

DEVELOPMENT APPLICATION

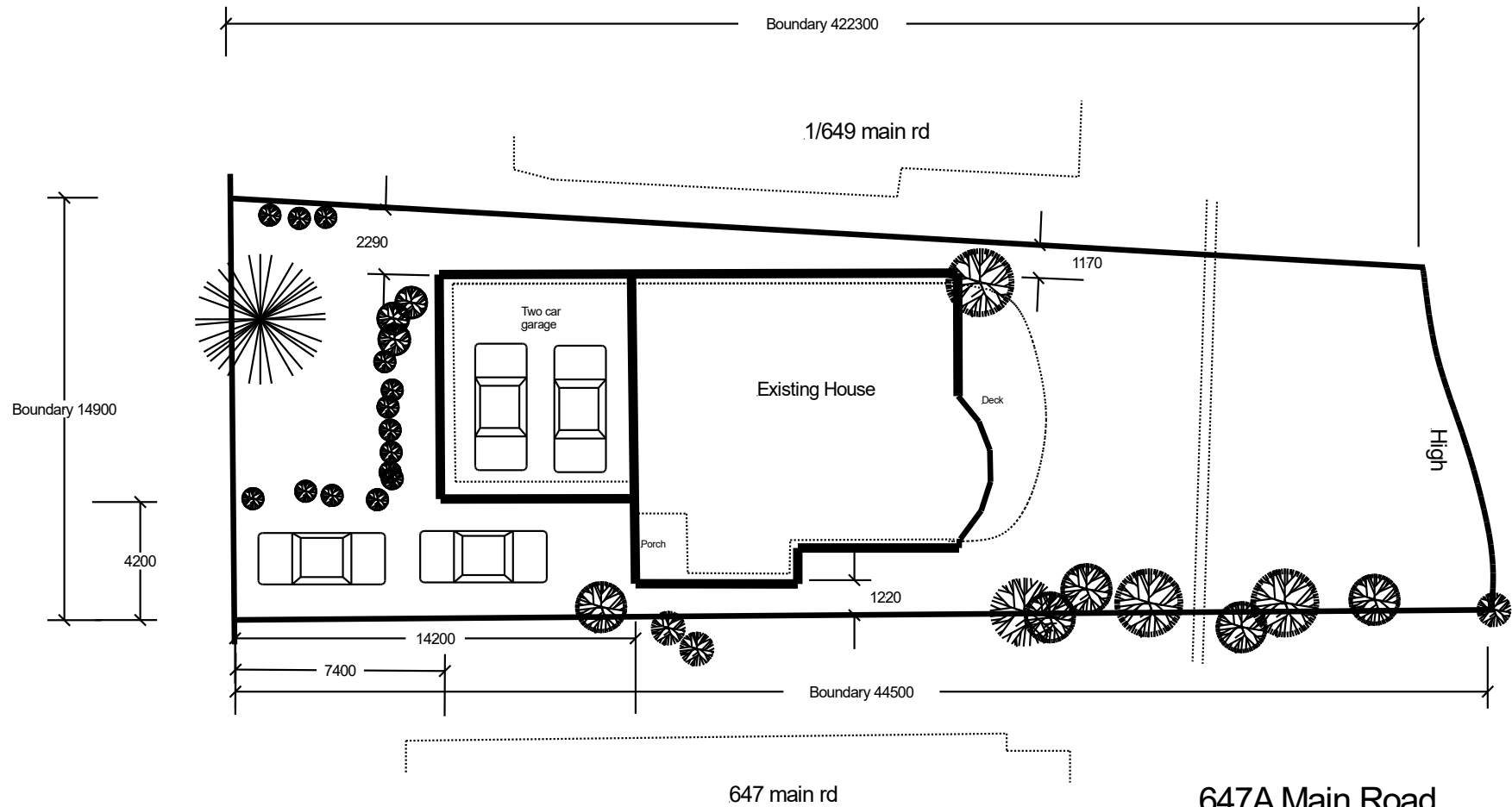
APPLICATION NUMBER:	PLN-26-245
PROPOSED DEVELOPMENT:	Change of use to Visitor Accommodation
LOCATION:	647a Main Road Berriedale
APPLICANT:	P T Dutton
ADVERTISING START DATE:	29/09/2026
ADVERTISING EXPIRY DATE:	13/10/2026

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **13/10/2026**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **13/10/2026**, or for postal and hand delivered representations, by 5.00 pm on **13/10/2026**.

