

30th June 2025

Glenorchy City Council

Dear Sir/Madam

RE: PROPOSED SUBDIVISION – 165A ABBOTSFIELD ROAD, CLAREMONT.

Further to our client's application to Council for the above named subdivision, we make the following comments in relation to the planning scheme.

The application made by our client includes the following enclosures:

1. A copy of the above-named proposed Plan of Subdivision.
2. A copy of the relevant title.
3. Bushfire Report v2 dated 22 June 2025 prepared by Rebecca Green & Associates.
4. Engineering design drawings prepared by Fysh Design Rev A dated 26/05/2025.
5. Vehicle turn path drawings for lots 2 and 3 prepared by Fysh Design dated 26/05/2025.
6. Glenorchy City Council's Development Application form.

This application proposes to subdivide the property as shown on the Plan of Subdivision.

The application is proposed in two stages, stage 1 being for Lot 1 only, and stage 2 for lots 2 and 3. The site currently has two accesses from Mount Faulkner Road this proposal will not increase the number of accesses to that road. As part of the proposal the existing concrete driveway access for lot 1 off Mount Faulkner Road will be extended and widened enabling a passing area along the road, see submitted engineering design plans.

Council will be aware that a separate planning application for a boundary adjustment between this property and No.2 Blackwell Court has been submitted (PLN-25-091). The Plan of Subdivision submitted here indicates the proposed future boundary, post that adjustment, and the area for lot 3, post that adjustment. This application has been prepared such that the assessment of this application is not affected by the future boundary adjustment. The boundary adjustment has no impact on minimum lot size, proposed building area, frontage, access, parking, or services for lot 3 nor any other component of the scheme.

The land is zoned General Residential under the Tasmanian Planning Scheme, and we make the following comments with respect to the relevant clauses:

8.6.1

A1

All lots have an area more than 450m². Lot 1 is fully developed with a dwelling and car parking, setbacks are consistent with the requirements of the scheme, and we conclude that it complies with the clause.

Lots 2 and 3 do not comply as they cannot contain a 10 x 15 metre building area clear of easements and setbacks. We make the following comments in relation to P1 for Lots 2 and 3.

P1

(a) & (b)

Sheet 1 of the Plan of Subdivision indicates how a 3 bedroom dwelling could be located on lots 2 and 3 to comply with scheme setbacks, and be clear of easements. Sheets 2 and 3 of the Plan of Subdivision show floor plan and elevation details for the dwelling. Both lots contain provision for car parking for two cars and associated vehicle manoeuvring as indicated on the Plan of Subdivision, and the turn path drawings prepared by Fysh Design. The dwellings on lots 2 and 3 are located to give separation to existing dwellings on neighbouring lots. The dwelling on lot 2 is 8.5m distant from the nearest part of the existing dwelling on No.165 Abbotsfield Road, the dwelling on Lot 3 is 9.5m and 11m distant from the nearest parts of the existing dwellings on No.s 4 & 6 Blackwell Court. Both lots and dwellings are orientated such that they maximise solar access.

(c) The grade of the natural surface in the location of the indicative dwelling on lot 2 is 1 in 6 which will enable construction of the dwelling with minimal earthworks. The indicative dwelling on lot 3 is sited on an existing levelled building pad. We consider that the site topography will not constrain the building on the lots.

(d) Apart from bushfire risk there are no other natural hazards for the lots. The submitted bushfire report addresses the scheme requirements with regard to the bushfire hazard code.

(e) Lots 2 and 3 have ample area for private open space. The Plan of Subdivision indicatively shows the minimum requirement for POS of 24m² in one area with a minimum dimension of 4m.

(f) While there may not be a pattern of development that corresponds with the shape of the proposed lots 2 and 3 in the area. The parent allotment is unusual/unique in that it contains narrow portions of residential land on either side of the public road (Mount Faulkner Road). The proposal seeks to utilise the residentially zoned land more effectively, as much of the site is presently underutilised.

In summary the proposal demonstrates how the lots can be built upon and comply with the scheme setbacks while keeping appropriate separation from existing neighbouring dwellings.

Please note the dwellings shown on lot 2 and 3 are indicative only, and are shown to demonstrate the lots can be built on to the requirements of the planning scheme. The dwellings do not form part of the application.

We consider the objectives of 8.6.1 have been met with the proposal as follows:

(a) The plan demonstrates how residential use and development can be achieved on the lots.

(b) The lots have appropriate access to a road.

(c) Lots have areas for development unaffected by natural hazards.

(d) Lots are orientated to maximise solar access.

A2

All lots comply. Lot 1 has a total frontage more than 75m, lot 2 has a frontage of 55.32m, and lot 3 has a frontage of 164.65m. Lot 3 will have a frontage of 121.85m after the boundary adjustment (PLN-25-091).

A3

All lots comply, see plan.

A4

Not applicable as there is no new road.

8.6.2

A1

Complies, no new roads proposed.

8.6.3

A1

Complies, Lot 1 has an existing water connection and meter from Abbotsfield Road, a new water main and connections and meters are proposed for lots 2 and 3 in stage 2, see engineering design plans.

A2

Complies, the existing sewer connection for the existing dwelling is proposed to be utilised by lot 1 in stage 1. A new sewer mains extension is proposed within stage 2 and a new sewer connection for lot 1 is proposed from that main in the same location. A new connection for lot 2 is proposed from the new main in stage 2, and a new connection from the existing sewer main is proposed for lot 3 in stage 2, see engineering design plans.

A3

Complies, Lot 1 has an existing stormwater connection which will remain, a new stormwater main and connections are proposed for lot 2 in stage 2. A new stormwater connection to the existing table drain in Mount Faulkner Road is proposed for lot 3 in stage 2. See engineering design plans.

The land is subject codes under the scheme we make the following comments in relation to the codes;

Parking and Sustainable Transport Code C2.0

The existing dwelling on Lot 1 contains two existing car spaces, see Plan of Subdivision.

The new driveway for lot 2 in stage 2 is proposed to be sealed with a durable all-weather pavement and drained to the new stormwater connection, see engineering design plans. Lot 3 has an existing access from Mount Falkner Road which is proposed to be upgraded to Council standards, see engineering design plans.

Road and Railway Assets Code C3.0

C3.7.1

A1 Complies, to our knowledge there is no road or railway attenuation area impacting this site.

Bushfire-Prone Areas Code C13.0

See Bushfire Report prepared by Rebecca Green & Associates.

Yours faithfully,

Bushfire Hazard Assessment Report & Bushfire Hazard Management Plan

165A Abbotsfield Road, Claremont



Version 4

1 July 2026

Job No: RGA-B2772

Executive Summary

The proposed development at 165A Abbotsfield Road, Claremont, is subject to bushfire threat. A bushfire attack under extreme fire weather conditions is likely to subject buildings at this site to considerable radiant heat, ember attack along with wind and smoke.

The site requires bushfire protection measures to protect the buildings and people that may be on site during a bushfire.

These measures include provision of hazard management areas in close proximity to the buildings, implementation of safe egress routes, establishment of a water supply and construction of buildings as described in AS 3959-2018 Construction of Buildings in Bushfire Prone Areas.

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Schedule 1 – Bushfire Report

1.0 Introduction

The Bushfire Attack Level (BAL) Report and Bushfire Hazard Management Plan (BHMP) has been prepared for submission with a Planning Permit Application under the *Land Use Planning and Approvals Act 1993; Bushfire-Prone Areas Code* and/or a Building Permit Application under the *Building Act 2016 & Regulations 2016*.

The Bushfire Attack Level (BAL) is established taking into account the type and density of vegetation within 100 metres of the proposed building site and the slope of the land; using the simplified method in AS 3959-2018 Construction of Buildings in Bushfire Prone Areas; and includes:

- The type and density of vegetation on the site,
- Relationship of that vegetation to the slope and topography of the land,
- Orientation and predominant fire risk,
- Other features attributing to bushfire risk.

On completion of assessment, a Bushfire Attack Level (BAL) is established which has a direct reference to the construction methods and techniques to be undertaken on the buildings and for the preparation of a Bushfire Hazard Management Plan (BHMP).

1.1 Scope

This report was commissioned to identify the Bushfire Attack Level for the existing property. ALL comment, advice and fire suppression measures are in relation to compliance with *Bushfire-Prone Areas Code* of the Tasmanian Planning Scheme – Glenorchy, the National Construction Code and Australian Standards, *AS 3959-2018, Construction of buildings in bushfire-prone areas*.

1.2 Limitations

The inspection has been undertaken and report provided on the understanding that:-

1. The report only deals with the potential bushfire risk, all other statutory assessments are outside the scope of this report.
2. The report only identifies the size, volume and status of vegetation at the time the site inspection was undertaken and cannot be relied upon for any future development.
3. Impacts of future development and vegetation growth have not been considered.

No action or reliance is to be placed on this report; other than for which it was commissioned.

1.3 Proposal

The proposal is for the development of a subdivision for Lots 1 to 3 only.

