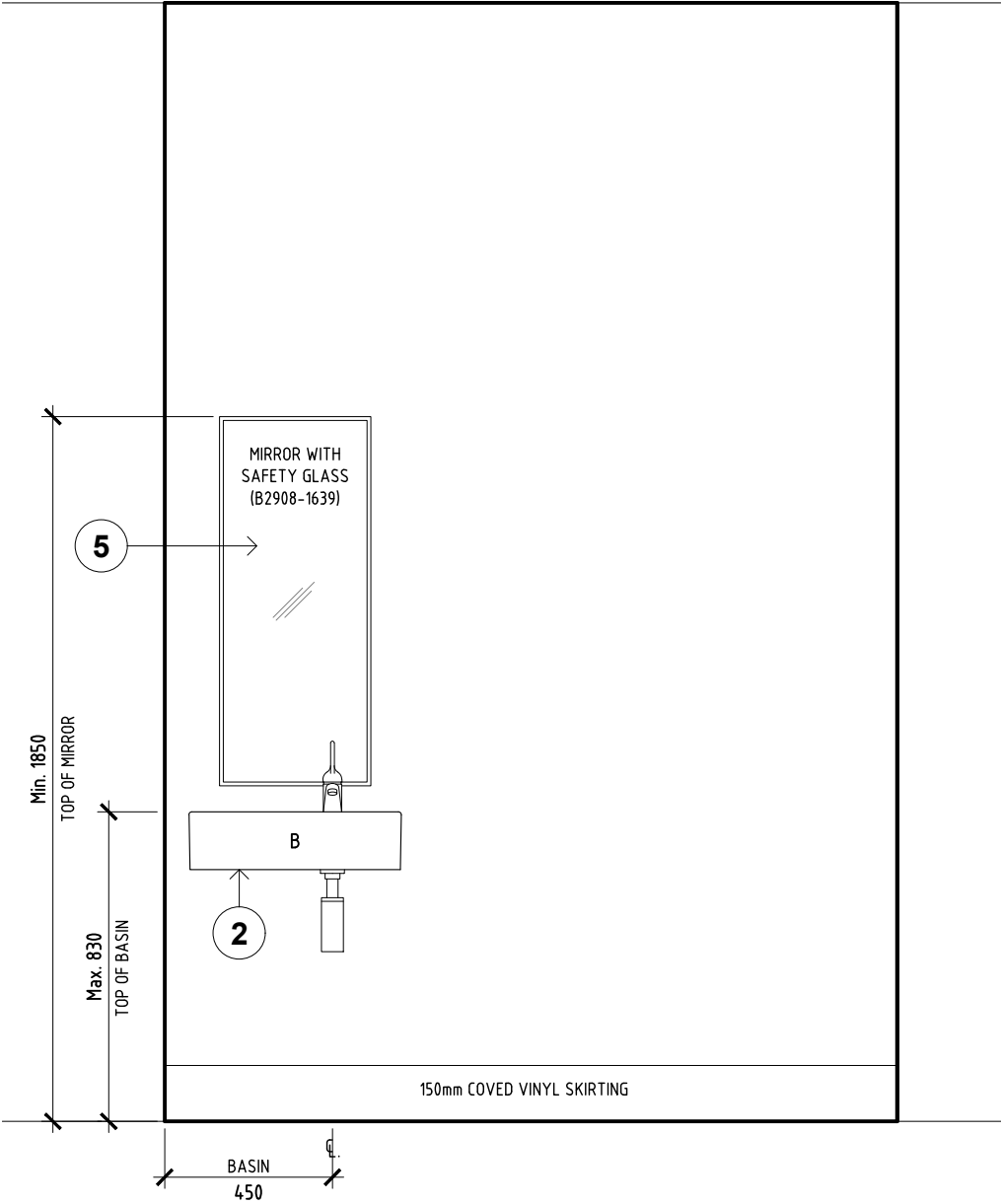
PROJECT TITLE
**PROPOSED ALTERATIONS & ADDITIONS
No. 45 MAIN ROAD MOONAH TAS 7009
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ISSUE
BUILDING APPROVAL

