

DEVELOPMENT APPLICATION

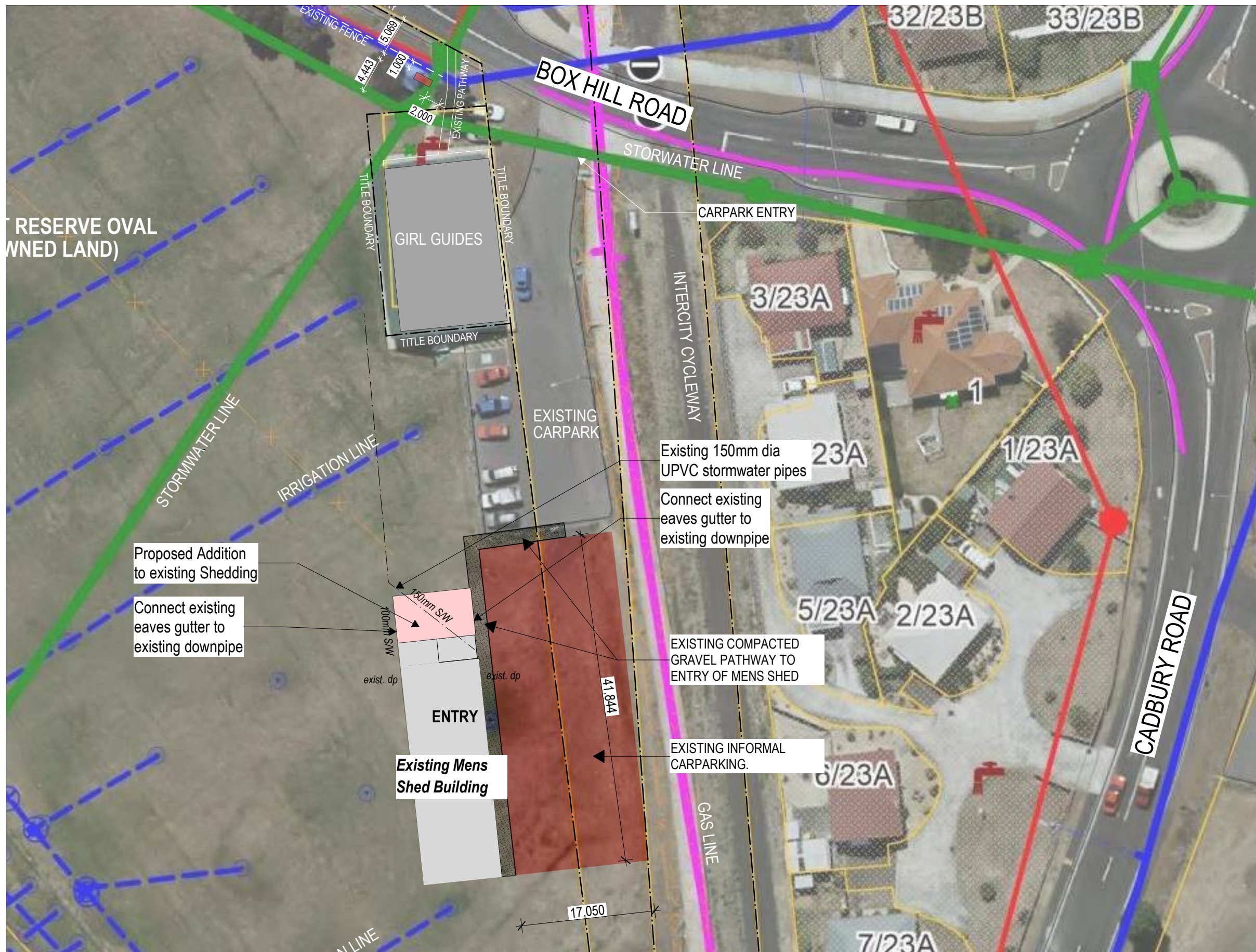
APPLICATION NUMBER:	PLN-26-118
PROPOSED DEVELOPMENT:	Additions to Community Shed (Community Meeting and Entertainment)
LOCATION:	15 Main Road, Claremont
APPLICANT:	Glenorchy City Council
ADVERTISING START DATE:	11/09/2026
ADVERTISING EXPIRY DATE:	25/09/2026

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **25/09/2026**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **25/09/2026**, or for postal and hand delivered representations, by 5.00 pm on **25/09/2026**.