2.0 Site Description for Proposal (Bushfire Context)

2.1 Locality Plan

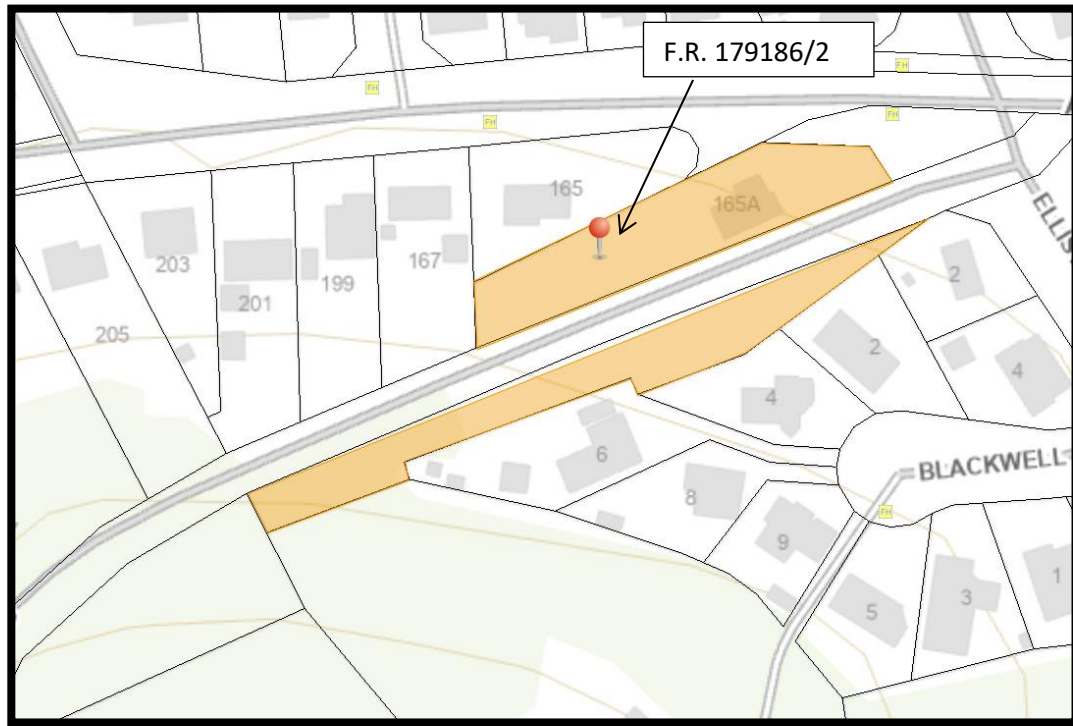


Figure 1: Location Plan of 165A Abbotsfield Road, Claremont

2.2 Site Details

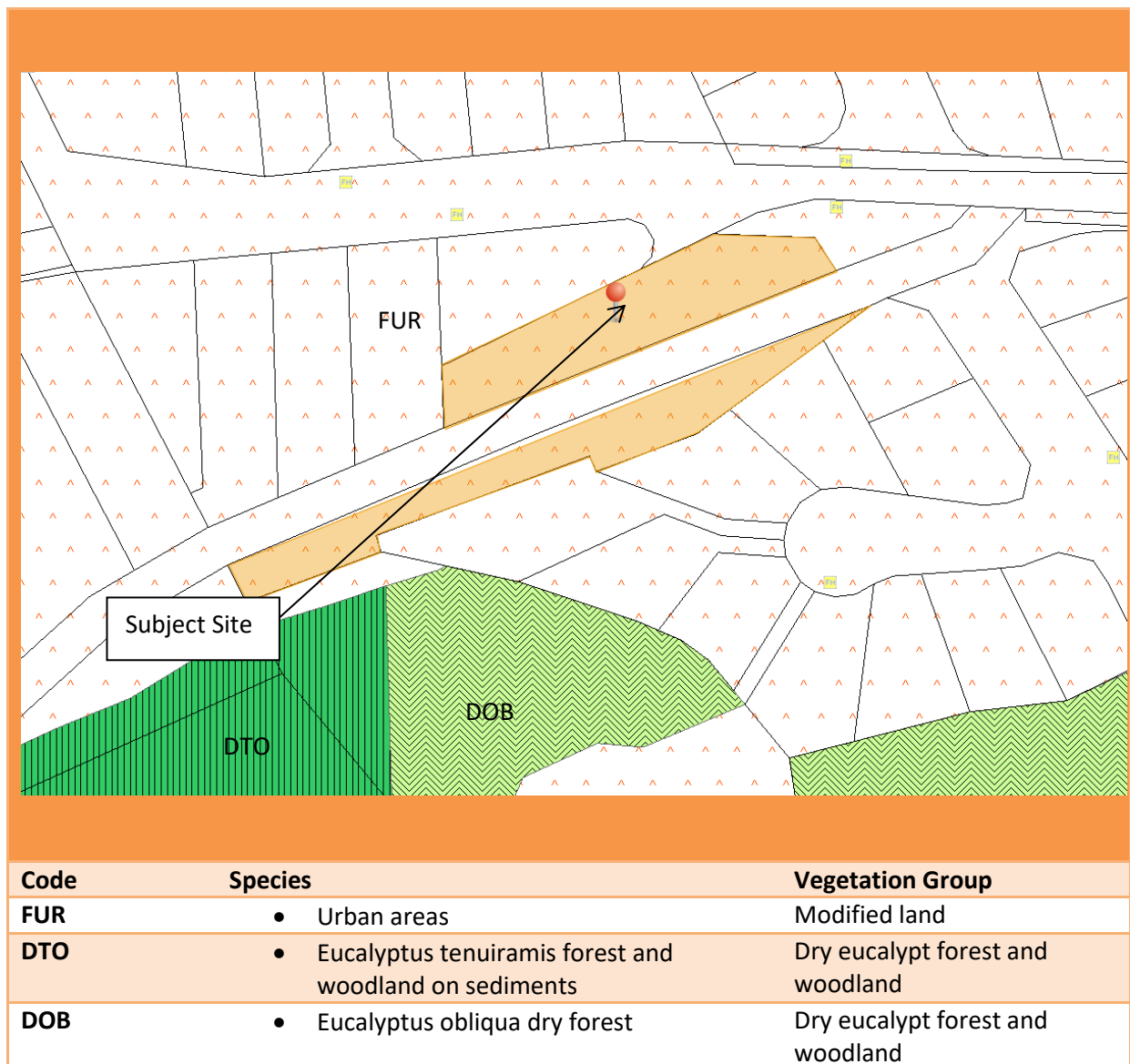
Property Address	165A Abbotsfield Road, Claremont
Certificate of Title	Volume 179186 Folio 2
Existing Use	Dwelling
Type of Proposed Work	Subdivision – Lots 1-3 only
Water Supply	Reticulated TasWater supply available (200mm DN) (Lot 1, Lot 2 and Lot 3 building areas within 120m hose lay of existing fire hydrant in Abbotsfield Road)
Road Access	Abbotsfield Road and Mount Faulkner Road

3.0 Bushfire Site Assessment

3.1 Vegetation Analysis

3.1.1 TasVeg Classification

Reference to Tasmanian Vegetation Monitoring & Mapping Program (TASVEG) indicates the land in and around the property is generally comprising of varying vegetation types including:



3.1.2 Site & Vegetation Photos



Existing fire plug – Abbotsfield Road



Existing access – Lot 1 from Mount Faulkner Road



Looking northeast – Lot 1



Looking southeast– Lot 1



Looking southwest – Lot 1



Looking northwest – Lot 1



Lot 2 from Mount Faulkner Road



Looking northeast – Lot 2



Looking southeast – Lot 2



Looking southwest – Lot 2



Looking northwest – Lot 2



Existing access from Mount Faulkner Road – Lot 3



Looking northwest – Lot 3



Looking northeast – Lot 3



Looking southeast – Lot 3



Looking southwest – Lot 3



Looking southwest along Lot 3



Looking South toward 6 Blackwell Court – Lot 3



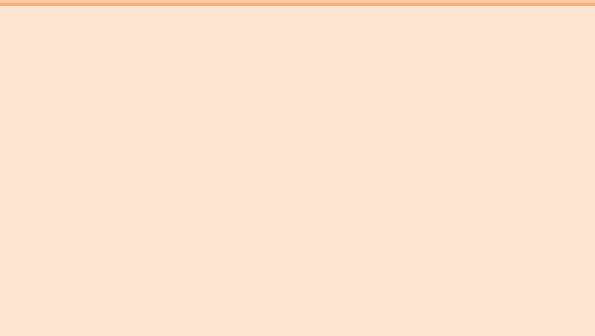
Looking southwest – Lot 3 toward 207
Abbotsfield Road