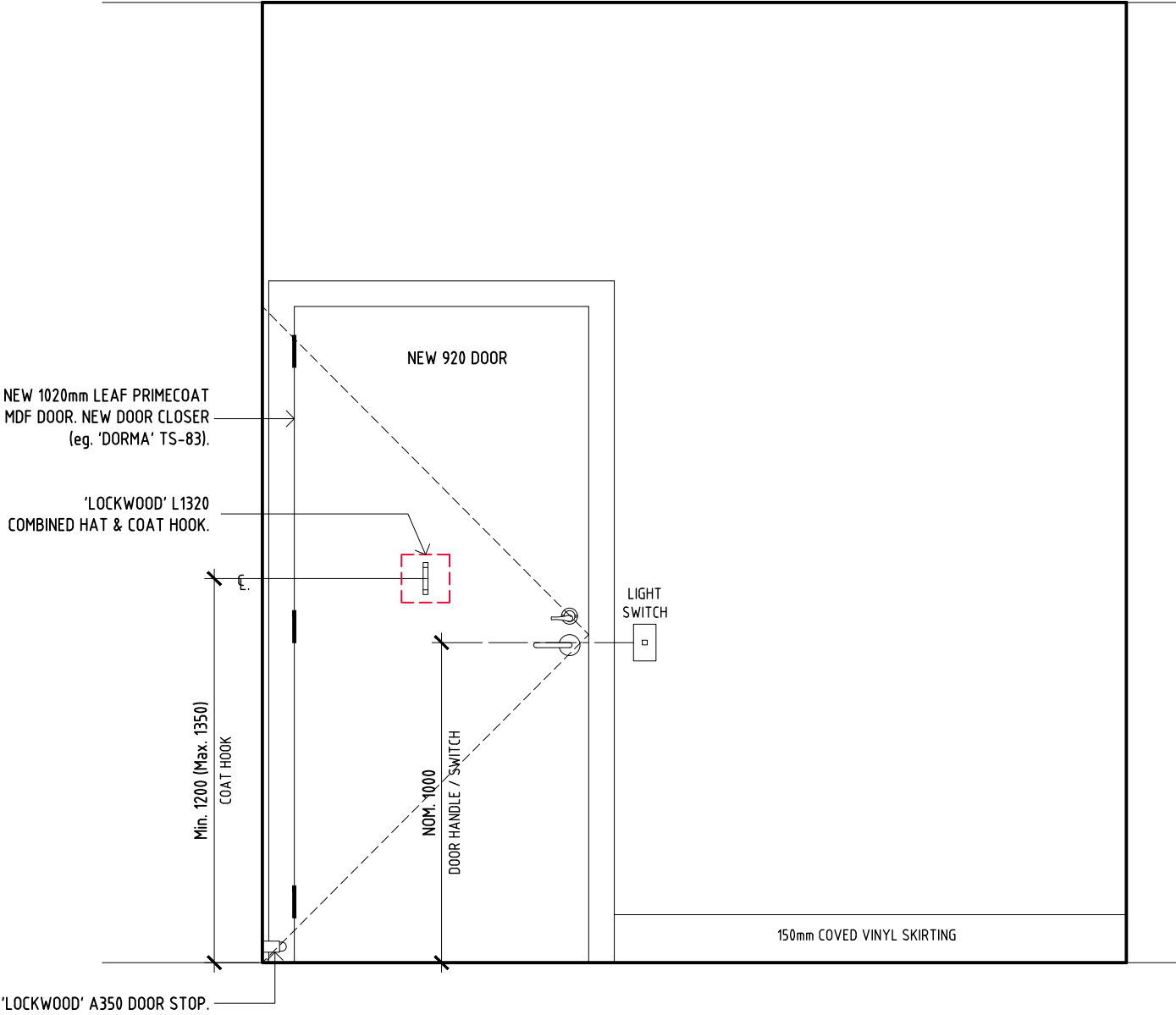
DRAWING TITLE
**UNISEX ACCESS TOILET
ELEVATIONS 02**

Scale:	Drawn:	Checked:	Approved:	Date:
1:20 @ A3	AEE			14.07.2026

REVISION:	A	A05.1
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PROJECT No:	25080	



02
A04 **ELEVATION 02 1:20**
UNISEX BARRIER FREE ACCESS WC
TO COMPLY WITH AS 1428.1-2021.

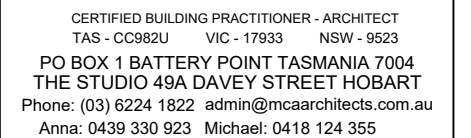
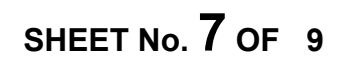


