

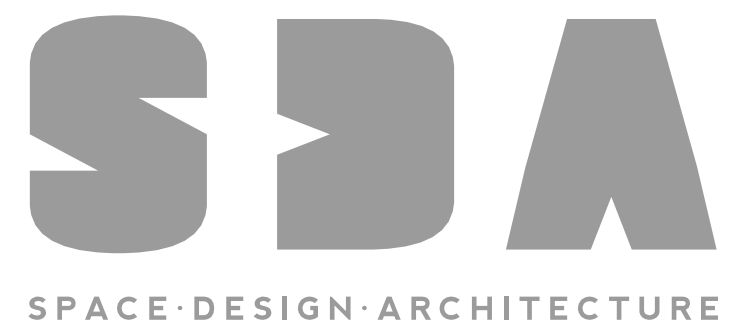
DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-26-121
PROPOSED DEVELOPMENT:	3 x assisted housing units (residential)
LOCATION:	5 Amber Street Claremont
APPLICANT:	Ireneinc Planning
ADVERTISING START DATE:	08/09/2026
ADVERTISING EXPIRY DATE:	22/09/2026

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **22/09/2026**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **22/09/2026**, or for postal and hand delivered representations, by 5.00 pm on **22/09/2026**.



AMBER STREET NDIS HOUSING

2025-027
5 AMBER STREET, CLAREMONT TAS

P +61 2 4969 3631
E HELLO@SDARCH.COM.AU
A SUITE 1, LEVEL 1, 187 UNION ST, THE JUNCTION NSW 2291
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LEGEND

<u>LEGEND:</u>		OVN	OVEN
AC	AIR CONDITIONING	PB	PLASTERBOARD
AP	ACCESS PANEL	PT#	PAINT - TYPE #
AP	APRON FLASHING	PTY	PANTRY
BCAP	BARGE CAPPING	PVP	PHOTOVOLTAIC PANEL
BSN1	BASIN - TYPE 1	REF	REFRIGERATOR
BSN2	BASIN - TYPE 2	RF1	RESILIENT FLOORING - TYPE 1
BT1	BENCHTOP - TYPE 1	RWP	RAINWATER PUMP
CF	CEILING FAN	RWT	RAINWATER TANK
COL	COLUMN	SA	SMOKE ALARM
CON1	CONCRETE - TYPE 1	SHR	SHOWER ROSE
CR1	CORNICE - TYPE 1	SK1	SKIRTING - TYPE 1
CT1	COOKTOP - TYPE 1	SNK1	SINK - TYPE 1
CUR1	SHOWER CURTAIN - TYPE 1	SNK2	SINK - TYPE 2
DL1	DOWNLIGHT - TYPE 1	SSC1	SHOWERSCREEN - TYPE 1
DP	DOWNPIPE	SWM	SUB WATER METER
DRY	DRYER	SWP	STORMWATER PIT
DW	DISHWASHER	TAP1	TAPWARE - TYPE 1
EG	EAVES GUTTER	TMV	THERMOSTATIC MIXING VALVE
EL	EMERGENCY LIGHT	TPH1	TOILET PAPER HOLDER - TYPE 1
EXH	EXHAUST FAN	TRP	THRESHOLD RAMP
FC	FIBRE CEMENT	TRS1	TRANSLUCENT ROOF SHEETING - TYPE 1
FEN	TIMBER PALING FENCE	WC1	WC - TYPE 1
FT1	FLOOR TILE - TYPE 1	WC2	WC - TYPE 2
FW1	FLOOR WASTE - TYPE 1	WM	WASHING MACHINE
HT	HOSE TAP	WMT	WATER METER
HWU	HOT WATER UNIT	WPM	WATERPROOF MEMBRANE
LM1	LAMINATE - TYPE 1	WT1	WALL TILE - TYPE 1
LM2	LAMINATE - TYPE 2	WT2	WALL TILE - TYPE 2
LWC1	LIGHTWEIGHT CLADDING - TYPE 1	WT3	WALL TILE - TYPE 3
LWC2	LIGHTWEIGHT CLADDING - TYPE 2		
LWC3	LIGHTWEIGHT CLADDING - TYPE 3		
MIR1	MIRROR - TYPE 1		
MR-PB	MOISTURE RESISTANT PLASTERBOARD		
MRS1	METAL ROOF SHEETING - TYPE 1		

NOTES

TITLE	CT 222038/8
SITE AREA	1060m²
LOT WIDTH	14.63m
LOT LENGTH	72.54m
ZONING	General Residential
HEIGHT LIMIT	8.5m
MIN PRIVATE OPEN AREA	24m² per dwelling
PROPOSED GFA	369m²
MAXIMUM SITE COVERAGE	50%
PROPOSED SITE COVERAGE	480.07m² (45.29%)
MIN SITE AREA PER DWELLING	325m²
HERITAGE	N/A
ACID SULFATE SOILS	N/A
MINES SUBSIDENCE DEVELOPMENT	N/A
BUSHFIRE	N/A

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GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-21-121

DATE RECEIVED: 21/08/2026

DRAWING LIST

DD	DRAWING REGISTER	B
DD	TRANSMITTAL	B
DD000	COVER PAGE	B
DD001	LEGEND NOTES DRAWING LIST	B
DD002	3D PERSPECTIVES	B
DD100	SITE ANALYSIS PLAN	B
DD101	SITE PLAN	B
DD102	EXISTING DEMOLITION SITE PLAN	B
DD200	ROOF PLAN	B
DD201	DWELLING 01 GROUND FLOOR PLAN	B
DD202	DWELLING 02 GROUND FLOOR PLAN	B
DD203	DWELLING 03 GROUND FLOOR PLAN	B
DD300	ELEVATIONS - SHEET 1	B
DD301	ELEVATIONS - SHEET 2	B
DD302	ELEVATIONS - SHEET 3	B
DD400	SECTIONS - SHEET 1	B
DD401	SECTIONS - SHEET 2	B
DD500	SHADOW DIAGRAMS - SHEET 1	B
DD501	SHADOW DIAGRAMS - SHEET 2	B
DD600	BUILDING ENVELOPE PERSPECTIVES	B

LOCATION PLAN



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ISSUE	DESCRIPTION	BY	CHK	DATE
A	DEVELOPMENT APPLICATION	GR		5/11/2025
B	DEVELOPMENT APPLICATION	AF		21/05/2026