4. Refer to technical drawings for further detail



2.

Site plan
1:500

REVISIONS	REV	PROJECT	PROJECT NO.	PROJECT ADDRESS
		Claremont Mens Shed - water connection	0420	
ACCREDITED DESIGNER DETAILS				
Keith Nancarrow				
Licence Number. 389945551		CLIENT NAME		5 Box Hill road
obo GLENORCHY CITY COUNCIL		GLENORCHY CITY COUNCIL		Hobart 7011

DRAWING TITLE	Plot Date:	
Site plan	19/08/2026	
DRAWING NO.	DRAWN	SCALE
101	KN	@ A3
	APPROVED	
	KN	

374 MAIN ROAD GLENORCHY
GPO BOX 103 GLENORCHY 7010
TASMANIA
T: 03 6216 6800
E: gccmail@gcc.tas.gov.au
www.gcc.tas.gov.au



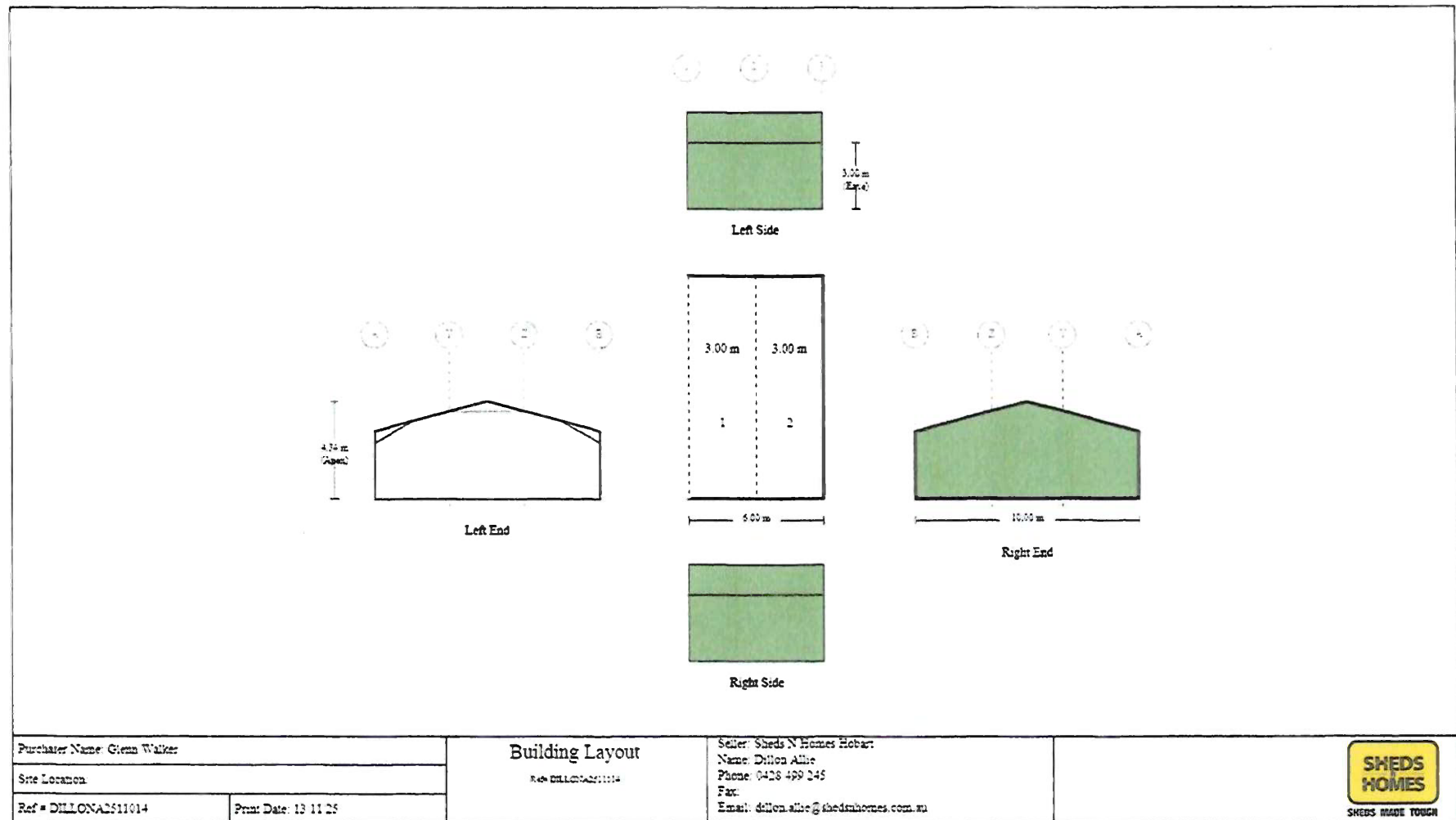
GLENORCHY CITY

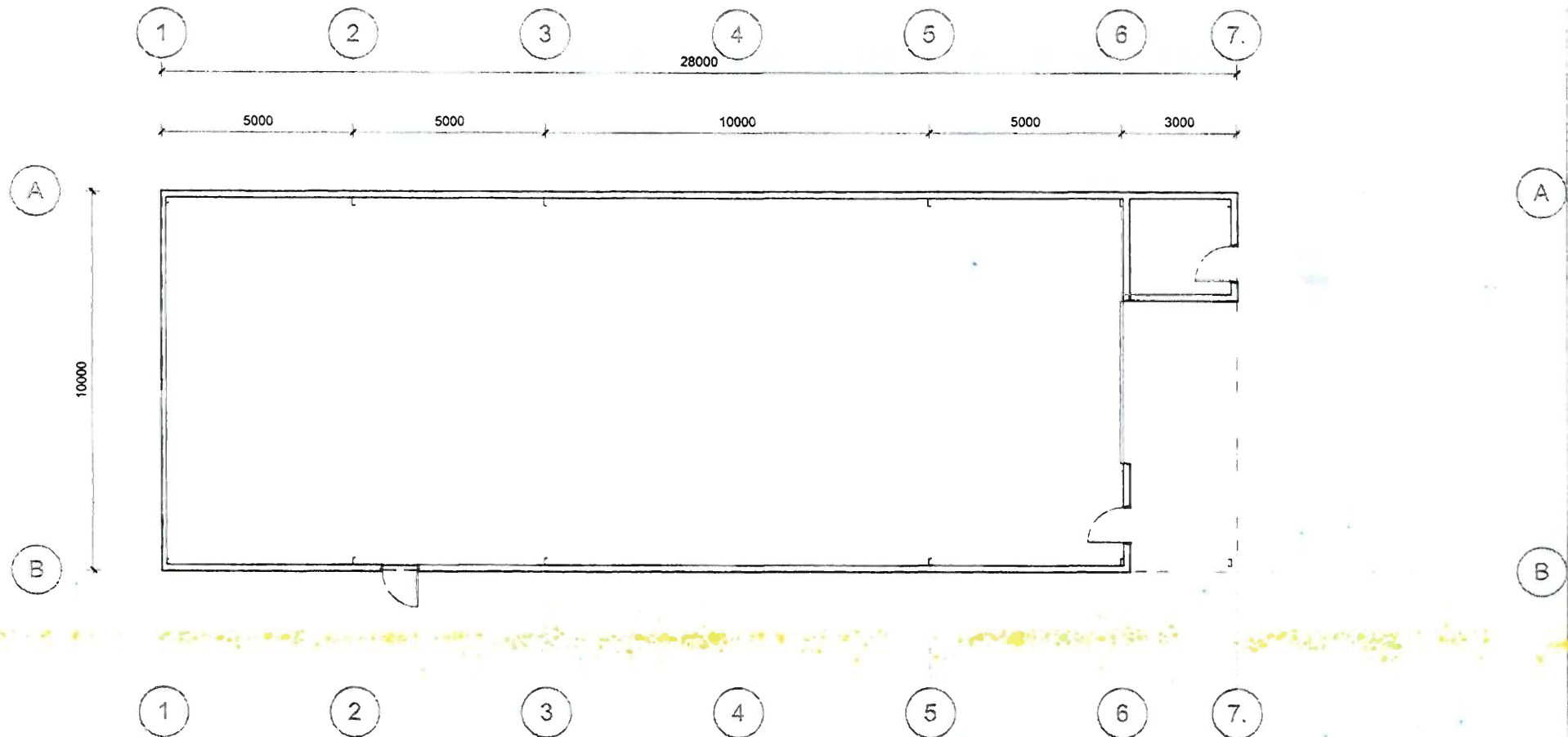
DESIGN CRITERIA

Site Location and Building Orientation	Geographic Co-ordinates of <-42.79266, 147.25594>. Refer to the image below showing this location and the left side orientation.
