

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-26-205
PROPOSED DEVELOPMENT:	Dwelling
LOCATION:	8 Badden Court Glenorchy
APPLICANT:	Pinnacle Drafting & Design
ADVERTISING START DATE:	22/09/2026
ADVERTISING EXPIRY DATE:	06/10/2026

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **06/10/2026**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **06/10/2026**, or for postal and hand delivered representations, by 5.00 pm on **06/10/2026**.

Legend	
	Electrical connection
	Electricity turret
	Hydrant
	Sewer connection
	Stop valve
	Telstra Pit
	Water Meter

Surface Water Drainage

Finished ground levels shall be graded to direct surface water away from the building in accordance with NCC 2022 Volume Two Part 3.3.3 and AS 2870. Surface water shall not pond against the building or be permitted to enter the building under any circumstances.

Surface water drainage shall comply with the following:

- (a) Slab-on-ground construction
- Provide a minimum fall of 25 mm over the first 1.0 m adjacent to pervious surfaces.
- Provide a minimum fall of 50 mm over the first 1.0 m adjacent to impermeable surfaces, including paving, concrete and accessible paths of travel.
- Finished slab levels shall be not less than:
- 100 mm above finished ground level in low rainfall intensity areas or sandy, well-drained areas;
 - 50 mm above adjoining impermeable surfaces grade away from the building; or
 - 150 mm above finished ground level in all other cases.

- (b) Suspended floor construction**
- Grade the ground beneath suspended floors to prevent ponding beneath the building and direct surface water away from the building.
- Where required, accessible paths of travel shall comply with the NCC Livable Housing Provisions while maintaining positive drainage away from the building.
- The Builder shall ensure all finished surface levels, paving, landscaping and drainage works maintain positive falls away from the building and comply with the approved architectural, civil and engineering documentation.

Subsoil Drainage

Subsoil drainage shall comply with NCC 2022 Volume Two Part 3.3.4, AS 2870 and AS/NZS 3500.3.

Where required, subsoil drainage shall be installed to divert subsurface water away from the building and shall:

- (a) be laid to a uniform minimum grade of 1:300;
- (b) discharge to an approved stormwater drainage system, sump, pit or legal point of discharge;
- (c) where discharging to a sump or pit, provide the outlet not less than 50 mm below the invert level of the receiving drainage line; and
- (d) include suitable access for inspection, cleaning and maintenance.

Note

All driveway pits and grate drains to be Class B.

Stormwater pit locations are indicative only and may be adjusted to suit site conditions, provided the approved drainage design, minimum grades and clearances are maintained. Refer any significant changes to the Designer prior to construction.

Survey Notes from Surveyor

This plan and associated digital model is prepared for PINNACLE DRAFTING from a combination of field survey and existing records for the purpose of designing new constructions on the land and should not be used for any other purpose.