Looking southeast – Lot 3 toward 7 Blackwell
Court



Looking northeast along Lot 3 from northwestern
corner of 6 Blackwell Court



3.2 BAL Assessment – Subdivision

The Acceptable Solution in Clause 13.6.1, C13.0 Bushfire-Prone Areas Code requires all lots within the proposed subdivision to demonstrate that each lot can achieve a Hazard Management Area between the bushfire vegetation and each building on the lot with distances equal to or greater than those specified in Table 2.6 of AS3959-2018 Construction of Buildings in Bushfire Prone Areas for **BAL 12.5 (Lot 1 and Lot 2) and BAL 19/12.5 (Lot 3).**

Lot 1

Vegetation classification AS3959	North ☐ North-East ☒	South ☐ South-West ☒	East ☐ South-East ☒	West ☐ North-West ☒
Group A	☐ Forest	☐ Forest	☐ Forest	☐ Forest
Group B	☐ Woodland	☒ Woodland	☐ Woodland	☐ Woodland
Group C	☐ Shrub-land	☐ Shrub-land	☐ Shrub-land	☐ Shrub-land
Group D	☐ Scrub	☐ Scrub	☐ Scrub	☐ Scrub
Group E	☐ Mallee-Mulga	☐ Mallee-Mulga	☐ Mallee-Mulga	☐ Mallee-Mulga
Group F	☐ Rainforest	☐ Rainforest	☐ Rainforest	☐ Rainforest
Group G	☐ Grassland	☐ Grassland	☐ Grassland	☒ Grassland
	☒ Managed Land	☒ Managed Land	☒ Managed Land	☒ Managed Land
Effective slope (degrees)	☐ Up/0°	☒ Up/0°	☒ Up/0°	☐ Up/0°
	☐ >0-5°	☐ >0-5°	☐ >0-5°	☐ >0-5°
	☒ >5-10°	☐ >5-10°	☐ >5-10°	☒ >5-10°
	☐ >10-15°	☐ >10-15°	☐ >10-15°	☐ >10-15°
	☐ >15-20°	☐ >15-20°	☐ >15-20°	☐ >15-20°
Likely direction of bushfire attack	☐	☒	☐	☐
Prevailing winds	☐	☐	☐	☒
Distance to classified vegetation	>100m managed	0-approx. 77m managed (Lot 3 – Low Threat vegetation – BHAN 1) Woodland at 7 Blackwell Court, 207 Abbotsfield Road and 44 Russell Road	>100m managed	0-approx. 90m managed >90m grassland
REQUIRED Distance to classified vegetation for BAL 12.5	N/A – Lot 1 to be managed	Min. 22m from Woodland at 7 Blackwell Court, 207 Abbotsfield Road and 44 Russell Road	N/A – Lot 1 to be managed	N/A – Lot 1 to be managed

Lot 2

Vegetation classification AS3959	North ☐ North-East ☒	South ☐ South-West ☒	East ☐ South-East ☒	West ☐ North-West ☒
Group A	☐ Forest	☐ Forest	☐ Forest	☐ Forest
Group B	☐ Woodland	☒ Woodland	☒ Woodland	☐ Woodland
Group C	☐ Shrub-land	☐ Shrub-land	☐ Shrub-land	☐ Shrub-land
Group D	☐ Scrub	☐ Scrub	☐ Scrub	☐ Scrub
Group E	☐ Mallee-Mulga	☐ Mallee-Mulga	☐ Mallee-Mulga	☐ Mallee-Mulga
Group F	☐ Rainforest	☐ Rainforest	☐ Rainforest	☐ Rainforest
Group G	☐ Grassland	☐ Grassland	☐ Grassland	☒ Grassland
	☒ Managed Land	☒ Managed Land	☒ Managed Land	☒ Managed Land
Effective slope (degrees)	☐ Up/0°	☒ Up/0°	☒ Up/0°	☐ Up/0°
	☐ >0-5°	☐ >0-5°	☐ >0-5°	☐ >0-5°
	☒ >5-10°	☐ >5-10°	☐ >5-10°	☒ >5-10°
	☐ >10-15°	☐ >10-15°	☐ >10-15°	☐ >10-15°
	☐ >15-20°	☐ >15-20°	☐ >15-20°	☐ >15-20°
Likely direction of bushfire attack	☐	☒	☐	☐
Prevailing winds	☐	☐	☐	☒
Distance to classified vegetation	>100m managed	0-approx. 33m managed (Lot 3 – Low Threat vegetation – BHAN 1) Woodland at 7 Blackwell Court, 207 Abbotsfield Road and 44 Russell Road	0-approx. 60m managed (Lot 3 Low Threat vegetation - BHAN 1) Woodland at 7 Blackwell Court	0-approx. 90m managed >90m grassland
REQUIRED Distance to classified vegetation for BAL 12.5	N/A – Lot 2 to be managed	Min. 22m from Woodland at 7 Blackwell Court, 207 Abbotsfield Road and 44 Russell Road	Min. 22m from Woodland at 7 Blackwell Court	N/A – Lot 2 to be managed

Lot 3

Vegetation classification AS3959	North ☐ North-East ☒	South ☐ South-West ☒	East ☐ South-East ☒	West ☐ North-West ☒
Group A	☐ Forest	☐ Forest	☐ Forest	☐ Forest
Group B	☐ Woodland	☒ Woodland	☒ Woodland	☐ Woodland
Group C	☐ Shrub-land	☐ Shrub-land	☐ Shrub-land	☐ Shrub-land
Group D	☐ Scrub	☐ Scrub	☐ Scrub	☐ Scrub
Group E	☐ Mallee-Mulga	☐ Mallee-Mulga	☐ Mallee-Mulga	☐ Mallee-Mulga
Group F	☐ Rainforest	☐ Rainforest	☐ Rainforest	☐ Rainforest
Group G	☐ Grassland	☐ Grassland	☐ Grassland	☐ Grassland
	☒ Managed Land	☒ Managed Land	☒ Managed Land	☒ Managed Land
Effective slope (degrees)	☐ Up/0°	☒ Up/0°	☒ Up/0°	☐ Up/0°
	☐ >0-5°	☐ >0-5°	☐ >0-5°	☐ >0-5°
	☒ >5-10°	☐ >5-10°	☐ >5-10°	☒ >5-10°
	☐ >10-15°	☐ >10-15°	☐ >10-15°	☐ >10-15°
	☐ >15-20°	☐ >15-20°	☐ >15-20°	☐ >15-20°
Likely direction of bushfire attack	☐	☒	☐	☐
Prevailing winds	☐	☐	☐	☒
Distance to classified vegetation	>100m managed	Subject site Low Threat vegetation (BHAN 1) Woodland at 7 Blackwell Court, 207 Abbotsfield Road and 44 Russell Road	Subject site Low Threat vegetation (BHAN 1), Woodland at 7 Blackwell Court	>100m managed
REQUIRED Distance to classified vegetation for BAL 12.5	N/A	22-<100m	22-<100m from Woodland at 7 Blackwell Court	N/A
REQUIRED Distance to classified vegetation for BAL 19	N/A	15-<22m	15-<22m from Woodland at 7 Blackwell Court	N/A

3.3 Outbuildings

Not applicable.

3.4 Road Access

Roads are to be constructed to provide vehicle access to the site to assist firefighting and emergency personnel to defend the building or evacuate occupants; and provide access at all times to the water supply for firefighting purposes on the building site.

Private access roads are to be maintained from the entrance to the property cross over with the public road through to the buildings on the site.

Lot 1 - (existing)	Access is not required for a fire appliance to access a fire fighting water point. Private access roads are to be maintained to a standard not less than specified in Table C13.2A.
Lot 2 and Lot 3 – (new)	Access is not required for a fire appliance to access a fire fighting water point. Private access roads are to be constructed and maintained to a standard not less than specified in Table C13.2A.

Table C13.2A: Standards for Property Access

There are no specified design and construction requirements.

3.5 Water Supply

A building that is constructed in a designated bushfire prone area must provide access at all times to a sufficient supply of water for firefighting purposes on the building site.

The exterior elements of a habitable building in a designated Bushfire prone area must be within reach of a 120m long hose (reticulated) or 90m long hose (static) (lay) connected to –

- (i) A fire hydrant system designed and constructed in accordance with TasWater Supplement to Water Supply Code of Australia WSA 03-2011-3.1 MRWA Edition 2.0; or
- (ii) A stored water supply in a water tank, swimming pool, dam or lake available for fire fighting at all times which has the capacity of at least 10,000L for each separate building area to be protected.

Lot 1 and Lot 2 and Lot 3 – Reticulated Water Supply (existing)	Building areas are compliant with Table C13.4, being within 120m of an existing hydrants.
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4.0 Bushfire-Prone Areas Code Assessment Criteria

Assessment has been completed below to demonstrate the BAL and BHMP have been developed in compliance with the Acceptable Solutions and/or the Performance Criteria as specified in the Bushfire-Prone Areas Code.

C13.4 – Exemptions – Not applicable.