Address for Reference Purposes	15 Main Rd Claremont TAS 7011 Australia
Building Orientation	Left Side of building orientated to 83° (easterly direction)
NCC Version	NCC 2022
Design Wind Criteria for the Highest Cardinal Direction	Importance Level 2 with a Vr of 45.00 m/s ; Region A4; TC = 3.0; Mt = 1; Mc = 1; Ms = 1.0; giving a Vdes of 37.4 m/s.
Earthquake	An Earthquake Acceleration Co-efficient (Z) of up to 0.08 has been allowed for in the design of the building, however wind is the determining design factor.
Other Design Factors	No Snow Loading allowed.

LOCATION & ORIENTATION FOR DETERMINING THE DESIGN CRITERIA







DIMENSION NOTE:

Use written dimensions only. Do not scale from drawings. All figured dimensions are to be used as a guide only. It is imperative that all dimensions, setbacks and levels be confirmed onsite by the builder, Surveyor or Sub Contractor prior to the commencement of work, manufacture or installation; and the Builder, Sub Contractor and/or manufacturer ensures a full set of plans are on hand and reference has been made to the general notes.

DRAWING NOTE:

This drawing & design shown is the property of BLST Pty Ltd and shall not be copied nor reproduced in part or in whole in any form without the written permission of BLST Pty Ltd and shall be used only by the client of BLST Pty Ltd for the project for which it was provided.



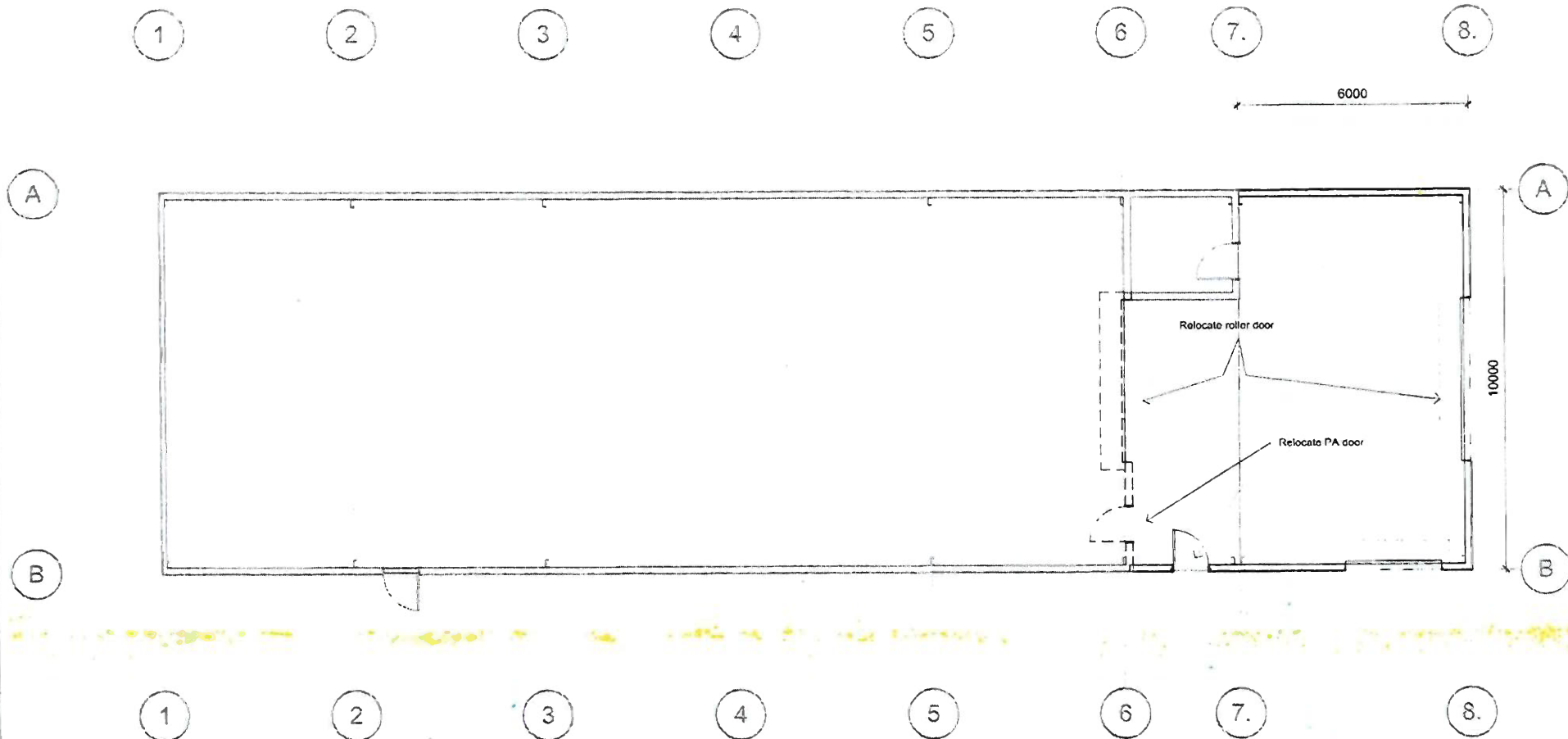
57 Cove Hill Road
Bridgewater TAS 7030
(03) 6263 6545
hobart@shedsnhomes.com.au
BLST Pty Ltd
ABN 52 660 422 159