03
A04 **ELEVATION 03 1:20**
UNISEX BARRIER FREE ACCESS WC
TO COMPLY WITH AS 1428.1-2021.

A05.1. UNISEX ACCESS TOILET - ELEVATIONS 02 1:20

GENERAL NOTES

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REVISION: **A**

File: **-**

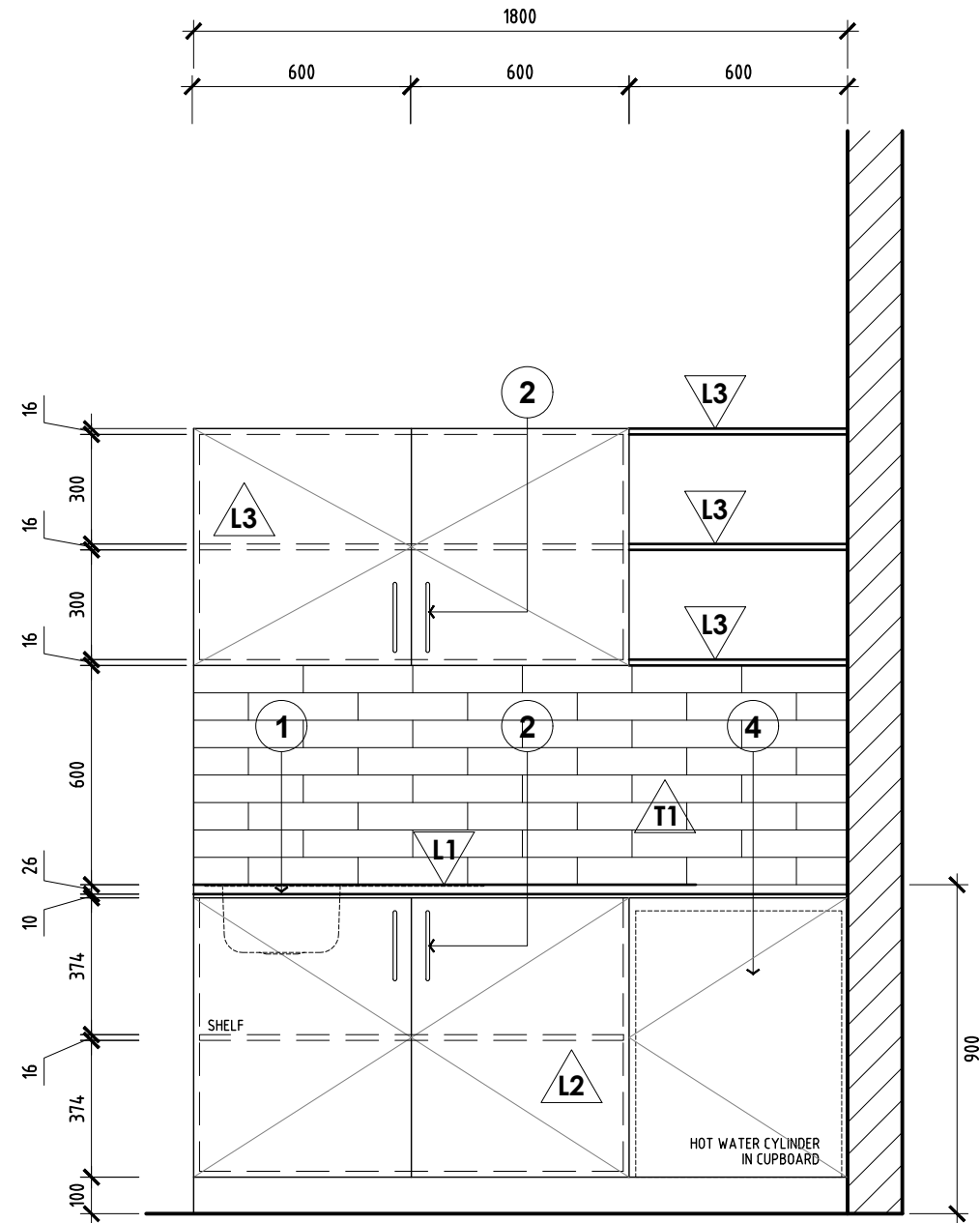
PROJECT No: **25080**

A05.2

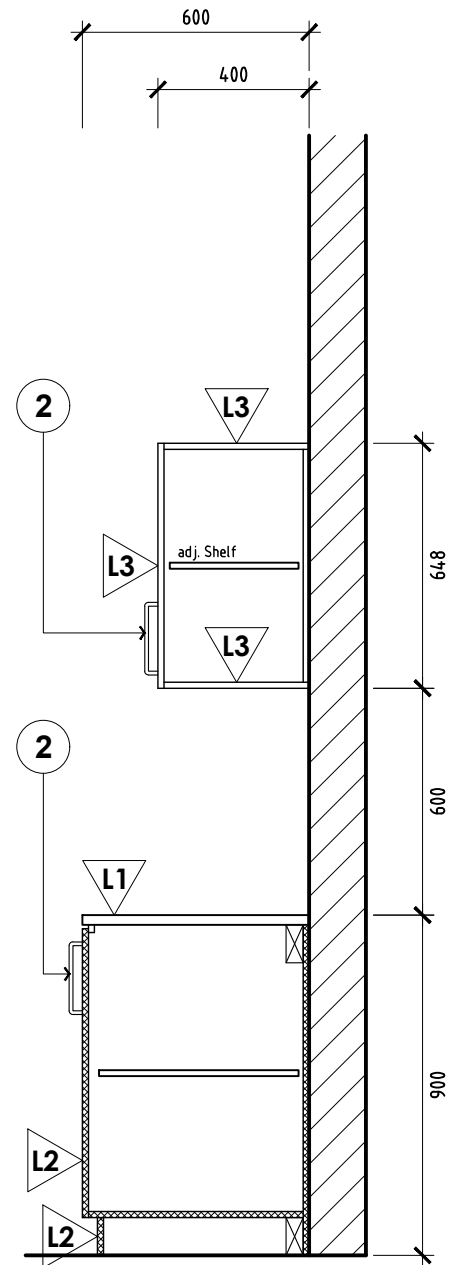


WALL LEGEND	
	EXISTING WALLS TO BE RETAINED.
	NEW WALLS TO BE CONSTRUCTED.

FINISHES SCHEDULE	
1	'CLARK' - ADVANCE SINGLE END BOWL 1TH, LHB. (Code No. 1503.L) with 'CLARK' ROUND PIN SINK MIXER - CHROME LF - (Code No.CL10006.C4AF)
2	'HANDLE HOUSE' - C28 CASTILLA D ROUND BAR CABINET HANDLE - 192mm, Stainless Steel
MATERIAL SCHEDULE	
L1	'LAMIEX' - MARMO GRIGIO - NATURAL FINISH (Code No. 3005)
L2	'LAMINEX' - TERRIL - NATURAL FINISH (Code No. 2297)
L3	'LAMINEX' - OYSTER GREY - NATURAL FINISH (Code No. 327)
T1	'BEAUMONT TILES' - CRAFT WHITE GLOSS TILE 75 x 300 x 9mm (Code No. 1252712)
NOTES	
1. ALL UNITS TO BE CONSTRUCTED SIMILARLY - CARCASE, DOORS, DRAWER FRONTS TO BE 16mm MDF TO SELECTED LAMINATE FINISH. 2. BENCHTOPS TO BE 26mm MDF TO SELECTED POST-FORMED LAMINATE FINISH. 3. CUPBOARD & DRAWER INTERIORS TO BE WHITE LAMINATE FINISH.	