PROJECT	AMBER STREET NDIS HOUSING
CLIENT	KUNAMA

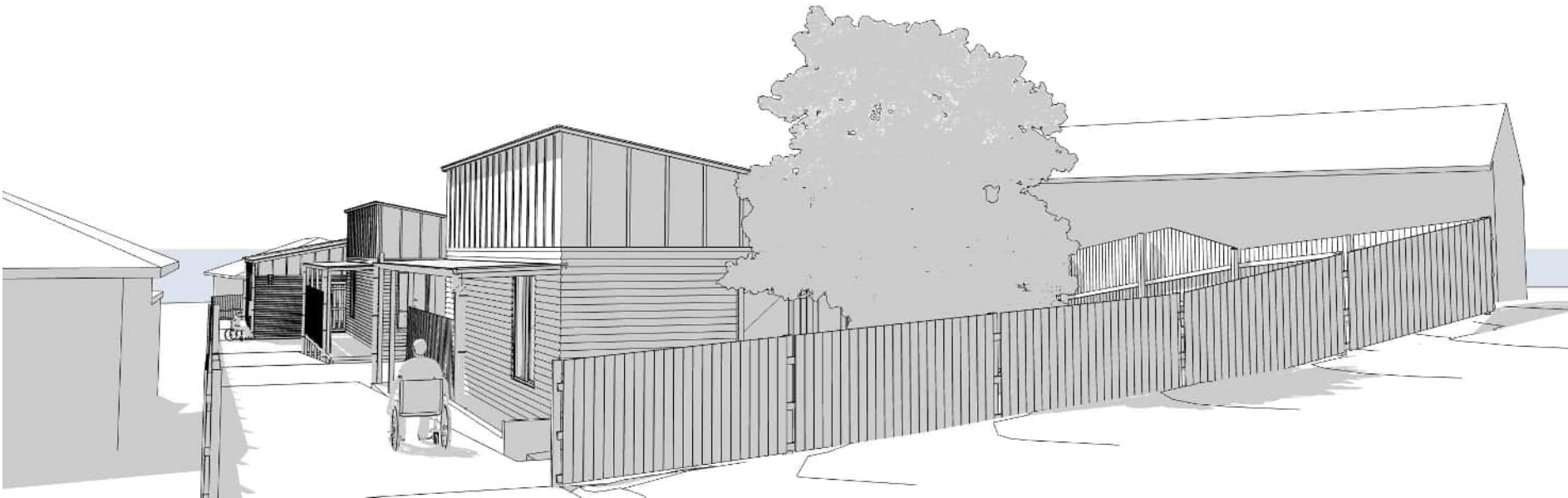
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PROJECT NO.	2025-027

LOCATION	5 AMBER STREET, CLAREMONT TAS
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ISSUE NO.	B
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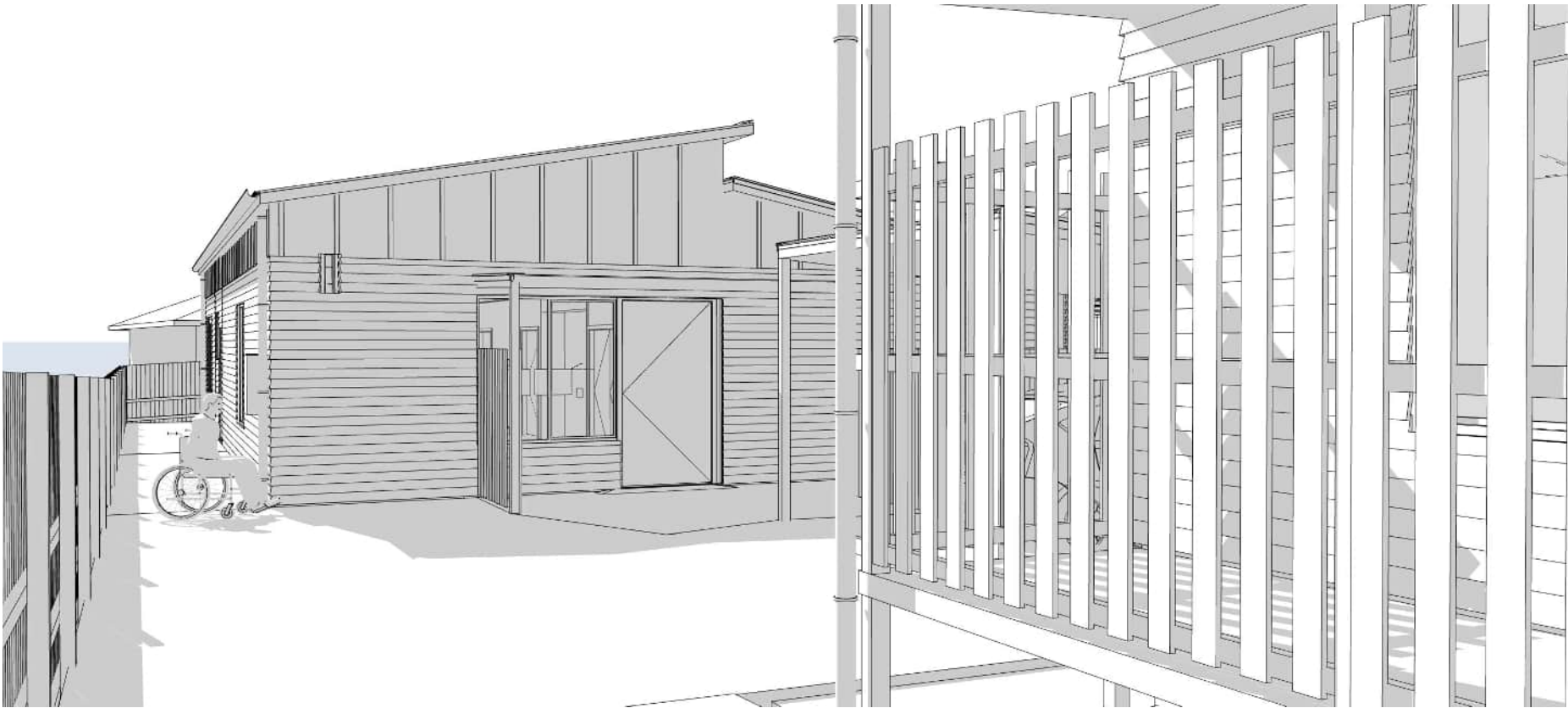
SDA

SPACE · DESIGN · ARCHITECTURE

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No. : PLN-21-121
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AMBER STREET NORTH PERSPECTIVE



DWELLING 03 DRIVEWAY PERSPECTIVE

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PROJECT
AMBER STREET NDIS HOUSING