CLAREMONT MENS SHED

EXISTING FLOORPLAN

26/02/2026	1 : 100	BH
AS SHED-010	A3.0	

SHED EXTENTION



DIMENSION NOTE:

Use written dimensions only. Do not scale from drawings. All figured dimensions are to be used as a guide only. It is imperative that all dimensions, setbacks and levels be confirmed onsite by the Builder, Surveyor or Sub Contractor prior to the commencement of work, manufacture or installation; and the Builder, Sub Contractor and/or manufacturer ensures a full set of plans are on hand and reference has been made to the general notes.

DRAWING NOTE:

This drawing & design shown is the property of BLST Pty Ltd and shall not be copied nor reproduced in part or in whole in any form without the written permission of BLST Pty Ltd and shall be used only by the client of BLST Pty Ltd for the project for which it was provided.



57 Cove Hill Road
Bridgewater TAS 7030
(03) 6263 6545
hobart@shodshomes.com.au

BLST Pty Ltd
ABN 52 660 422 159

CLAREMONT MENS SHED

PROPOSED FLOORPLAN

SHED EXTENTION

26/02/2026	1 : 100	BH
A3	SNH26-010	A3.1

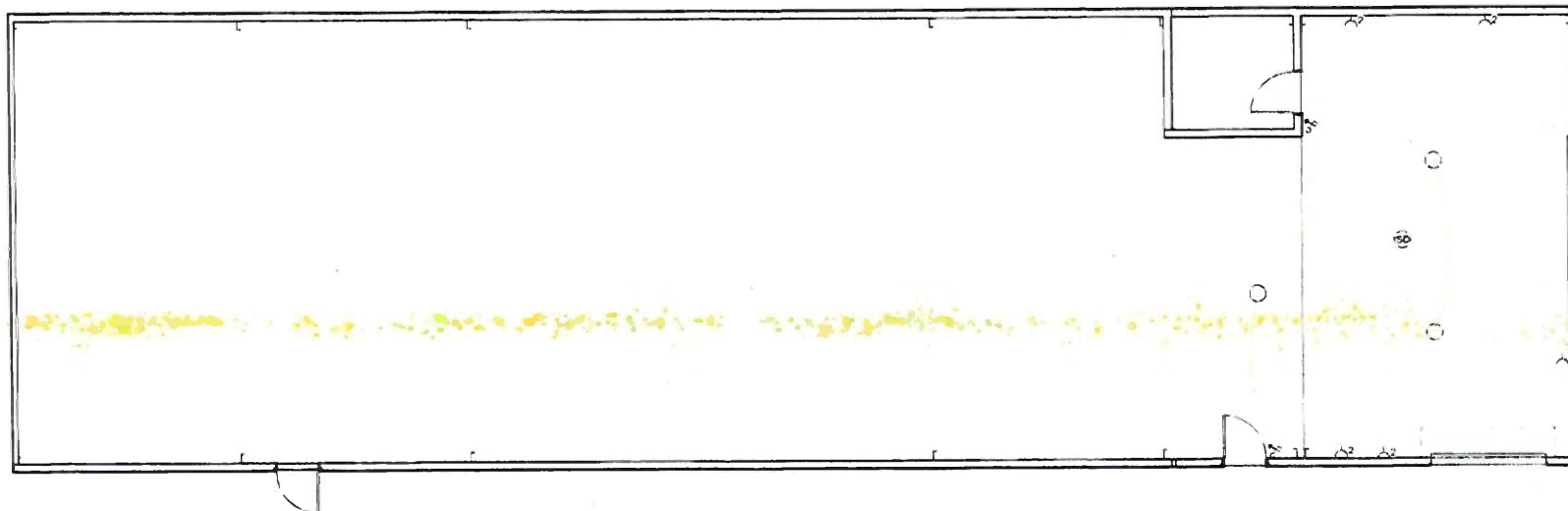
DOUBLE GPO

LIGHT SWITCH

SHOP LIGHT (150w)