C13.6 Development Standards for Subdivision

C13.6.1 Provision of hazard management areas

		Comments
☒ A1	(a) (b)	Not applicable. Specified distances for Hazard Management Areas for BAL 12.5 (Lot 1 and Lot 2) and BAL 19/12.5 (Lot 3) as specified on the plan are in accordance with AS3959. The Hazard Management Area for Lot 1, Lot 2 and Lot 3 shall be <u>established/maintained</u> prior to the Council sealing the final plan of survey for Stage 1 and managed into perpetuity. The proposal complies.
☐ P1		

C13.6.2 Public and fire fighting access

		Comments
☐ A1	(a)	Not applicable.
☒ A1	(b)	The private driveway to Lot 1 will be maintained in accordance with Table C13.2A. The private driveway to Lot 2 and Lot 3 will be constructed and maintained in accordance with Table C13.2A at the time of future habitable building. Access is not required to on-site dedicated firefighting water supply.
☐ P1		
☐ A2		Not applicable.
☐ P2	No PC	

C13.6.3 Provision of water supply for fire fighting purposes

		Comments
☒ A1	(a) (b)	Not applicable All lots indicative habitable buildings are located within 120m hose lay of existing fire plugs in the existing roads. The acceptable solution is achieved.
☐ P1	No PC	
☐ A2	(a) (b)	Not applicable. Not applicable.
☐ A2	(c)	Not applicable.
☐ P2	No PC	

5.0 Layout Options

Not relevant to this proposal.

6.0 Other Planning Provisions

Staging – The hazard management area for Lot 1, Lot 2 and 3 must be established and maintained prior to the final plan of survey being sealed by Council for Stage 1 (Lot 1), and managed into perpetuity.

7.0 Conclusions and Recommendations

Mitigation from bushfire is dependent on the careful management of the site by maintaining reduced fuel loads within the hazard management areas and within the site generally and to provide sources of water supply dedicated for firefighting purposes and the construction and maintenance of a safe egress route.

The site has been assessed as demonstrating a building area that have the dimensions equal to or greater than the separation distance required for BAL 12.5 (Lot 1 and Lot 2) and BAL 19/12.5 (Lot 3) in Table 2.6 of AS 3959 – 2018 Construction of Buildings in Bushfire Prone Areas.

Access

The private driveway to Lot 2 and Lot 3 will be constructed and then maintained into perpetuity in accordance with Table C13.2A at the time of future habitable building.

Water Supplies

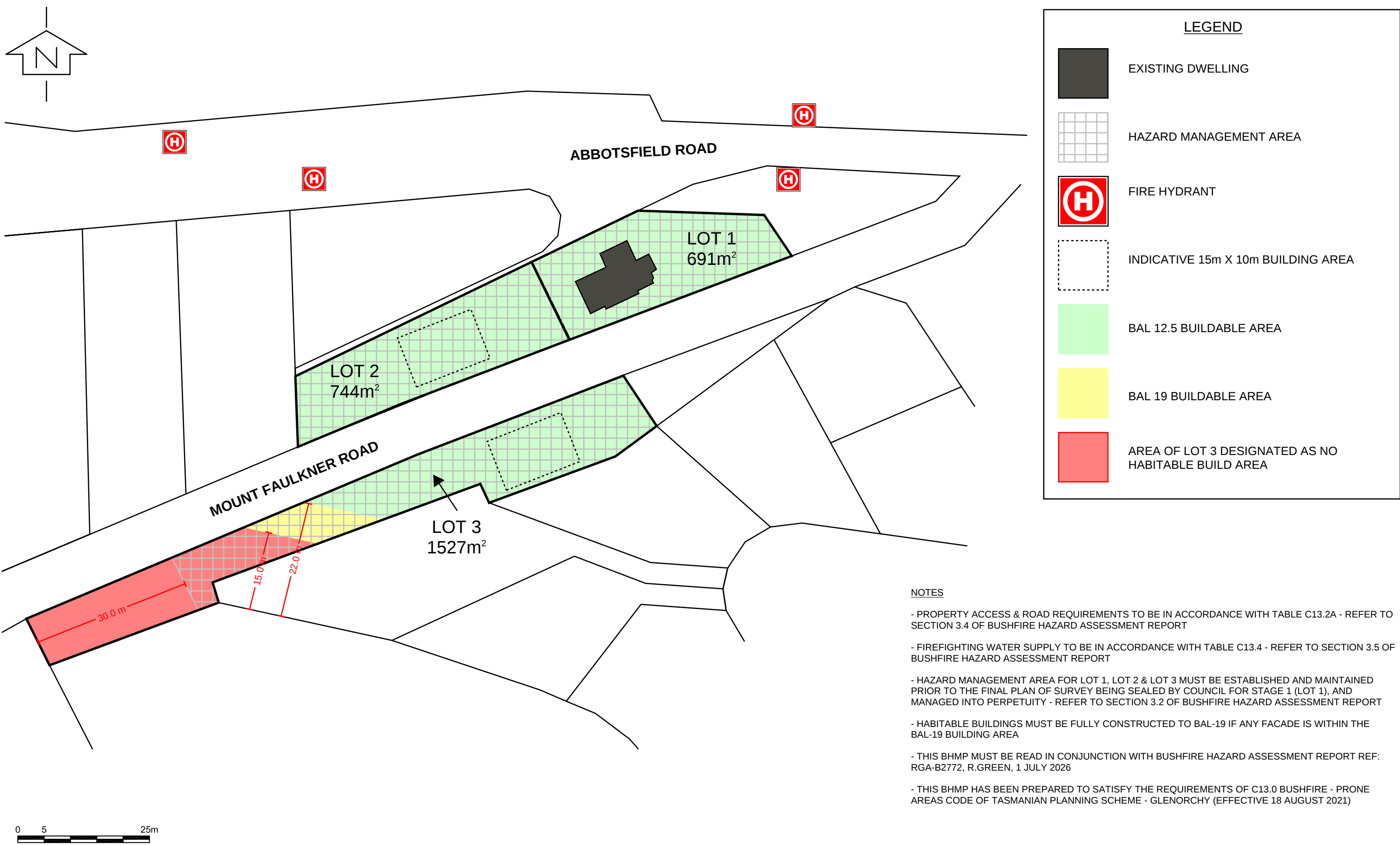
Water supply complies with Table C13.4.

Fuel Managed Areas

Hazard Management Areas as detailed within the plan shall be constructed and maintained as detailed in Schedule 2.

For Lot 1, Lot 2 and Lot 3, Hazard Management Area is to be established/managed prior to the final plan of survey being sealed by Council for Stage 1 (Lot 1), and must be managed into perpetuity.