CLIENT
KUNAMA

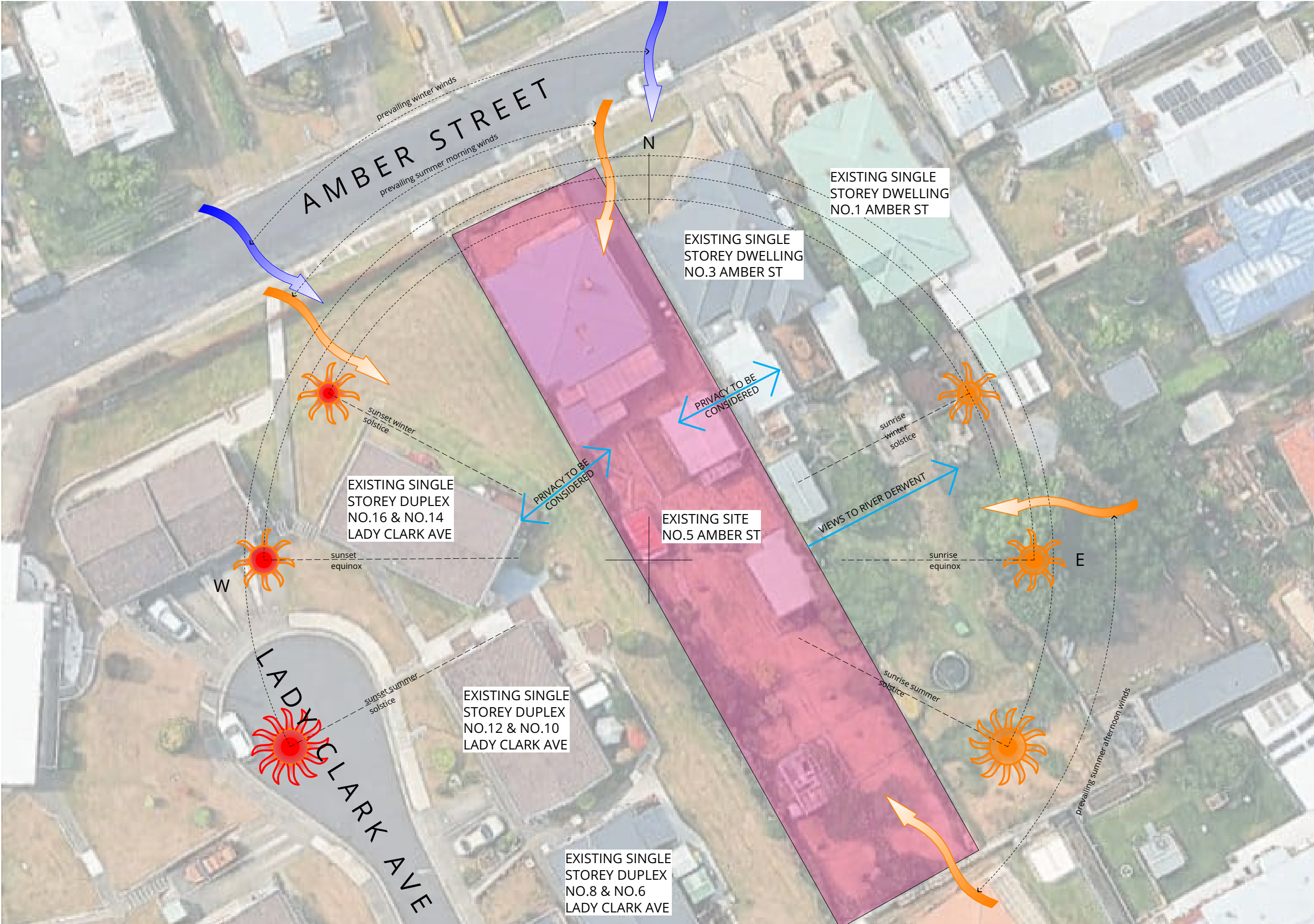
DRAWING
3D PERSPECTIVES

PROJECT NO.
2025-027

LOCATION
5 AMBER STREET, CLAREMONT TAS

DRAWING NO. DD002
ISSUE NO. B
SCALE @A3





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PROJECT
AMBER STREET NDIS HOUSING

CLIENT
KUNAMA

DRAWING
SITE ANALYSIS PLAN

PROJECT NO.
2025-027

LOCATION
5 AMBER STREET, CLAREMONT TAS

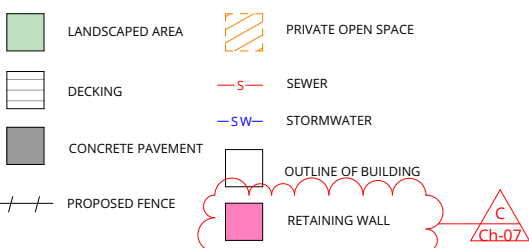
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ISSUE NO.
B

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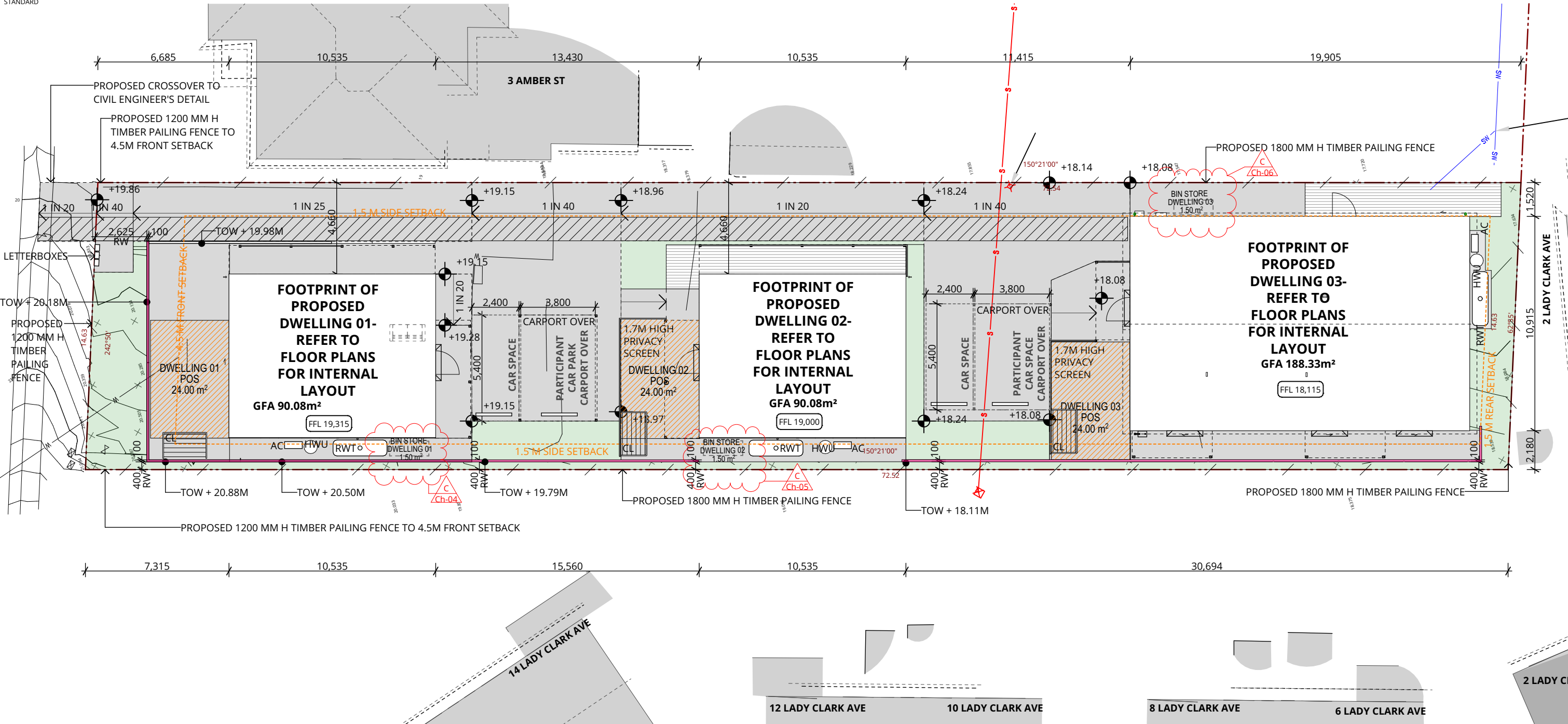
GRAPHIC LEGEND



NOTE:
DDA AND STANDARD PARKING SPACES WILL MEET THE FOLLOWING STANDARDS, AS290.1, AS2890.6 AND NDIS SPECIALIST DISABILITY ACCOMMODATION DESIGN STANDARD

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PROJECT
AMBER STREET NDIS HOUSING