Smoke Alarm to be installed in accordance with
NCC 2022 Vol 2, H306, and
Part 9.5 of Housing Provisions
9.5.1 Smoke Alarm System requirements
9.5.2 Location in Class 1 buildings; and
9.5.4 Installation

Smoke alarms to be interconnected where more than one (1) alarm is installed
Smoke alarms to be located on all floors and interconnected between floors



DIMENSION NOTE:

Use written dimensions only. Do not scale from drawings. All figured dimensions are to be used as a guide only. It is imperative that all dimensions, setbacks and levels be confirmed onsite by the builder, Surveyor or Sub Contractor prior to the commencement of work, manufacture or installation, and the Builder, Sub Contractor and/or manufacturer ensures a full set of plans are on hand and reference has been made to the general notes

DRAWING NOTE:

This drawing & design shown is the property of BLST Pty Ltd and shall not be copied nor reproduced in part or in whole in any form without the written permission of BLST Pty Ltd and shall be used only by the client of BLST Pty Ltd for the project for which it was provided.



57 Cove Hill Road
Bridgewater TAS 7030
(03) 6263 6545
hobart@shedsnhomes.com.au

BLST Pty Ltd
ABN 52 660 422 159

CLAREMONT MENS SHED

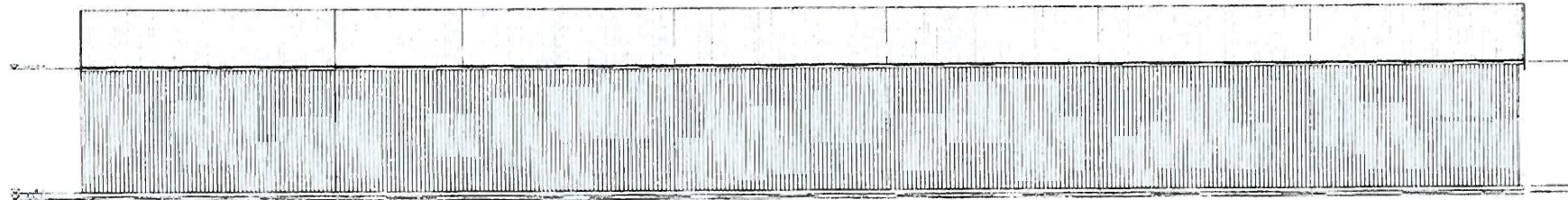
LIGHTING

SHED EXTENTION

26/02/2026	1 : 100	BH
A3	SNH26-010	C6.0

ROOF CLADDING
- NEW ROOF CLADDING TO MATCH EXISTING

WALL CLADDING:
- NEW WALL CLADDING TO MATCH EXISTING



1 LEFT SIDE PROPOSED
1 : 100

ROOF CLADDING
- NEW ROOF CLADDING TO MATCH EXISTING

WALL CLADDING:
- NEW WALL CLADDING TO MATCH EXISTING



2 RIGHT SIDE PROPOSED
1 : 100

DIMENSION NOTE:
Use written dimensions only. Do not scale from drawings. All figured dimensions are to be used as a guide only. It is imperative that all dimensions, setbacks and levels be confirmed onsite by the builder, Surveyor or Sub Contractor prior to the commencement of work, manufacture or installation, and the Builder, Sub Contractor and/or manufacturer ensures a full set of plans are on hand and reference has been made to the general notes.

DRAWING NOTE:
This drawing & design shown is the property of BLST Pty Ltd and shall not be copied nor reproduced in part or in whole in any form without the written permission of BLST Pty Ltd and shall be used only by the client of BLST Pty Ltd for the project for which it was provided.