01
A03
ELEVATION 01
1:20 KITCHENETTE ELEVATION



AA
A03
SECTION A-A
1:20 KITCHENETTE ELEVATION

A06. PROPOSED KITCHENETTE JOINERY 1:20

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-26-243

DATE RECEIVED: 16/09/2026

REVISIONS			
Rev.	Description:	By:	Date:
A	BUILDING APPROVAL.	AE	14.07.26
GENERAL NOTES - o CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS. ADVISE PROJECT MANAGER AND ARCHITECT OF DISCREPANCIES WHICH MAY OCCUR. - o SCHEDULES DOCUMENTS MUST BE READ IN CONJUNCTION WITH ALL DRAWINGS AND THE CONTRACT SPECIFICATION TAKES PRECEDENCE OVER OTHER DOCUMENTS. ADVISE PROJECT MANAGER AND ARCHITECT OF DISCREPANCIES. - o FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DIMENSIONS. - o ALL MATERIALS AND PRODUCTS SPECIFIED TO BE USED STRICTLY IN ACCORDANCE WITH MANUFACTURERS DIRECTIONS WITH RESPECT TO PROCEDURE, COORDINATION OF WORKS AND ENVIRONMENTAL CONDITIONS. - o ALL MATERIALS AND WORKMANSHIP TO BE FIRST GRADE AND IN ACCORDANCE WITH RELEVANT CURRENT AUSTRALIAN STANDARDS, THE BUILDING CODE OF AUSTRALIA AND THE REQUIREMENTS OF RELEVANT LOCAL GOVERNMENT AUTHORITIES. - o ALL GLAZING TO COMPLY WITH AS 1288. - o NO SMOKING ON SITE. - o NO DOGS ON SITE.			
00.10.20.50.100 METRES 1 centimetre on this drawing represents 0.2 metres on the ground (i.e. 1:20).			
SHEET No. 8 OF 9			
MCA ARCHITECTS CERTIFIED BUILDING PRACTITIONER - ARCHITECT TAS - CC982U VIC - 17933 NSW - 9523 PO BOX 1 BATTERY POINT TASMANIA 7004 THE STUDIO 49A DAVEY STREET HOBART Phone: (03) 6224 1822 admin@mcaarchitects.com.au Anna: 0439 330 923 Michael: 0418 124 355			
PROJECT TITLE PROPOSED ALTERATIONS & ADDITIONS No. 45 MAIN ROAD MOONAH TAS 7009 for COOLEY'S PTY LTD.			
ISSUE BUILDING APPROVAL			
DRAWING TITLE KITCHENETTE DETAILS			
Scale: 1:20 @ A3	Drawn: AEE	Checked:	Approved: Date: 14.07.2026
REVISION: A			
File: -			
PROJECT No: 25080			