CLIENT
KUNAMA

DRAWING
SITE PLAN

PROJECT NO.
2025-027

LOCATION
5 AMBER STREET, CLAREMONT TAS

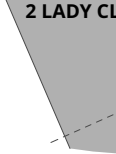
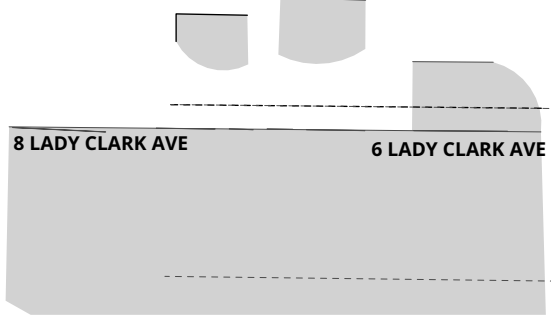
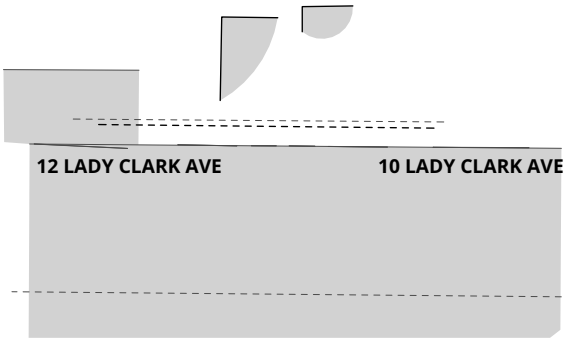
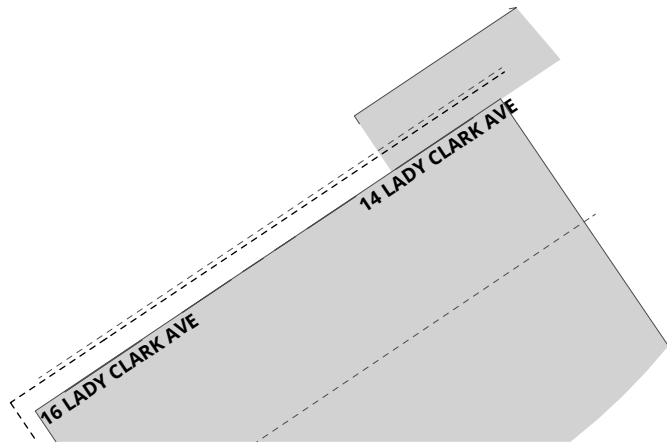
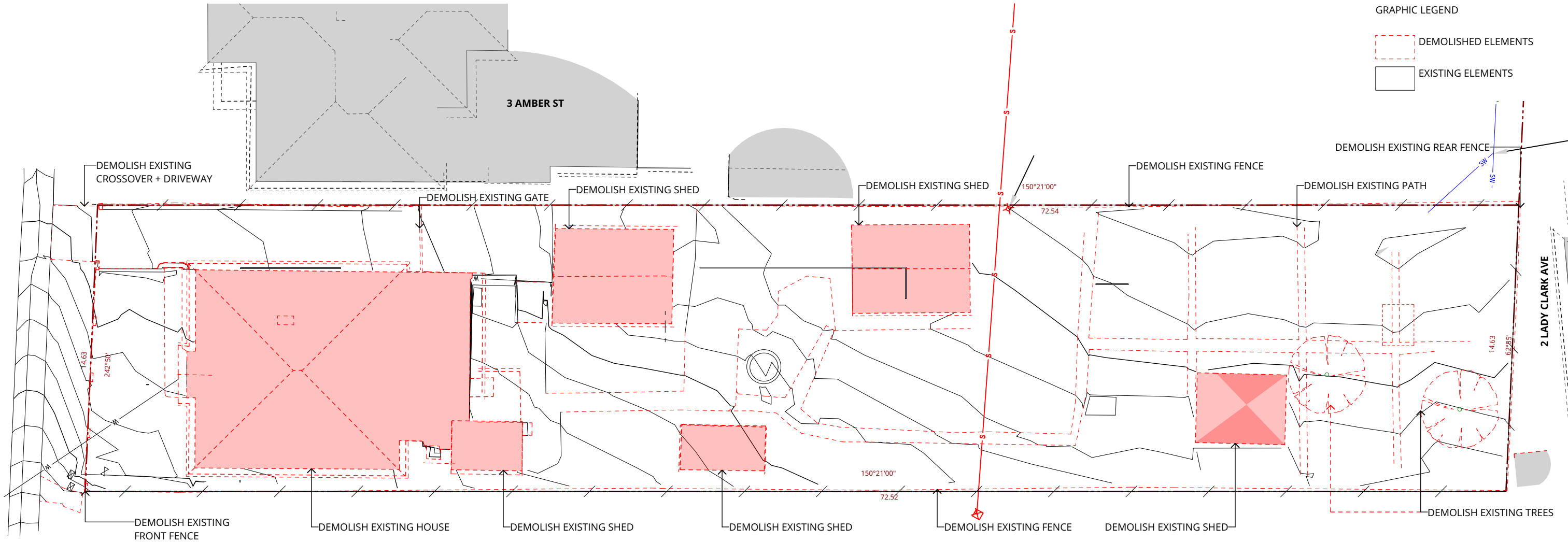
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ISSUE NO.
C
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GRAPHIC LEGEND

- DEMOLISHED ELEMENTS
EXISTING ELEMENTS



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PROJECT
AMBER STREET NDIS HOUSING