57 Cove Hill Road
Bridgewater TAS 7030
(03) 6263 6545
hobart@shedsnshomes.com.au

BLST Pty Ltd
ABN 52 660 422 159

CLAREMONT MENS SHED

ELEVATIONS

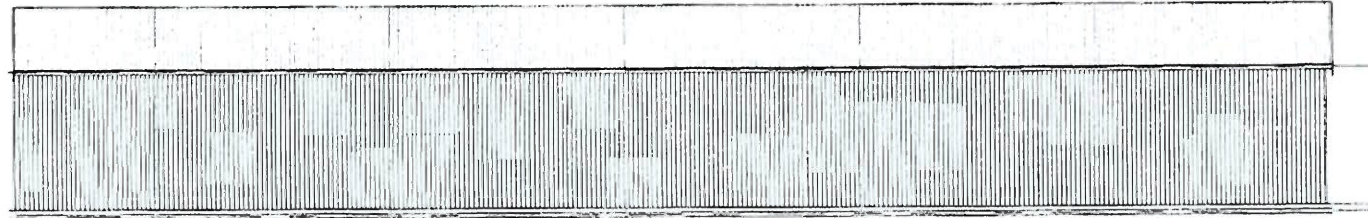
SHED EXTENSION

26/02/2026	1 : 100	BH
A3	SNH26-010	A4.2

ROOF CLADDING:
PALE EYCALYPT
CORRODEK

WALL CLADDING:
CLASSIC CREAM
CORRODEK

7. 6 5 4 3 2 1

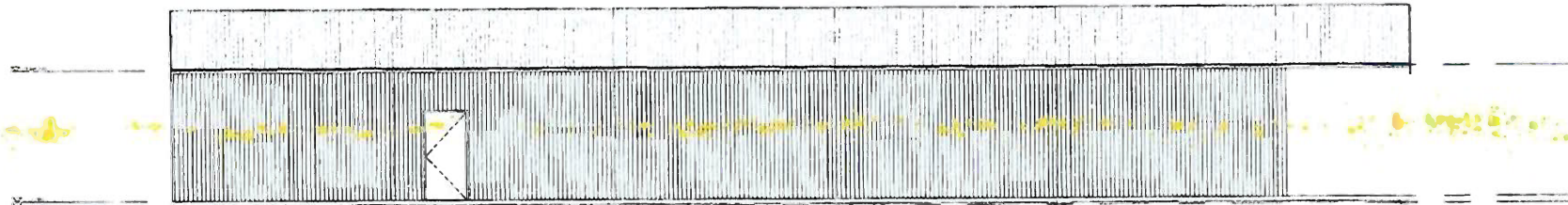


1 LEFT SIDE EXISTING
1 : 100

1 2 3 4 5 6 7.

ROOF CLADDING:
PALE EYCALYPT
CORRODEK

WALL CLADDING:
CLASSIC CREAM
CORRODEK



2 RIGHT SIDE EXISTING
1 : 100

DIMENSION NOTE:

Use written dimensions only. Do not scale from drawings. All figured dimensions are to be used as a guide only. It is imperative that all dimensions, setbacks and levels be confirmed onsite by the builder, Surveyor or Sub Contractor prior to the commencement of work, manufacture or installation; and the Builder, Sub Contractor and/or manufacturer ensures a full set of plans are on hand and reference has been made to the general notes

DRAWING NOTE:

This drawing & design shown is the property of BLST Pty Ltd and shall not be copied nor reproduced in part or in whole in any form without the written permission of BLST Pty Ltd and shall be used only by the client of BLST Pty Ltd for the project for which it was provided.