Schedule 2 – Bushfire Hazard Management Plan

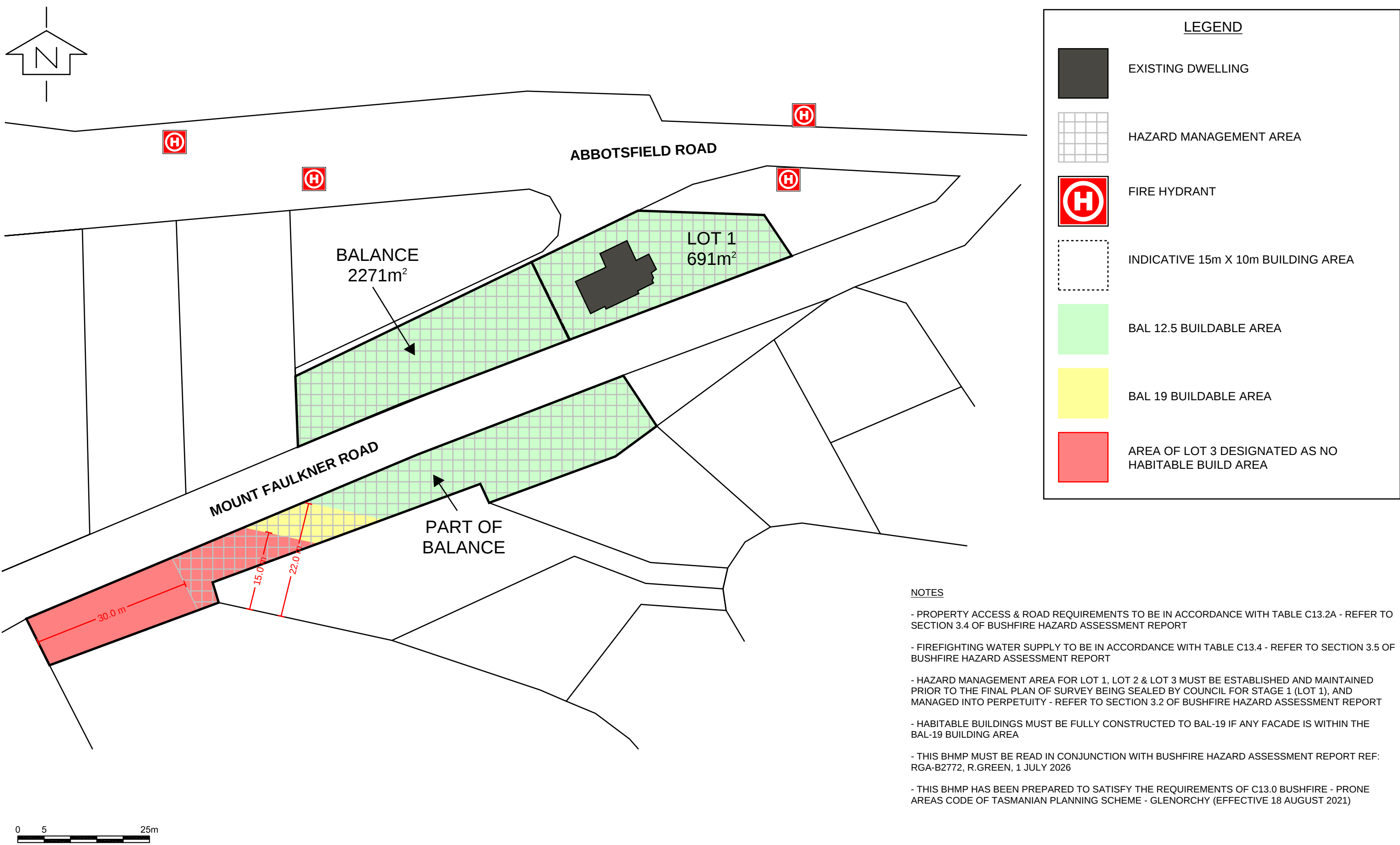


BUSHFIRE HAZARD MANAGEMENT PLAN
BUSHFIRE ATTACK LEVEL (BAL) - BAL-12.5 (LOT 1,
LOT 2) & BAL-12.5/19 (LOT 3)
SUBDIVISION (LOTS 1 - 3) - STAGED

165A ABBOTSFIELD ROAD, CLAREMONT
VOLUME 179186 FOLIO 2
PROPERTY ID 9009798

DATE: 1 JULY 2026
VERSION: 4
DRAWN: REBECCA GREEN
PHONE: 0409 284 422
EMAIL: ADMIN@RGASSOCIATES.COM.AU
BFP - 116, SCOPE - 1, 2, 3A, 3B, 3C

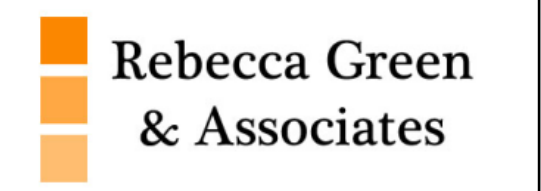




BUSHFIRE HAZARD MANAGEMENT PLAN
BUSHFIRE ATTACK LEVEL (BAL) - BAL-12.5 (LOT 1, LOT 2) & BAL-12.5/19 (LOT 3)
SUBDIVISION (LOTS 1 - 3) - STAGED
STAGE 1

165A ABBOTSFIELD ROAD, CLAREMONT
VOLUME 179186 FOLIO 2
PROPERTY ID 9009798

DATE: 1 JULY 2026
VERSION: 4
DRAWN: REBECCA GREEN
PHONE: 0409 284 422
EMAIL: ADMIN@RGASSOCIATES.COM.AU
BFP - 116, SCOPE - 1, 2, 3A, 3B, 3C



Form 55

CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

To:

Owner /Agent

Address

Suburb/postcode^a

Form

55

Qualified person details:

Qualified person: Rebecca Green

Address:

Licence No:

Qualifications and Insurance details:

Accredited to report on bushfire hazards under Part IVA of the *Fire Services Act 1979*

(description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Speciality area of expertise:

Analysis of hazards in bushfire prone areas

(description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Details of work:

Address: 165A Abbotsfield Road

Lot No: 2

CLAREMONT

7011

Certificate of title No: 179186

The assessable item related to this certificate:

Proposed Subdivision (Lots 1-3) - Staged

(description of the assessable item being certified)

Assessable item includes –

- a material;
- a design
- a form of construction
- a document
- testing of a component, building system or plumbing system
- an inspection, or assessment, performed

Certificate details:

Certificate type: Bushfire Hazard

(description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)

This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)

building work, plumbing work or plumbing installation or demolition work:



or

a building, temporary structure or plumbing installation:



In issuing this certificate the following matters are relevant –

Documents:	Bushfire Hazard Assessment Report & Bushfire Hazard Management Plan (Rebecca Green & Associates, 1 July 2026, Version 4, Job No. RGA-B2772)
Relevant	N/A
References:	<i>Tasmanian Planning Scheme – Glenorchy, Bushfire-Prone Areas Code</i> <i>Australian Standard 3959-2018</i>

Substance of Certificate: (what it is that is being certified)

1. Assessment of the site Bushfire Attack Level (to Australian Standard 3959-2018)
2. Bushfire Hazard Management Plan showing BAL-12.5 (Lot 1 and Lot 2) and BAL-19/12.5 (Lot 3) solutions.

Scope and/or Limitations

Scope

This report and certification was commissioned to identify the Bushfire Attack Level for the existing property. All comment, advice and fire suppression measures are in relation to compliance with *Tasmanian Planning Scheme – Glenorchy, Bushfire-Prone Areas Code C13.0*, the *Building Act 2016 & Regulations 2016*, *National Construction Code* and *Australian Standard 3959-2018, Construction of buildings in bushfire-prone areas*.

Limitations

The assessment has been undertaken and report provided on the understanding that:-

1. The report only deals with the potential bushfire risk all other statutory assessments are outside the scope of this certificate.
2. The report only identifies the size, volume and status of vegetation at the time the inspection was undertaken and cannot be relied upon for any future development.
3. Impacts of future development and vegetation growth have not been considered.
4. No assurance is given or inferred for the health, safety or amenity of the general public, individuals or occupants in the event of a Bushfire.
5. No warranty is offered or inferred for any buildings constructed on the property in the event of a Bushfire.

No action or reliance is to be placed on this certificate or report; other than for which it was commissioned.

I certify the matters described in this certificate.

Qualified person

Certificate No:

RG-115/2026

Date:

1 July 2026

Attachment 1 – Certificate of Compliance to the Bushfire-prone Area Code

BUSHFIRE-PRONE AREAS CODE

CERTIFICATE¹ UNDER S51(2)(d) *LAND USE PLANNING AND APPROVALS ACT 1993*

1. Land to which certificate applies

The subject site includes property that is proposed for use and development and includes all properties upon which works are proposed for bushfire protection purposes.

Street address:

165A Abbotsfield Road, Claremont TAS 7011

Certificate of Title / PID:

F.R. 179186/2, PID9009798

2. Proposed Use or Development

Description of proposed Use and Development:

Proposed Subdivision (Lots 1-3) - Staged

Applicable Planning Scheme:

Tasmanian Planning Scheme – Glenorchy

3. Documents relied upon

This certificate relates to the following documents:

Title	Author	Date	Version
Proposed Subdivision Ref: MADDP03 9999-99	Brooks, Lark and Carrick Surveyors	16/9/25	A
Bushfire Hazard Assessment Report	Rebecca Green	1 July 2026	4
Bushfire Hazard Management Plan	Rebecca Green	1 July 2026	4

¹ This document is the approved form of certification for this purpose and must not be altered from its original form.

4. Nature of Certificate

The following requirements are applicable to the proposed use and development:

☐	E1.4 / C13.4 – Use or development exempt from this Code	
	Compliance test	Compliance Requirement
☐	E1.4(a) / C13.4.1(a)	Insufficient increase in risk

☐	E1.5.1 / C13.5.1 – Vulnerable Uses	
	Acceptable Solution	Compliance Requirement
☐	E1.5.1 P1 / C13.5.1 P1	<i>Planning authority discretion required. A proposal cannot be certified as compliant with P1.</i>
☐	E1.5.1 A2 / C13.5.1 A2	Emergency management strategy
☐	E1.5.1 A3 / C13.5.1 A2	Bushfire hazard management plan

☐	E1.5.2 / C13.5.2 – Hazardous Uses	
	Acceptable Solution	Compliance Requirement
☐	E1.5.2 P1 / C13.5.2 P1	<i>Planning authority discretion required. A proposal cannot be certified as compliant with P1.</i>
☐	E1.5.2 A2 / C13.5.2 A2	Emergency management strategy
☐	E1.5.2 A3 / C13.5.2 A3	Bushfire hazard management plan

☒	E1.6.1 / C13.6.1 Subdivision: Provision of hazard management areas	
	Acceptable Solution	Compliance Requirement
☐	E1.6.1 P1 / C13.6.1 P1	<i>Planning authority discretion required. A proposal cannot be certified as compliant with P1.</i>
☐	E1.6.1 A1 (a) / C13.6.1 A1(a)	Insufficient increase in risk
☒	E1.6.1 A1 (b) / C13.6.1 A1(b)	Provides BAL-19 for all lots (including any lot designated as 'balance') <i>Refer to Bushfire Hazard Assessment Report & Bushfire Hazard Management Plan, prepared by Rebecca Green & Associates, 1 July 2026</i>

		<i>demonstrating BAL 12.5 (Lot 1 and Lot 2) and BAL 19/12.5 (Lot 3).</i>
☐	E1.6.1 A1(c) / C13.6.1 A1(c)	Consent for Part 5 Agreement