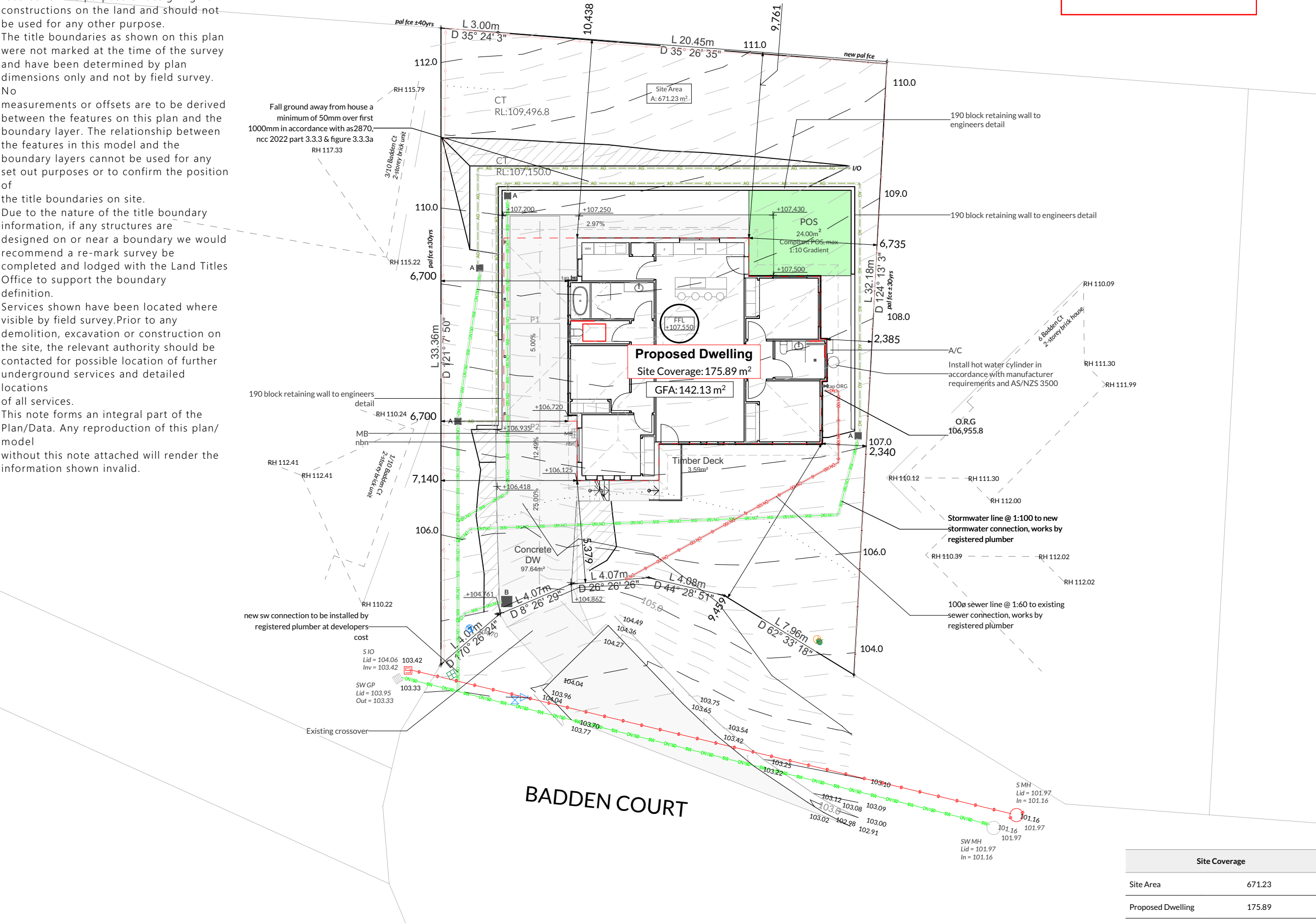
The title boundaries as shown on this plan were not marked at the time of the survey and have been determined by plan dimensions only and not by field survey.

No measurements or offsets are to be derived between the features on this plan and the boundary layer. The relationship between the features in this model and the boundary layers cannot be used for any set out purposes or to confirm the position of the title boundaries on site.

Due to the nature of the title boundary information, if any structures are designed on or near a boundary we would recommend a re-mark survey be completed and lodged with the Land Titles Office to support the boundary definition.

Services shown have been located where visible by field survey. Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services and detailed locations of all services.

This note forms an integral part of the Plan/Data. Any reproduction of this plan/model without this note attached will render the information shown invalid.



Site Coverage	
Site Area	671.23
Proposed Dwelling	175.89

Issue	Change	Date	Designer
Refer to Cover Page for further details on changes			



Legend

A/C

Heat pump

HWC

MB

nbn

NBN Internal

Roof Access Panel

Smoke Alarm

Tap

tap ORG

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No PLN-26-205

DATE RECEIVED 17/08/2026

Construction of sanitary compartments 10.4.2 of NCC 2022

The door to a fully enclosed sanitary compartment must -

- open outwards; or
- slide; or
- be readily removable from the outside of the compartment.

unless there is a clear space of at least 1.2 m, measured in accordance with Figure 10.4.2 of NCC 2022 Vol II, between the closet pan within the *sanitary compartment* and the doorway.