57 Cove Hill Road
Bridgewater TAS 7030
(03) 6263 6545
hobart@shedsnhomes.com.au

BLST Pty Ltd
ABN 52 660 422 159

CLAREMONT MENS SHED

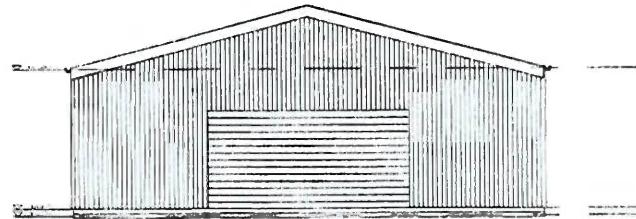
ELEVATIONS

SHED EXTENTION

26/02/2026	1 : 100	BH
A3	SNH26-010	A4.0

ROOF CLADDING
- NEW ROOF CLADDING TO MATCH EXISTING

WALL CLADDING:
- NEW WALL CLADDING TO MATCH EXISTING



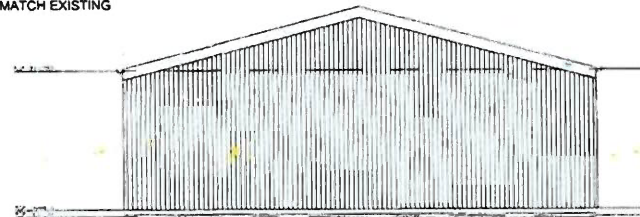
1 RIGHT END PROPOSED
1 : 100

A

B

ROOF CLADDING
- NEW ROOF CLADDING TO MATCH EXISTING

WALL CLADDING:
- NEW WALL CLADDING TO MATCH EXISTING



2 LEFT END PROPOSED
1 : 100

DIMENSION NOTE:
Use written dimensions only. Do not scale from drawings. All figured dimensions are to be used as a guide only. It is imperative that all dimensions, setbacks and levels be confirmed onsite by the builder, Surveyor or Sub Contractor prior to the commencement of work, manufacture or installation; and the Builder, Sub Contractor and/or manufacturer ensures a full set of plans are on hand and reference has been made to the general notes.

DRAWING NOTE:
This drawing & design shown is the property of BLST Pty Ltd and shall not be copied nor reproduced in part or in whole in any form without the written permission of BLST Pty Ltd and shall be used only by the client of BLST Pty Ltd for the project for which it was provided.



57 Cove Hill Road
Bridgewater TAS 7030
(03) 6263 6545
hobart@shedsnshomes.com.au

BLST Pty Ltd
ABN 52 660 422 159

CLAREMONT MENS SHED

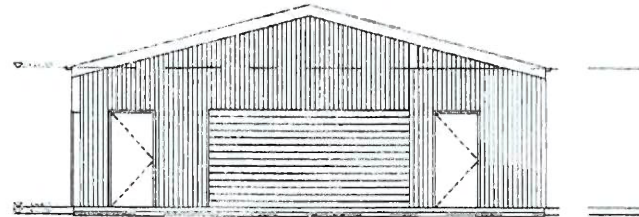
ELEVATIONS

SHED EXTENSION

26/02/2026	1 : 100	BH
A3	SNH26-010	A4.4

ROOF CLADDING:
PALE EYCALYPT
CORRODEK

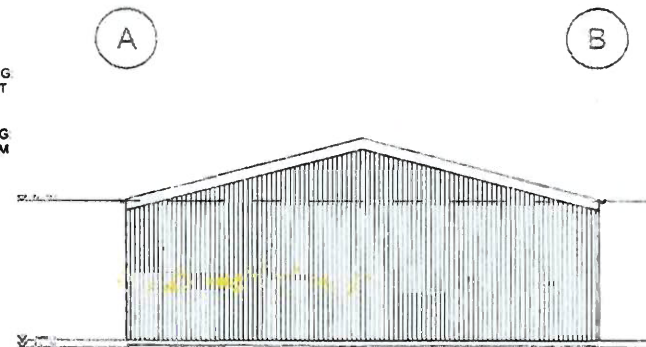
WALL CLADDING:
CLASSIC CREAM
CORRODEK



1 RIGHT END EXISTING
1 : 100

ROOF CLADDING:
PALE EYCALYPT
CORRODEK

WALL CLADDING:
CLASSIC CREAM
CORRODEK



2 LEFT END EXISTING
1 : 100

DIMENSION NOTE:

Use written dimensions only. Do not scale from drawings. All figured dimensions are to be used as a guide only. It is imperative that all dimensions, setbacks and levels be confirmed onsite by the builder, Surveyor or Sub Contractor prior to the commencement of work, manufacture or installation; and the Builder, Sub Contractor and/or manufacturer ensures a full set of plans are on hand and reference has been made to the general notes.

DRAWING NOTE:

This drawing & design shown is the property of BLST Pty Ltd and shall not be copied nor reproduced in part or in whole in any form without the written permission of BLST Pty Ltd and shall be used only by the client of BLST Pty Ltd for the project for which it was provided.



57 Cove Hill Road
Bridgewater TAS 7030
(03) 6263 6545
hobart@shedsnhomes.com.au

BLST Pty Ltd
ABN 52 660 422 159

CLAREMONT MENS SHED

ELEVATIONS

SHED EXTENTION

26/02/2026	1 : 100	BH
A3	SNH26-010	A4.1