☒	E1.6.2 / C13.6.2 Subdivision: Public and fire fighting access	
	Acceptable Solution	Compliance Requirement
☐	E1.6.2 P1 / C13.6.2 P1	<i>Planning authority discretion required. A proposal cannot be certified as compliant with P1.</i>
☐	E1.6.2 A1 (a) / C13.6.2 A1 (a)	Insufficient increase in risk
☒	E1.6.2 A1 (b) / C13.6.2 A1 (b)	Access complies with relevant Tables <i>Refer to Bushfire Hazard Assessment Report & Bushfire Hazard Management 1 July 2026 – Lot 1, Lot 2 and Lot 3.</i>

☒	E1.6.3 / C13.1.6.3 Subdivision: Provision of water supply for fire fighting purposes	
	Acceptable Solution	Compliance Requirement
☐	E1.6.3 A1 (a) / C13.6.3 A1 (a)	Insufficient increase in risk
☒	E1.6.3 A1 (b) / C13.6.3 A1 (b)	Reticulated water supply complies with relevant Table <i>Refer to Bushfire Hazard Assessment Report & Bushfire Hazard Management Plan, prepared by Rebecca Green & Associates, 1 July 2026 – Lot 1, Lot 2 and Lot 3.</i>
☐	E1.6.3 A1 (c) / C13.6.3 A1 (c)	Water supply consistent with the objective
☐	E1.6.3 A2 (a) / C13.6.3 A2 (a)	Insufficient increase in risk – Balance lot
☐	E1.6.3 A2 (b) / C13.6.3 A2 (b)	Static water supply complies with relevant Table
☐	E1.6.3 A2 (c) / C13.6.3 A2 (c)	Static water supply consistent with the objective

5. Bushfire Hazard Practitioner

Name: Rebecca Green

Phone No: 0409 284 422

Postal Address: PO Box 2108
Launceston, Tas 7250

Email Address: admin@rgassociates.com.au

Accreditation No: BFP – 116

Scope: 1, 2, 3A, 3B, 3C

6. Certification

I certify that in accordance with the authority given under Part 4A of the *Fire Service Act 1979* that the proposed use and development:

☐ Is exempt from the requirement Bushfire-Prone Areas Code because, having regard to the objective of all applicable standards in the Code, there is considered to be an insufficient increase in risk to the use or development from bushfire to warrant any specific bushfire protection measures, or

☒ The Bushfire Hazard Management Plan/s identified in Section 3 of this certificate is/are in accordance with the Chief Officer's requirements and compliant with the relevant **Acceptable Solutions** identified in Section 4 of this Certificate.

Signed:
certifier

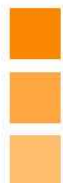
Name: Rebecca Green

Date: 1 July 2026

Certificate Number: RGA-034/2026

(for Practitioner Use only)

Attachment 2 – AS3959-2018 Construction Requirements



BAL Assessments

Revised for 2018 edition

	BAL—LOW	BAL-12.5	BAL-19	BAL-29	BAL-40	BAL –FZ (FLAMEZONE)
SUBFLOOR SUPPORTS	No special construction requirements	No special construction requirements	Enclosure by external wall or by steel, bronze or aluminium mesh	Enclosure by external wall or by steel, bronze of aluminium mesh. Non-combustible or naturally fire resistant timber supports where the subfloor is unenclosed	If enclosed by external wall refer below “External Walls” section in table or non-combustible sub-floor supports, or tested for bushfire resistance to AS1530.8.1	Enclosure by external wall or non-combustible with an FRL of 30/-/- or to be tested for bushfire resistance to AS1530.8.2
FLOORS	No special construction requirements	No special construction requirements	Concrete slab on ground or enclosure by external wall, metal mesh as above or flooring less than 400mm above ground level to be non-combustible, naturally fire resistant timber or protected on the underside with sarking or mineral wool insulation	Concrete slab on ground or enclosure by external wall, metal mesh as above or flooring less than 400mm above ground level to be non-combustible, naturally fire resistant timber or protected on the underside with sarking or mineral wool insulation	Concrete slab on ground or enclosure by external wall or protection of underside with a non-combustible material such as fibre cement sheet or be non-combustible or to be tested for bushfire resistance to AS1530.8.1	Concrete slab on ground or enclosure by external wall or an FRL of 30/30/30 or protection of underside 30 minute incipient spread of fire system or to be tested for bushfire resistance to AS1530.8.2
EXTERNAL WALLS	No special construction requirements	As for BAL-19	Parts less than 400mm above ground or decks etc to be of non-combustible material, 6mm fibre cement clad or bushfire resistant/ naturally fire resistant timber	Non-combustible material (masonry, brick veneer, mud brick, aerated concrete, concrete) or timber framed, or steel framed walls sarked on the outside and clad with 6mm fibre cement sheeting or steel sheeting or bushfire resistant timber	Non-combustible material (masonry, brick veneer, mud brick, aerated concrete, concrete) or timber framed, or steel framed walls sarked on the outside and clad with 9mm fibre cement sheeting or steel or to be tested for bushfire resistance to AS1530.8.1	Non-combustible material (masonry, brick veneer, mud brick, aerated concrete, concrete) with a minimum thickness of 90mm or a FRL of -/30/30 when tested from outside or to be tested for bushfire resistance to AS1530.8.2
EXTERNAL WINDOWS	No special construction requirements	4mm grade A Safety Glass of glass blocks within 400m of ground, deck etc with Openable portion metal screened with frame of metal or metal reinforced PVC-U or bushfire resisting timber	5mm toughened glass or glass bricks within 400mm of the ground, deck etc with openable portion metal screened with frame of metal or metal reinforced PVC-U or bushfire resisting timber. Above 400mm annealed glass can be used with all glass screened	5mm toughened glass with openable portion screened and frame of metal or metal reinforced PVC-U, or bushfire resistant timber and portion within 400mm of ground, deck, screen etc screened	6mm toughened glass. Fixed and openable portion screened with steel or bronze mesh	Protected by bushfire shutter or FRL of -/30/- and openable portion screened with steel or bronze mesh or be tested for bushfire resistance to AS1530.8.2
EXTERNAL DOORS	No special construction requirements	As for BAL-19 except that door framing can be naturally fire resistant (high density) timber	Screened with steel, bronze or aluminium mesh or glazed with 5mm toughened glass, non-combustible or 35mm solid timber for 400mm above threshold, metal or bushfire resistant timber framed for 400mm above ground, decking etc. tight-fitting with weather strips at base	Screened with steel, bronze or aluminium mesh or non-combustible, or 35mm solid timber for 400mm above threshold. Metal or bushfire resistant timber framed tight-fitting with weather strips at base	Non-combustible or 35mm solid timber, screened with steel or bronze mesh, metal framed, tight-fitting with weather strips at base	Protected by bushfire shutter or tight-fitting with weather strips at base and a FRL of -/30/-
ROOFS	No special construction requirements	As for BAL-19 (including roof to be fully sarked)	Non-combustible covering, roof/wall junctions sealed. Openings fitted with non-combustible ember guards. Roof to be fully sarked.	Non-combustible covering. Roof/wall junction sealed. Openings fitted with non-combustible ember guards. Roof to be fully sarked	Non-combustible covering. Roof/wall junction sealed. Openings fitted with non-combustible ember guards. Roof to be fully sarked and no roof mounted evaporative coolers	Roof with FRL of 30/30/30 or tested for bushfire resistance to AS1530.8.2. Roof/wall junction sealed. Openings fitted with non-combustible ember guards. No roof mounted evaporative coolers
VERANDAS DECKS ETC.	No special construction requirements	As for BAL-19	Enclosed sub floor space—no special requirements for materials except within 400mm of ground. No special requirements for supports or framing. Decking to be non-combustible or bushfire resistant within 300mm horizontally and 400mm vertically from a glazed element	Enclosed sub floor space or non-combustible or bushfire resistant timber supports. Decking to be non-combustible or bushfire resistant timbers	Enclosed sub-floor space or non-combustible supports. Decking to be non-combustible	Enclosed sub floor space or non-combustible supports. Decking to have no gaps and be non-combustible

Please note: The information in the table is a summary of the construction requirements in the AS3959-2018 standard and is not intended as a design or construction guide. You should consult the standard for the full technical details.