CLIENT
KUNAMA

DRAWING
EXISTING | DEMOLITION
SITE PLAN

PROJECT NO.
2025-027

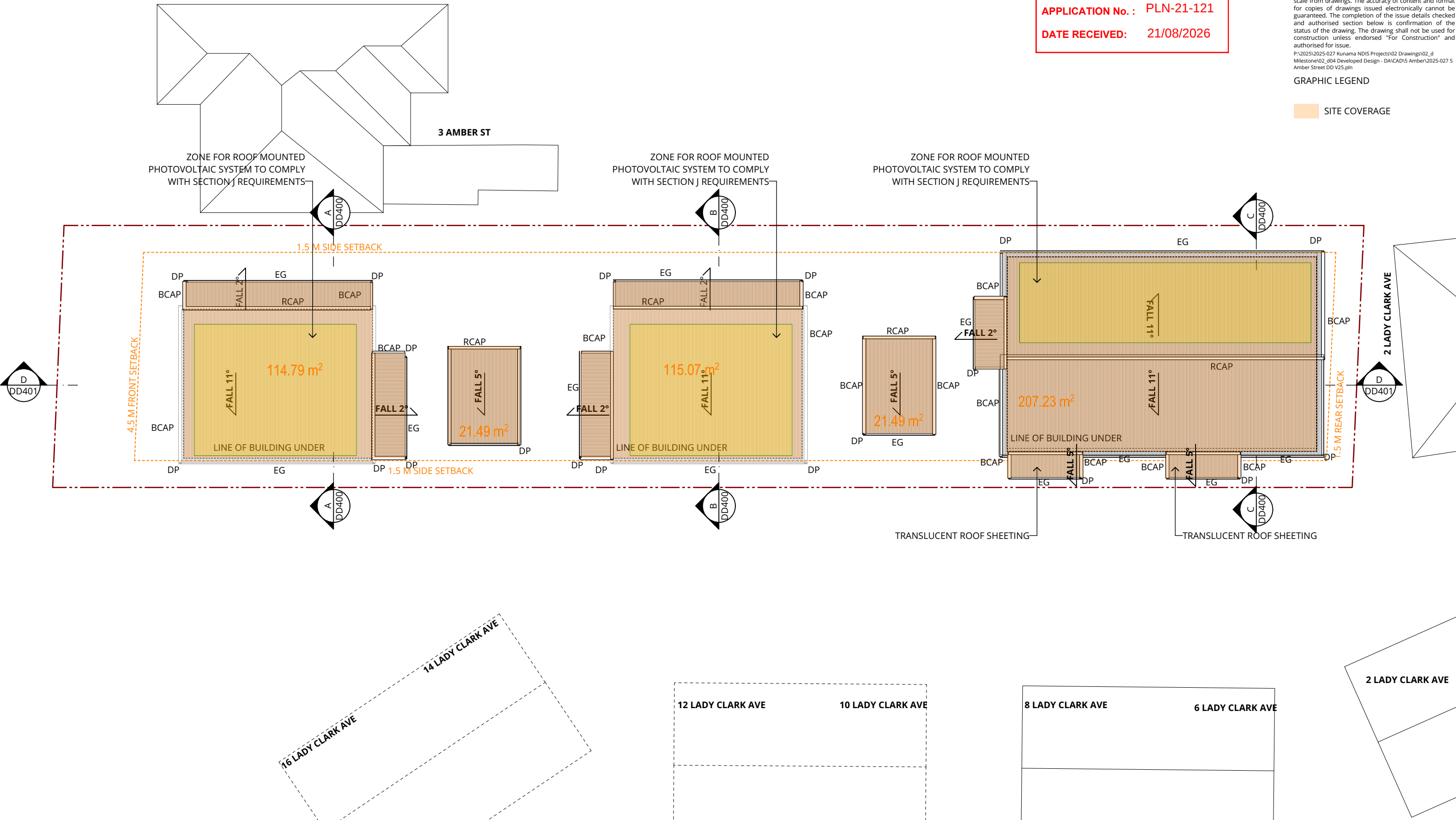
LOCATION
5 AMBER STREET, CLAREMONT TAS

DRAWING NO.
DD102

ISSUE NO.
B

SCALE
1:200@A3





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PROJECT
AMBER STREET NDIS HOUSING

CLIENT
KUNAMA

DRAWING
ROOF PLAN

PROJECT NO.
2025-027

LOCATION
5 AMBER STREET, CLAREMONT TAS

DRAWING NO.
DD200

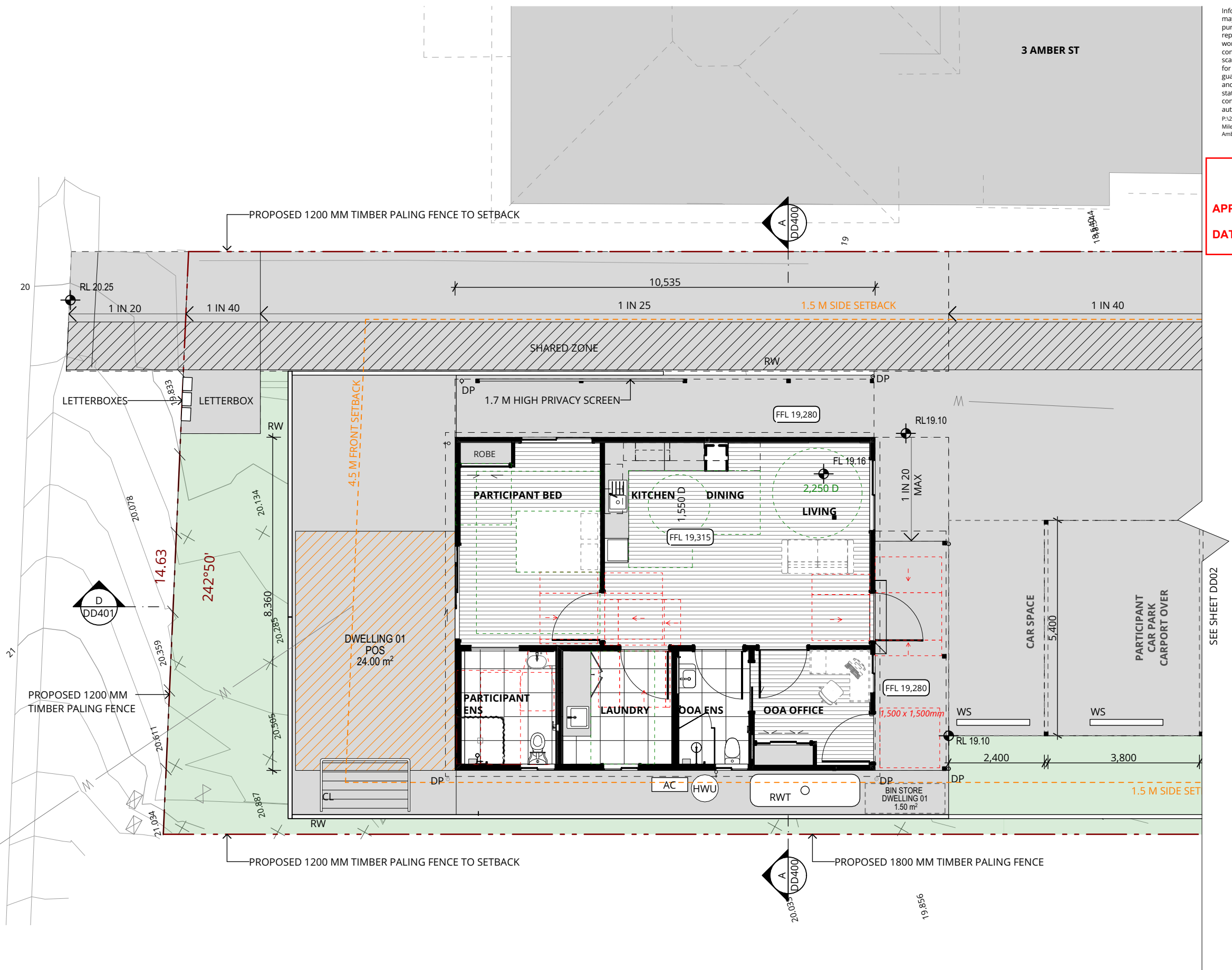
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SPACE · DESIGN · ARCHITECTURE

AMBER STREET



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PROJECT
AMBER STREET NDIS HOUSING