Note: Safe Movement & Egress

Openable windows greater than 4m above the surface below are to be fitted with a device to limit opening or a suitable screen so a 125mm sphere cannot pass through. Except for Bedrooms, where the requirement is for heights above 2m. Refer to clauses 11.3.7 and 11.3.8 of NCC 2022 for further information on suitable protective devices.

Note: Paved Areas

All paths and patios to fall away from dwelling.

Note: Stair Construction

All stairs to be constructed in accordance with NCC Vol II 2022

Part 11.2.2:

Riser: Min 115mm - Max 190mm

Going: Min 240mm - Max 355mm

Slope (2R+G): Max 550 - Min 700

For stairways serving non-habitable room used infrequently, refer to table 11.2.2(b).

Landings to comply with Clause 11.2.5 and be a minimum of 750mm deep measured 500mm from the inside edge of the landing.

Slip resistance of treads, nosings and ramps to comply with Clause 11.2.4.

Heights of rooms & other spaces 10.3.1 of NCC 2022

Heights of rooms and other spaces must not be less than;

(a) in a *habitable room* excluding a kitchen - 2.4 m; and

(b) in a kitchen - 2.1 m; and

(c) in a corridor, passageway or the like - 2.1 m; and

(d) in a bathroom, shower room, laundry, *sanitary compartment*, airlock, pantry, storeroom, garage, car parking area or the like - 2.1 m; and

(e) in a room or space with a sloping ceiling or projections below the ceiling line within- See NCC directly for these items

(f) in a stairway, ramp, *landing*, or the like - 2.0 m measured vertically above the nosing line of stairway treads or the floor surface of a ramp, *landing* or the like.

If required onsite, the builder may work within the tolerances of the above as specified within the NCC 2022 Vol II. Builder to contact *Pinnacle* before undertaking works.

Liveable Housing Standards

Indicates compliant circulation area, refer to Liveable Housing Design Standard.

Shower - Figure 6.2c

Toilet - Figure 6.2e

Refer to details page and elevations for further information on external cladding types and locations, insulation specification and arrangements.

Wall Types - Ground	
	10mm Gyprock Plasterboard; 90mm Timber Stud; 10mm Gyprock Plasterboard
	Brick - Finish; Air Space; Class 4 Vapour Permeable Membrane; 90mm Timber Stud; R2.0 Insulation; 10mm Gyprock Plasterboard
	Class 4 Vapour Permeable Membrane; 90mm Timber Stud; R2.0 Insulation; 10mm Gyprock Plasterboard
	Corefilled Concrete Block
Floor Covering - Ground	
	Carpet
	Tiles - 30x30
	Vinyl

Deck Areas		
Storey	Material	Area (m²)
Ground FFL:	Selected Timber Decking	3.59
Ground FFL:	Concrete Path	2.24
		5.83 m²

Gross Floor Area (GFA)		
Storey	Name	Area (m²)
Ground FFL:		142.13
		142.13 m²

Issue	Change	Date	Designer
Refer to Cover Page for further details on changes			

PINNACLE
DRAFTING & DESIGN

Project
8 Badden Court, Glenorchy - 7010

Drawing
Floor Plan - Ground

Scale
1:100 @ A3

Date
28/07/26

Refer to consultant documentation when directed
Structural Engineer TBA
Civil Engineer TBA
Building Surveyor TBA