Attachment 3 – Proposal Plan

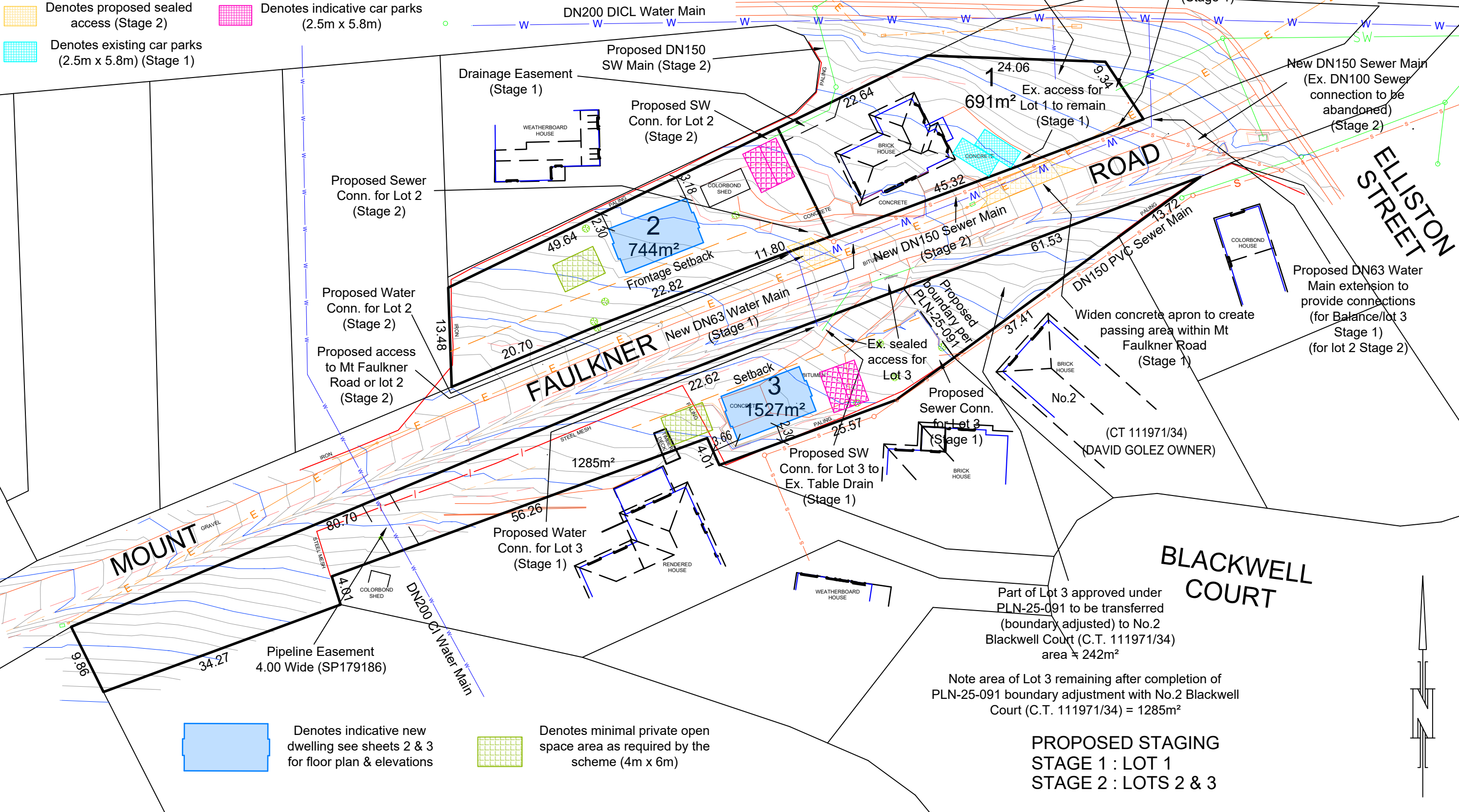
Brooks, Lark and Carrick Surveyors

This plan has been prepared only for the purpose of obtaining preliminary
subdivisional approval from the local authority and is subject to that approval.

All measurements and areas are subject to the final survey.

Base image by TASMAP (www.tasmap.tas.gov.au), © State of Tasmania
Base data from the LIST (www.thelist.tas.gov.au), © State of Tasmania

-  Denotes proposed sealed access (Stage 2)
-  Denotes indicative car parks (2.5m x 5.8m)
-  Denotes existing car parks (2.5m x 5.8m) (Stage 1)



E				
D				
C				
B				
A	Amend access to lot 2, add sheet 4	DM	16/9/25	DM
REV	AMENDMENTS	DRAWN	DATE	APPR.

**Brooks, Lark
and Carrick
SURVEYORS**

UNIT 1, 2 KENNEDY DRIVE
CAMBRIDGE 7170
PHONE: (03)6248 5898
EMAIL: admin@blcsurveyors.com.au
WEB: www.rbsurveyors.com

OWNER: NICOLAAS SMIT
TITLE REFERENCE: C.T.179186/2
LOCATION: 165A ABBOTSFIELD ROAD,
CLAREMONT

Proposed Subdivision			
Date:	24-06-2025	Reference:	MADDP03 9999-99
Scale:	1:500 (A3)	Municipality:	GLENORCHY CITY

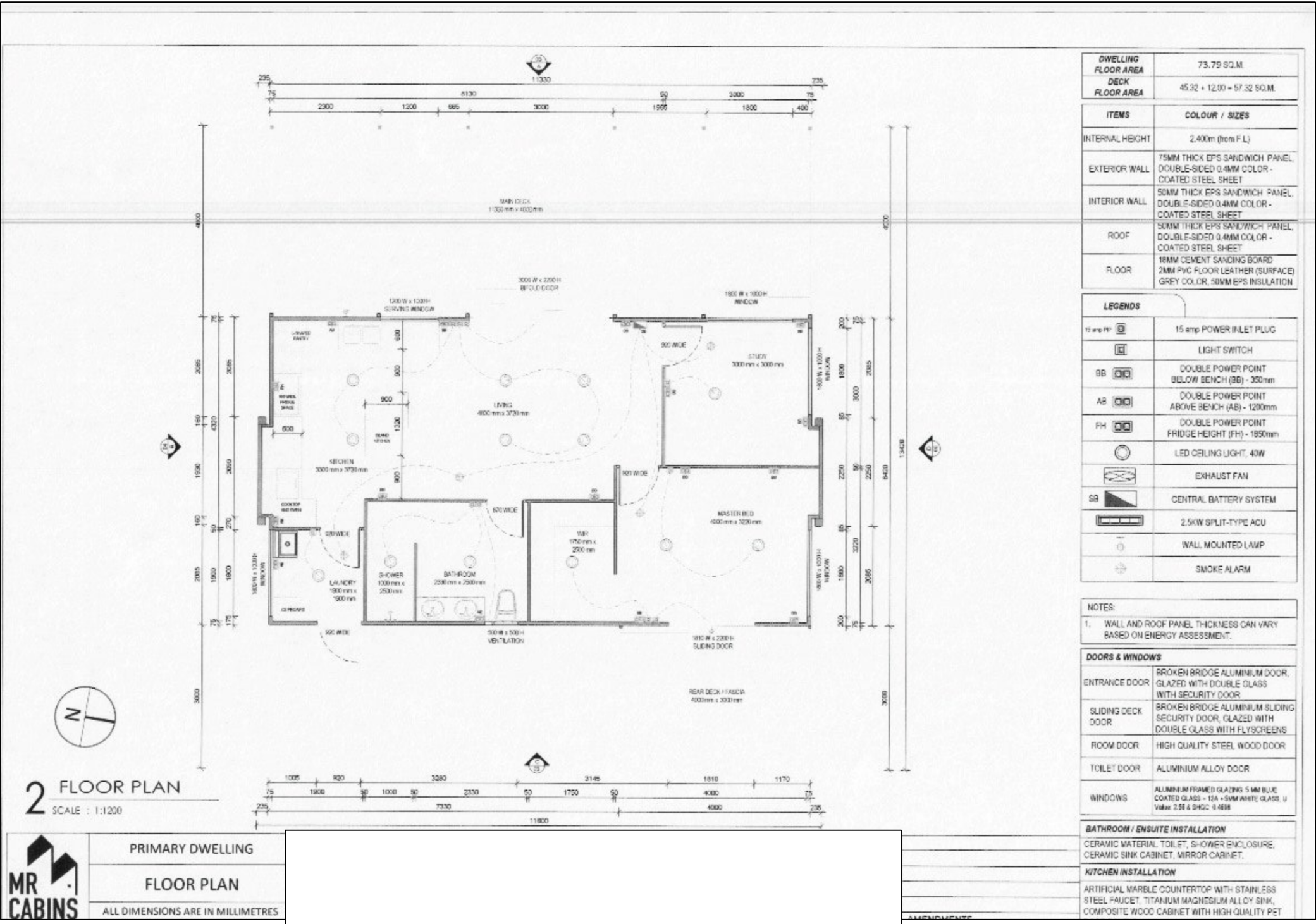
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FLOOR PLAN

- Note:
1. This sheet is for information only.
 2. The intention of sheets 2 and 3 and the indicative new dwelling footprint on sheet 1, is to demonstrate how lots 2 and 3 comply with objective (a) and (c) of 8.6.1 of the scheme.