CLIENT
KUNAMA

DRAWING
DWELLING 01 GROUND
FLOOR PLAN

PROJECT NO.
2025-027

LOCATION
5 AMBER STREET, CLAREMONT TAS

DRAWING NO.
DD201

ISSUE NO.
B

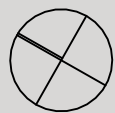
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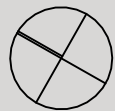
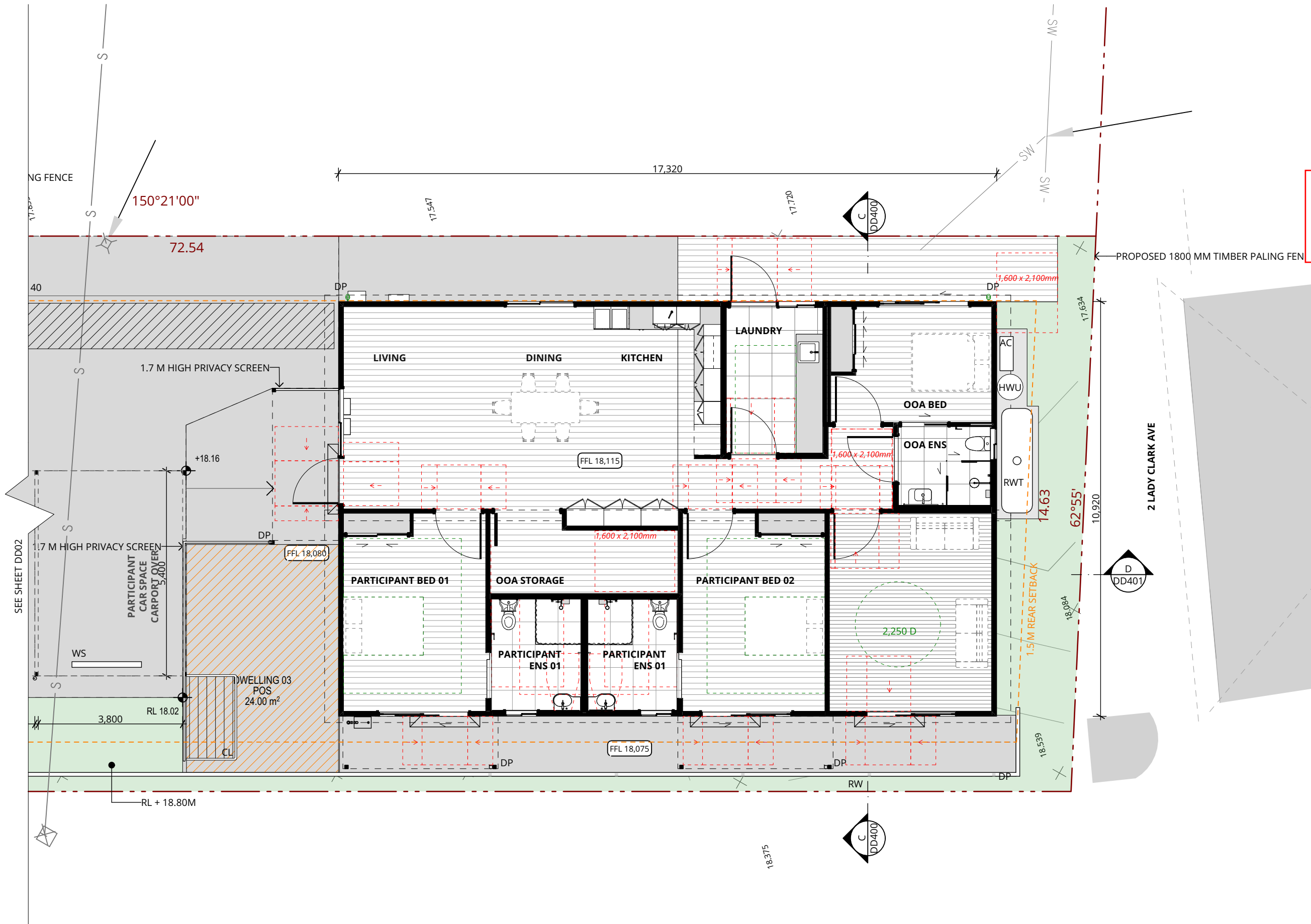
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PROJECT
AMBER STREET NDIS HOUSING

CLIENT
KUNAMA

DRAWING
DWELLING 03 GROUND
FLOOR PLAN

PROJECT NO.
2025-027

LOCATION
5 AMBER STREET, CLAREMONT TAS

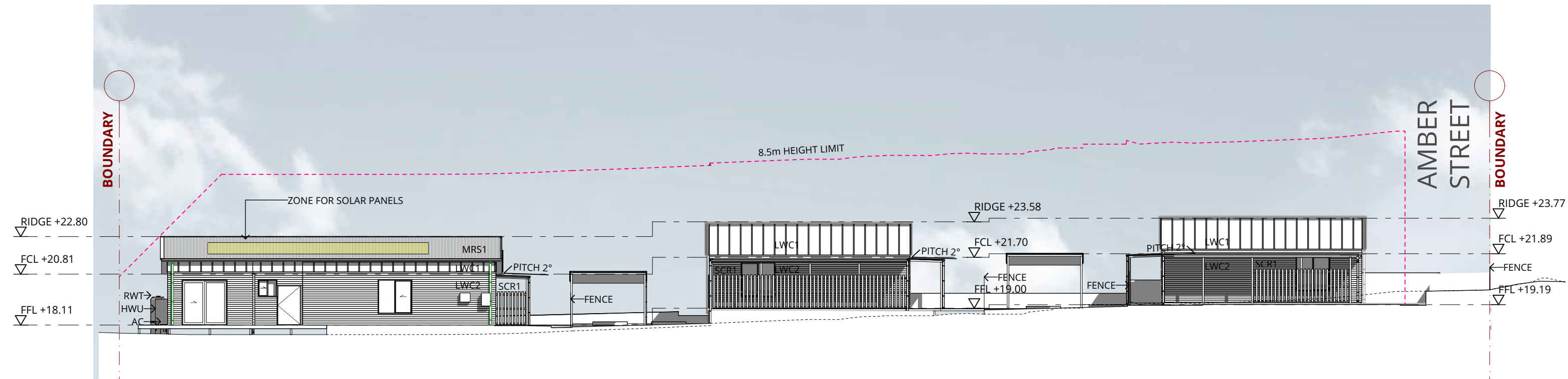
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ISSUE NO.
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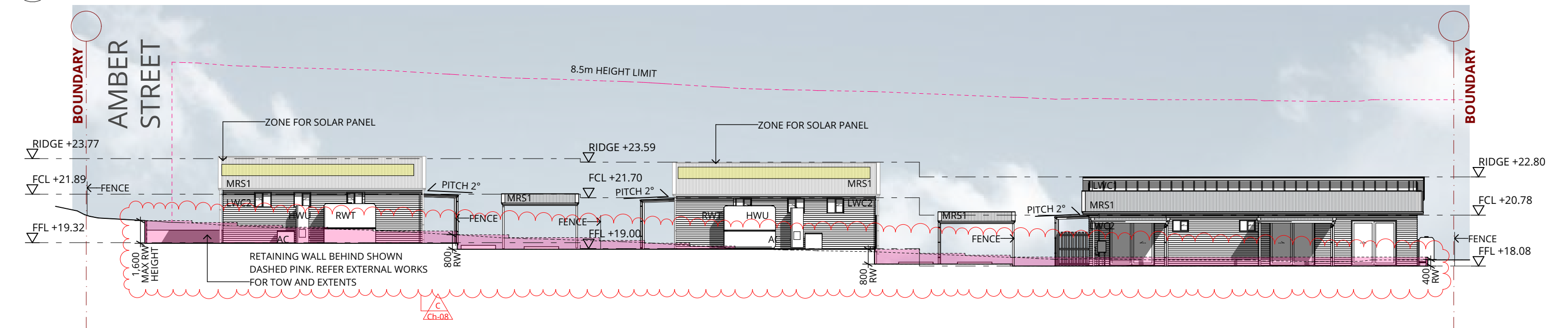
SCALE
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SPACE DESIGN ARCHITECTURE



EAST ELEVATION
SCALE 1:200



WEST ELEVATION
SCALE 1:200

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B	DEVELOPMENT APPLICATION	AF		21/05/2026
C	DEVELOPMENT APPLICATION	AF		20/08/2026