A06

NCC 2022 VOLUME ONE - BUILDING CODE OF AUSTRALIA CLASS 2 TO CLASS 9 BUILDINGS (GENERAL NOTES)		
GENERAL NOTES	D3D26 - OPERATION OF LATCH	PART J4 - ENERGY EFFICIENCY (BUILDING FABRIC)
WHEN CARRYING OUT THE BUILDING WORK, A BUILDER (or owner builder) SHOULD BE FAMILIAR WITH GENERAL CONSTRUCTION PRACTICES, THE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA (NCC 2022), AS WELL AS LOCAL COUNCIL RULES / REG'S. A COPY OF ALL PLANNING, BUILDING & PLUMBING PERMITS, AND DRAWINGS STAMPED "APPROVED" BY THE LOCAL AUTHORITY MUST BE KEPT ON SITE.	ALL EXIT DOORS SHALL BE FITTED WITH 'LOCKWOOD 3572 VESTIBULE' LOCKS AND LEVER LATCHES (OR EQUIVALENT TYPE) - TO COMPLY WITH D3D26 OF THE NCC 2022.	ALL RELEVANT BUILDING WORKS SHALL COMPLY WITH PART J (energy efficiency) OF THE NCC 2022.
	E1D14 - PORTABLE FIRE EXTINGUISHERS FIT PORTABLE FIRE EXTINGUISHERS IN ACCORDANCE WITH E1D14 OF THE NCC 2022. PORTABLE FIRE EXTINGUISHERS ARE TO BE SELECTED & INSTALLED IN ACCORDANCE WITH AS 2444. REFER TO FLOOR PLAN FOR LOCATIONS.	REQUIRED MINIMUM TOTAL R-VALUES (climate zone 7) SHALL BE AS FOLLOWS:- a). ROOF and/or CEILINGS - solution = R3.7 R3.5 CEILING INSULATION BATTS. b). WALLS - solution = R2.8 R2.5 H.D. WALL INSULATION BATTS & SISALATION. c). FLOORS (suspended and enclosed) - solution = R2.0 19mm 'YELLOWtongue R-flor' (R1.75) SHEET FLOORING + 'INSULBoard10' (R0.25) FIXED TO UNDERSIDE OF JOISTS. ALL BULK & REFLECTIVE THERMAL INSULATION MUST COMPLY WITH AS/NZS 4859.1, TO FORM A CONTINUOUS BARRIER WITH THE ROOF, CEILINGS, WALLS & FLOORS.
SPECIFICATION 7 - FIRE HAZARD PROPERTIES	PART E4 - VISIBILITY IN AN EMERGENCY EXIT SIGN AND WARNING SYSTEMS	
SUBMIT MANUFACTURERS DETAILS FOR THE NEW CARPET & FLOOR VINYL SHOWING THE FIRE HAZARD PROPERTIES TO ALLOW ASSESSMENT WITH SPECIFICATION C1.10 OF THE NCC 2019, PRIOR TO INSTALLATION. FLOOR COVERINGS / SURFACES SHALL ALSO COMPLY WITH PART 7 OF AS 1428.1-2009.	ILLUMINATED EXIT SIGN FITTED DIRECTLY ABOVE DOORS OR WHERE SHOWN ON ELECTRICAL PLANS (BY OTHERS) - TO COMPLY WITH AS 2293.1 AND PART E4 OF THE NCC 2022 (eg. 'LEGRAND' TYPE ER EXIT SIGN or SIMILAR).	
PART D3 ACCESS AND EGRESS - STAIRWAY CONSTRUCTION	PART F2 - WET AREAS AND OVERFLOW PROTECTION	PART J3 - GLAZING REFER TO ATTACHED GLAZING CALCULATOR.
STAIR CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF PART D3D14 GOINGS AND RISERS OF THE NCC 2022 VOLUME ONE - BUILDING CODE OF AUSTRALIA (1 MAY 2023). PUBLIC STAIRWAYS: D3D14 GOINGS AND RISERS: STAIR TREADS (GOING) - Min. 250mm Max. 355mm STAIR RISERS - Min. 115mm Max. 190mm SLOPE RELATIONSHIP: 2 RISERS + 1 GOING = Min. 550mm Max. 700mm BALUSTRADE CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF PART D3D18 OF THE NCC 2022. HANDRAIL CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF PART D3D22 HEIGHT OF BARRIERS OF THE NCC 2022.	WATERPROOFING OF WET AREAS TO COMPLY WITH AS 3740 & THE REQUIREMENTS OF PART F2 OF THE NCC 2022. WATERPROOFING OF INTERNAL WET AREAS (i.e. kitchen, bathrooms, toilet, laundry, etc.) SHALL BE CARRIED OUT IN ACCORDANCE WITH CLAUSE F2.D2 (NCC 2022). PROVIDE SUITABLE WATERPROOF FIBRE CEMENT SHEET AS A SUBSTRATE TO WALLS or WET AREA PLASTERBOARD (eg. 'GYPROCK AQUACHEK'). F1.13 - GLAZED ASSEMBLIES PROVIDE CERTIFICATION FOR THE WINDOWS AND GLAZING AT THE COMPLETION OF THE BUILDING WORKS TO VERIFY COMPLIANCE WITH THE REQUIREMENTS OF AS 1288 AND NCC 2022 B1F2 (GLAZING SAFETY)) AND AS 2047 AND NCC 2022 F3D4 (weatherproofing), FOR THE APPROPRIATE WIND CLASSIFICATION. FULLY FRAMED GLAZING SHALL BE 'GRADE A' SAFETY GLASS IN ACCORDANCE WITH TABLE 5.1. OF AS 1288-2006 (GLASS IN BUILDINGS - SELECTION & INSTALLATION). BUILDER SHALL CONFIRM WINDOW & DOOR FRAME SIZES ON SITE BEFORE INSTALLATION.	