E				
D				
C				
B				
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TITLE REFERENCE: C.T.179186/2
LOCATION: 165A ABBOTSFIELD ROAD,
CLAREMONT

Proposed Subdivision	
Date: 21-05-2025	Reference: MADDP03 9999-99
Scale: 1:100 (A3)	Municipality: GLENORCHY CITY

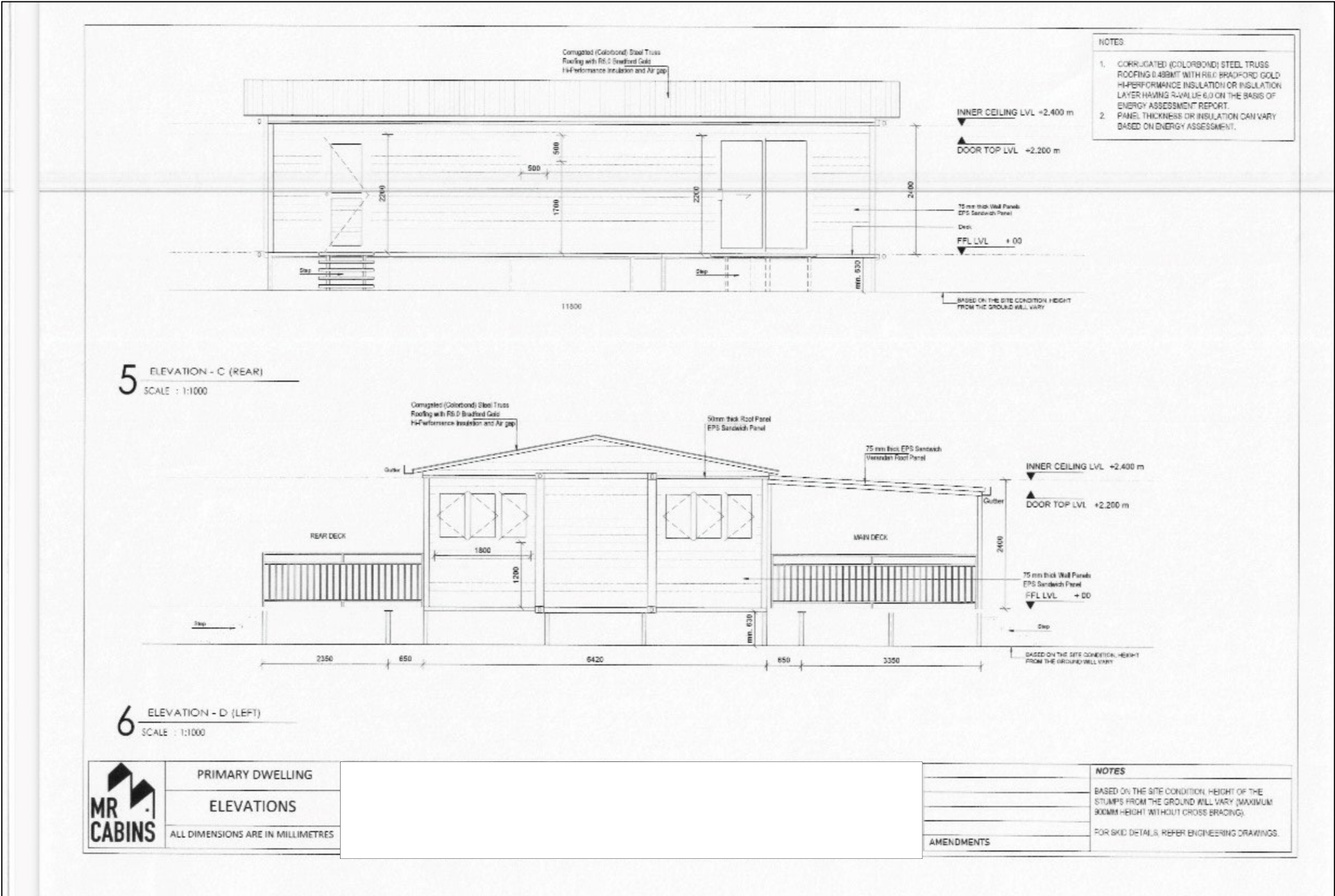
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ELEVATIONS

- Note:
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 - 2. The intention of sheets 2 and 3 and the indicative new dwelling footprint on sheet 1, is to demonstrate how lots 2 and 3 comply with objective (a) and (c) of 8.6.1 of the scheme.
 - 3. Decks are not included.



E				
D				
C				
B				
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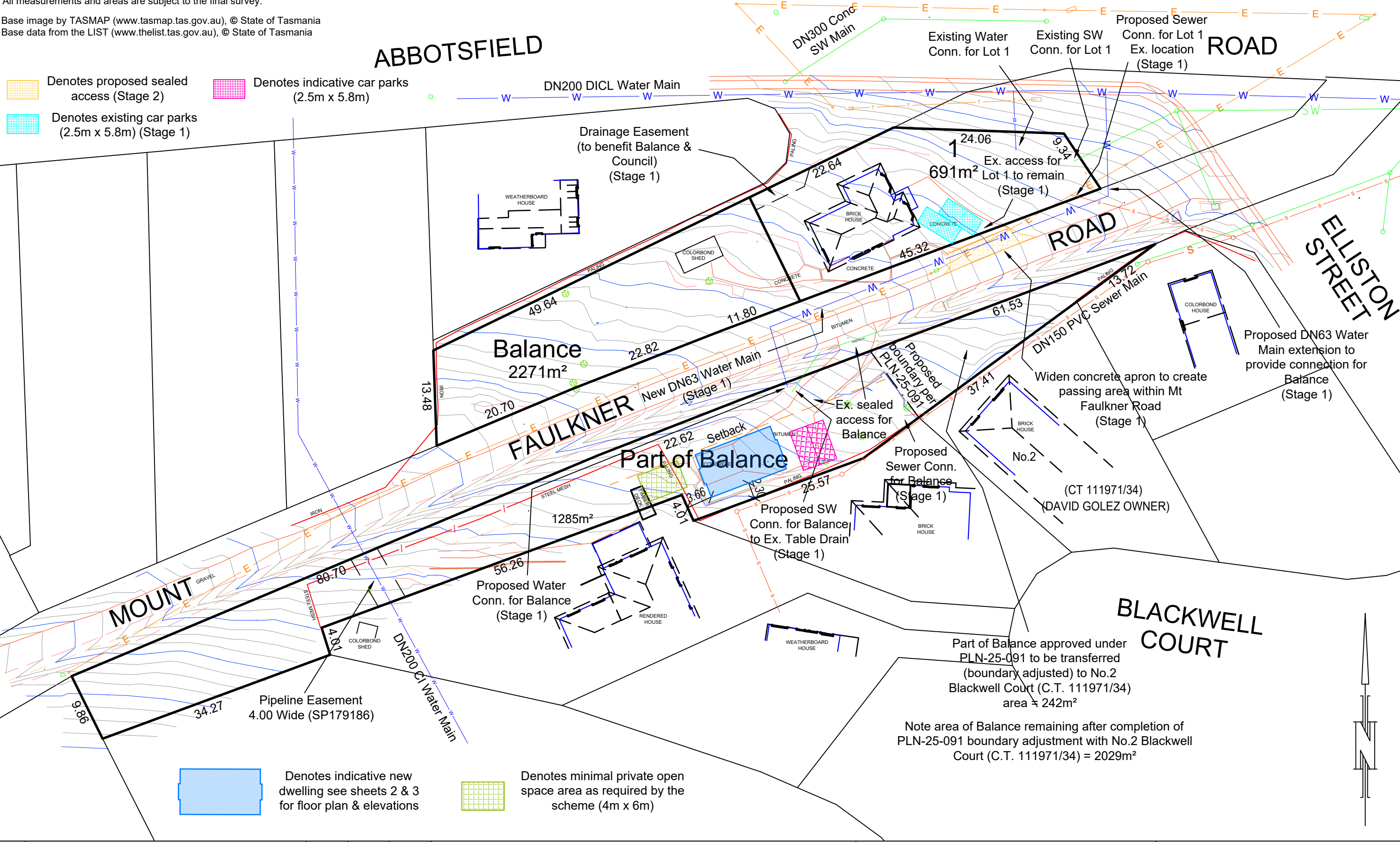
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Base data from the LIST (www.thelist.tas.gov.au), © State of Tasmania

STAGE 1 PLAN

SHEET 4

- Denotes proposed sealed
access (Stage 2)
- Denotes existing car parks
(2.5m x 5.8m) (Stage 1)
- Denotes indicative car parks
(2.5m x 5.8m)



E				
D				
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A	Amend access to lot 2, add sheet 4	DM	16/9/25	DM
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References

- (a) Tasmanian Planning Commission 2021, *Tasmanian Planning Scheme – Glenorchy (Effective 18 August 2021)*, C13.0 Bushfire-Prone Areas Code, Tasmania.
- (b) Australian Standards, AS 3959-2018, *Construction of buildings in bushfire-prone areas*, Standards Australia, Sydney NSW.
- (c) Resource Management & Conservation Division of the Department Primary Industry & Water September 2006, TASVEG, *Tasmanian Vegetation Map*, Tasmania.
- (d) Tasmanian Government, Land Information System Tasmania, www.thelist.tas.gov.au