PROJECT
AMBER STREET NDIS HOUSING

CLIENT
KUNAMA

DRAWING
ELEVATIONS - SHEET 1

PROJECT NO.
2025-027

LOCATION
5 AMBER STREET, CLAREMONT TAS

DRAWING NO. DD300
ISSUE NO. C
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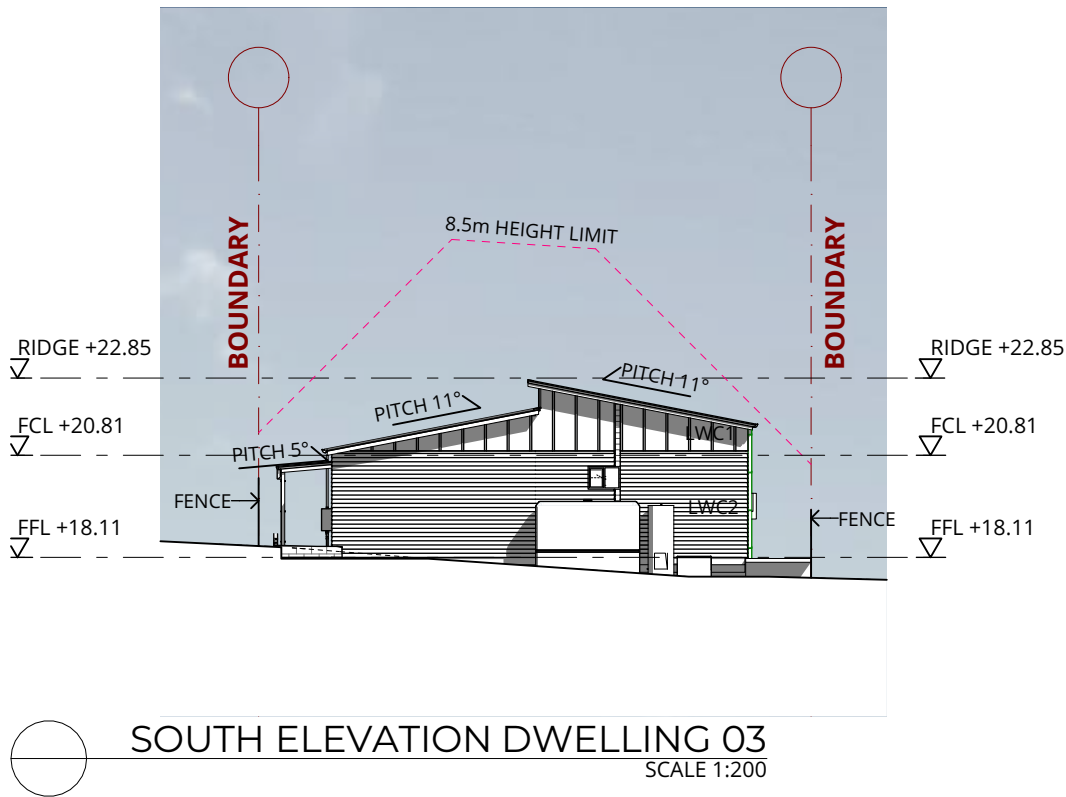
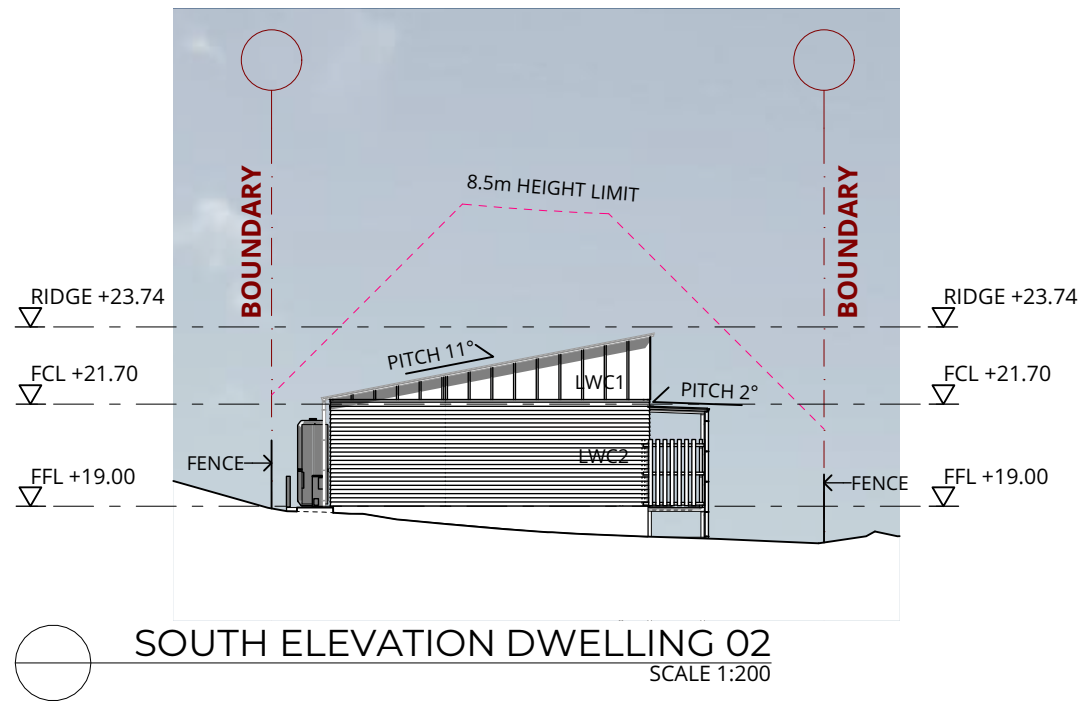
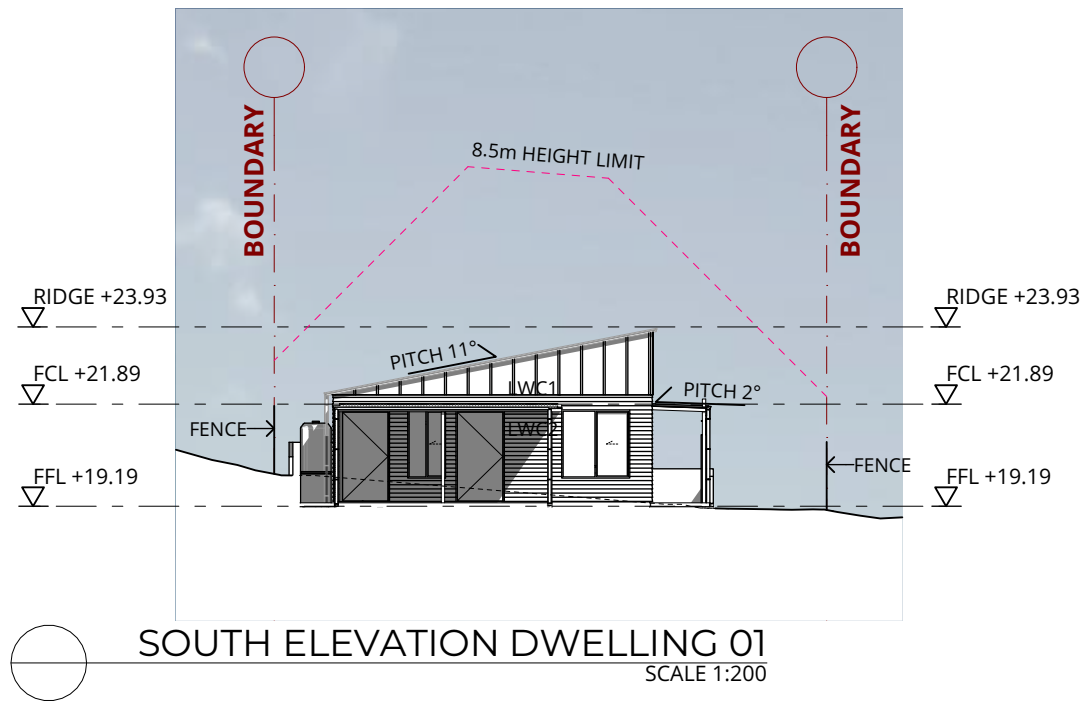
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Milestone\02_d04 Developed Design - DA\ICAD\5 Amber\2025-027 5
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PROJECT
AMBER STREET NDIS HOUSING