PART J5 - BUILDING SEALING BUILDING SEALING MUST COMPLY WITH PART J5 OF THE NCC 2022. ALL OPENABLE WINDOW SASHES AND AROUND EDGES OF EXTERNAL DOORS SHALL BE FITTED WITH SELF ADHESIVE FOAM OR RUBBER COMPRESSIBLE SEALS. ROOFS, EXTERNAL WALLS, EXTERNAL FLOORS AND ANY OPENING SUCH AS A WINDOW OR DOOR IN AN EXTERNAL WALL MUST BE CONSTRUCTED TO MINIMISE AIR LEAKAGE BY ENSURING INTERNAL LININGS AT CEILING, WALL AND FLOOR JUNCTIONS ARE CLOSE FITTING OR SEALED BY CAULKING, SKIRTING, ARCHITRAVES, CORNICES OR THE LIKE. EXHAUST FANS MUST BE FITTED WITH A SEALING DEVICE SUCH AS A SELF-CLOSING DAMPER, FILTER OR THE LIKE.
PART D4 ACCESS FOR PEOPLE WITH A DISABILITY	F6D5 - ARTIFICIAL LIGHTING	PART J6 - AIR CONDITIONING & VENTILATION REFER TO DWGS BY OTHERS FOR ALL MECHANICAL VENTILATION DETAILS / CERTIFICATION & NCC 2022 PART J6 CALCULATIONS / COMPLIANCE.
ALL DISABILITY ACCESS REQUIREMENTS MUST BE CARRIED OUT IN ACCORDANCE WITH AS 1428.1 & PART D4 OF THE NCC 2022. ALL ENTRANCES & SANITARY FACILITIES ACCESSIBLE BY PEOPLE WITH DISABILITIES SHALL BE MARKED IN ACCORDANCE WITH AS 1428.1. REFER TO DRAWINGS FOR LOCATIONS. TACTILE INDICATORS ARE TO BE INSTALLED IN ACCORDANCE WITH AS 1428.4 & TO MANUFACTURERS SPECIFICATIONS. TYPICALLY, STAIRS SHALL COMPLY WITH AS 1428.1. 1). Min. 1000mm CLEAR BETWEEN HANDRAILS. 2). STAIRWAYS SHOULD HAVE NO OPEN RISERS. 3). PROVIDE A STRIP OF CONTRASTING COLOUR (e.g. A PAINTED WHITE LINE) OR TEXTURE AT LEAST 25mm WIDE ON THE TREAD AT THE NOSING. 4). HANDRAILS - AS DETAILED ON DRAWINGS. ACCESS, FINISHES & FITTINGS INCLUDING PASSAGEWAYS, RAMPS, TACTILE INDICATORS, SIGNS, DOORWAYS & OTHER PARTS OF THE BUILDING REQUIRED TO BE ACCESSIBLE MUST COMPLY WITH THE PROVISIONS OF AS 1428.1-2021 & AS 1428.4.1-2021.	ARTIFICIAL LIGHTING SHALL BE INSTALLED TO COMPLY WITH CLAUSE F6P2 AND F6D5 & J7 OF THE NCC 2022 & AS/NZS 1680. ALL WIRING SHALL BE CONCEALED. REFER TO LIGHTING PLAN (INCL. J7 COMPLIANCE / CERTIFICATION) BY OTHERS.	PART J7 - ARTIFICIAL LIGHTING & POWER REFER TO DRAWINGS BY OTHERS FOR ALL ELECTRICAL & LIGHTING DETAILS / CERTIFICATION & NCC 2022 PART J7 CALCULATIONS / COMPLIANCE.
	PART F6 - LIGHT AND VENTILATION	PART J8 - HOT WATER SUPPLY
	LIGHT AND VENTILATION REQUIREMENTS IN ACCORDANCE WITH PART F6 & PART J6 OF THE NCC 2022. MECHANICAL VENTILATION OR AIR-CONDITIONING SYSTEMS ARE TO COMPLY WITH AS 1668.2 & AS/NZS 3666.1. REFER TO DWGS. BY OTHERS.	HOT WATER SUPPLY SYSTEM SHALL BE DESIGNED & INSTALLED IN ACCORDANCE WITH SECTION 8 OF AS/NZS 3500.4 OR CLAUSE 3.38 OF AS/NZS 3500.5 . THE FIRST 500mm OF PIPE FROM ANY HOT WATER STORAGE UNIT MUST BE INSULATED WITH Min. 19mm OF CLOSED CELL POLYMER (inside building) OR 25mm OF CLOSED CELL POLYMER (outside building).

DOOR SCHEDULE				
No.	ROOM	SIZE (H x W)	TYPE	FINISH
D.01	STORE ROOM	2100 x 820 cos.	NEW ALUMINIUM FRAMED SEMI-SOLID TIMBER DOOR.	'DULUX' TRANQUIL RETREAT. SEMI-GLOSS
D.02	STAFF WC	2100 x 920.	NEW ALUMINIUM FRAMED SEMI-SOLID TIMBER DOOR.	'DULUX' TRANQUIL RETREAT. SEMI-GLOSS

A07. GENERAL NOTES

REVISIONS

Rev.	Description:	By:	Date:
A	BUILDING APPROVAL.	AE	14.07.26

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PLANNING SERVICES

APPLICATION No. : PLN-26-243

DATE RECEIVED: 16/09/2026

MCA ARCHITECTS

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DRAWING TITLE
GENERAL NOTES

Scale:	Drawn:	Checked:	Approved:	Date:
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REVISION: A
File: -
PROJECT No: 25080

A07