Issue
DA - 01

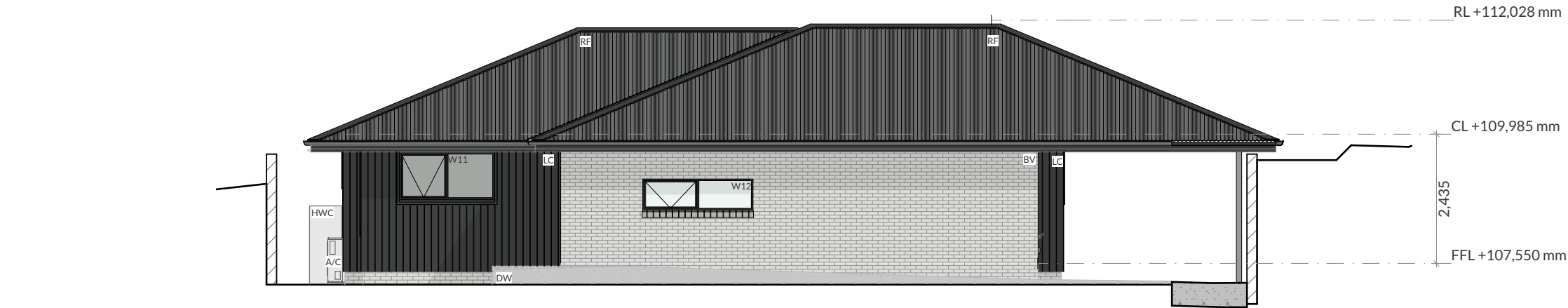
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A002

Development Application

Document Set ID: 3663458

Version: 1, Version Date: 17/08/2026

Print Date: 13/08/2026 1:47 PM



E-01

North Elevation

1:100



E-02

East Elevation

1:100

Elevation Notes	
A/C	Air-conditioning condensate discharge to be connected to stormwater system or approved disposal point in accordance with AS/NZS 3500.2 and manufacturer's requirements.
BV	Rendered masonry veneer to be installed in compliance with NCC 2022 Part 5.2, AS4773.1, AS4773.2 & AS3700 - Vapour permeable building wrap to external walls
CO	Proposed apron & crossover
CT	Batter to comply with NCC. 2022 VOL. II Part 3.2.1, AS2870 & 3798
DK	Timber Deck
DW	Driveway
FG	Fall ground away from building a minimum of 50mm over the first 1000mm in accordance with as2870, ncc 2022 part 3.3.3 & fig. 3.3.3a
HWC	Install hot water cylinder in accordance with manufacturer requirements and AS/NZS 3500
LC	James Hardie 'Axon' cement cladding installed over ventilated cavity with battens, sarking and flashings to manufacturer requirements and NCC.
nbn	Provide NBN service installation in accordance with NBN Co guidelines, including conduit, connection point and mounting location requirements. PCD to be installed min 410mm and maximum 1500mm measured to underside of box from FGL.
PT	Concrete Path
RF	Custom Orb ' Accent 21' sheet metal roofing installed at specified pitch over battens fixed to roof framing, including fixings, laps and flashings in accordance with AS 1562.1 and manufacturer's specifications. Refer structural documentation for framing. - Colorbond gutters and fascia
RW	190 block retaining wall to engineers detail

Colour	Material
	Colorbond 'Monument'
	Paint - Dulux 'Lexicon Qtr' Low Sheen
	Brick - IB - Whisper White

Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of:
100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.

Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.

U.N.O in builders specifications or located in saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked joints.

As per NCC parts 11.3.7 and 11.3.8,
Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm sphere cannot pass through, and withstand a force of 250N. Except for bedrooms, where the requirement is for heights above 2m.

All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2
Riser: Min 115mm - Max 190mm Going: Min 240mm - Max 355mm
Slope (2R+G): Max 550 - Min 700

Issue	Change	Date	Designer
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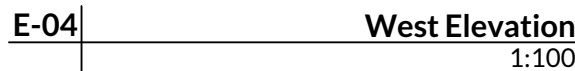
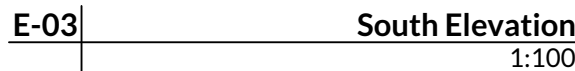
Issue

Drawing No.

DA - 01 A003

Development Application

Refer to Cover Page for further details on changes



Colour	Material
	Colorbond 'Monument'
	Paint - Dulux 'Lexicon Qtr' Low Sheen
	Brick - IB - Whisper White

Refer to Cover Page for further details on changes