Main Road Berriedale



GLENORCHY CITY COUNCIL PLANNING SERVICES
APPLICATION No PLN-26-245
DATE RECEIVED 24/09/2026

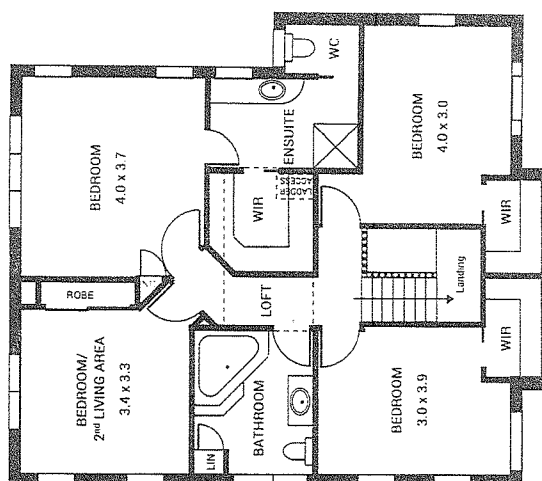
647A Main Road
Berriedale 579mSq

The information, ideas & concepts contained in this document are confidential. The recipient(s) of this document are prohibited from disclosing such information, ideas and concepts to any person without prior written consent of the building designer.	EXISTING SITE PLAN ALTERATIONS & ADDITIONS BUILDING APPLICATION		PAUL DUTTON 647A Main Rd Berriedale		JOB NO. 106 SHEET NO. A100 SCALE @ A3 1 : 300 DATE 24/12/2026 REV NO. A					
	Change of use application to holiday accommodation					BUILDING APPLICATION DESCRIPTION	A	24/12/2026	YS	

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

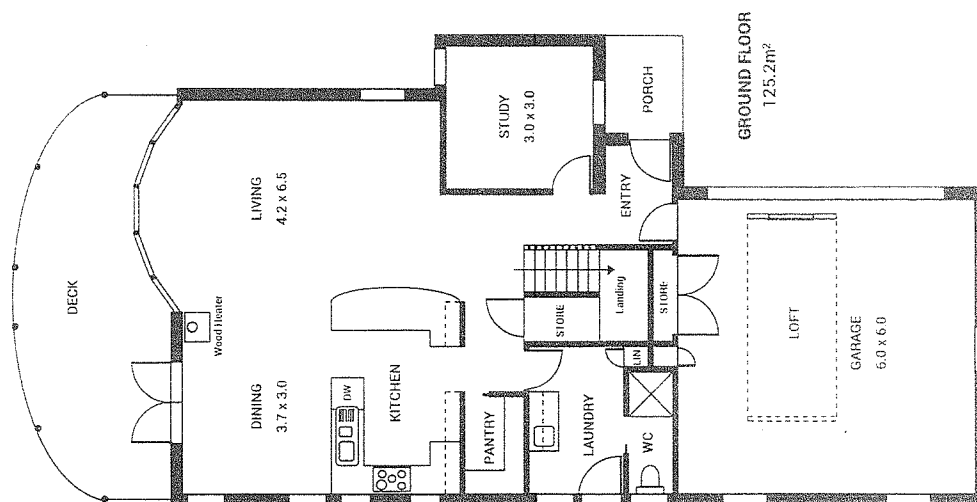
APPLICATION No. : PLN-26-245

DATE RECEIVED: 17/09/2026



FIRST FLOOR
90.6m²

Total Internal Floor Area (incl garage) = 216m²
House area = 176m²
Garage = 40m²
Deck = 13.6m²
Porch = 3.4m²
Sealed Lofts = 14m²
© D. Payward



GROUND FLOOR
125.2m²

229 Elizabeth Street
Hobart
6232 4999

eisproperty.com.au

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From:
Sent: Thu, 24 Sep 2026 15:52:42 +1000
To: "GCC Corporate Mail" <gccmail@gcc.tas.gov.au>
Subject: RE: PLN-26-245 - 647A Main Road, Berriedale - further information required.
Attachments: Site Plan.pdf

CAUTION: External email.

Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Micheal

Attached is the site plan.

This is a 5-bedroom house. There are 4 carparks so I would suggest our application should be for 10 people.

The average would be 2 to 4 people staying.

If anything, else is required, I would appreciate a phone call.
I will attend to it immediately.

Regards



GLENORCHY CITY COUNCIL PLANNING SERVICES	
APPLICATION No	PLN-26-245
DATE RECEIVED	24/09/2026