CLIENT
KUNAMA

DRAWING
ELEVATIONS - SHEET 2

PROJECT NO.
2025-027

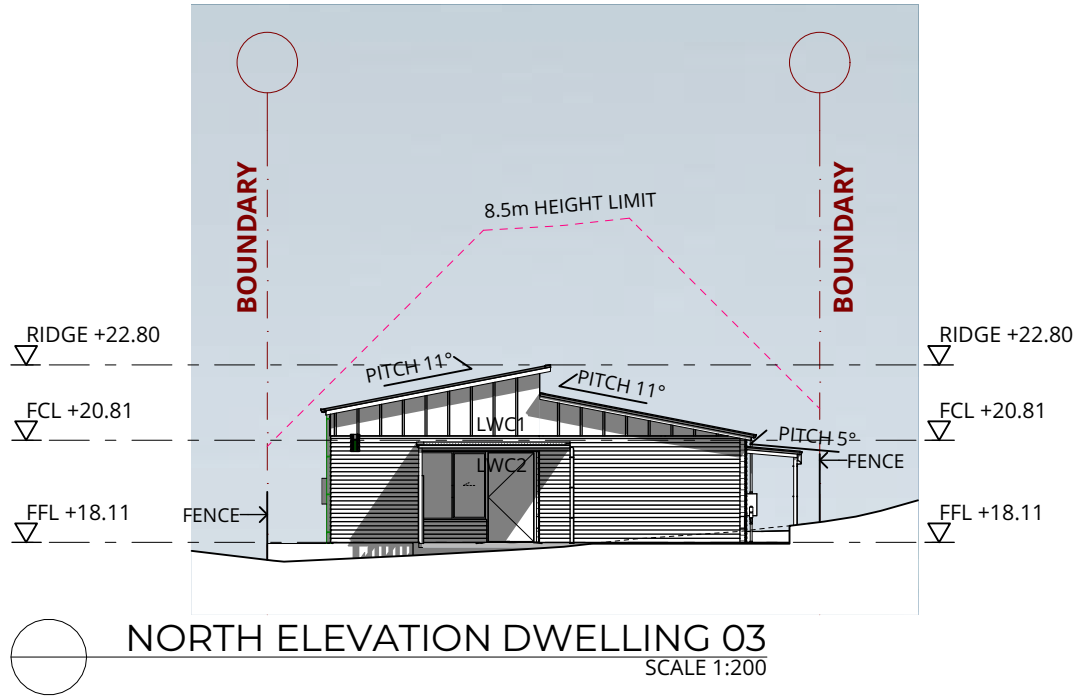
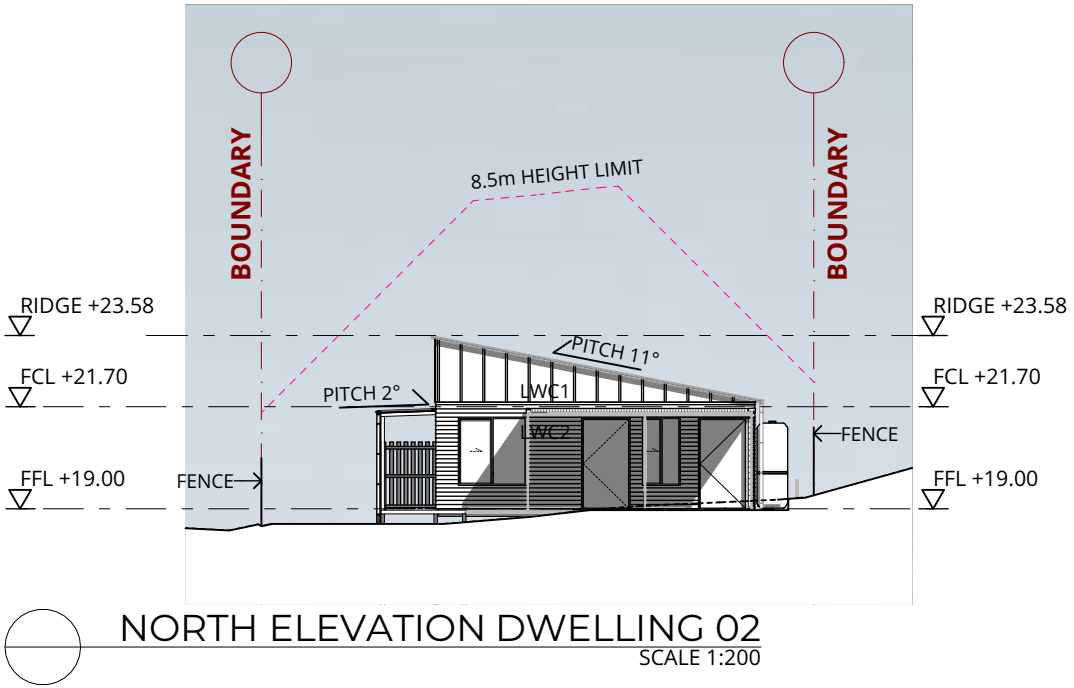
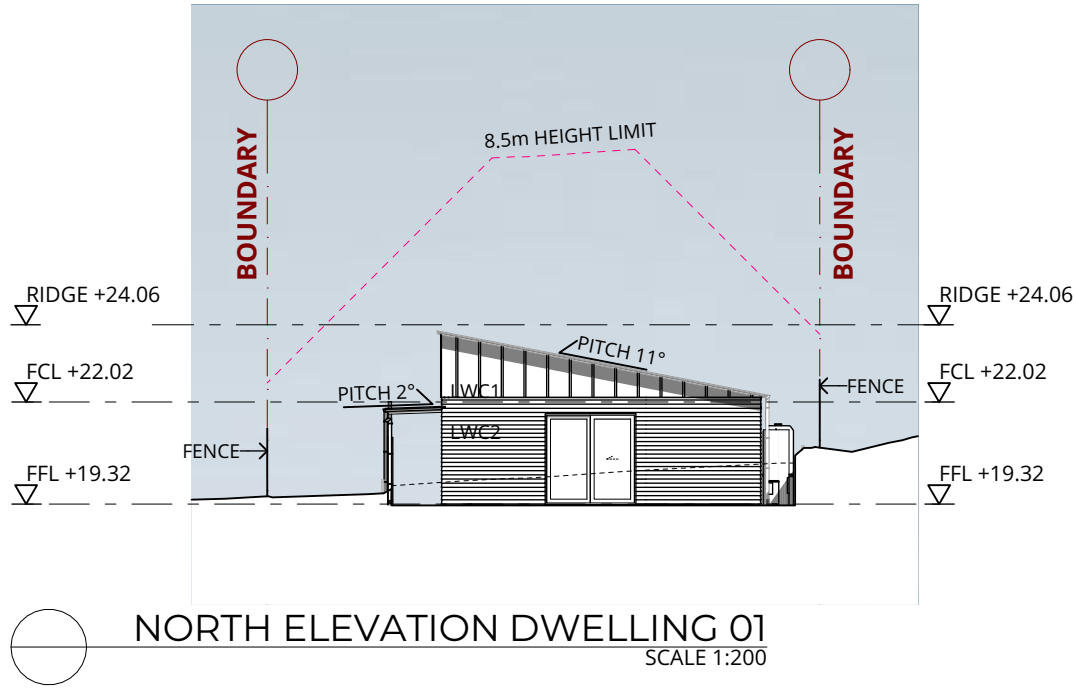
LOCATION
5 AMBER STREET, CLAREMONT TAS

DRAWING NO.
DD301

ISSUE NO.
B

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**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

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Drawings: 02
DAICAD: 15
Amber: 2025-027 5

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PROJECT
AMBER STREET NDIS HOUSING

CLIENT
KUNAMA

DRAWING
ELEVATIONS - SHEET 3

PROJECT NO.
2025-027

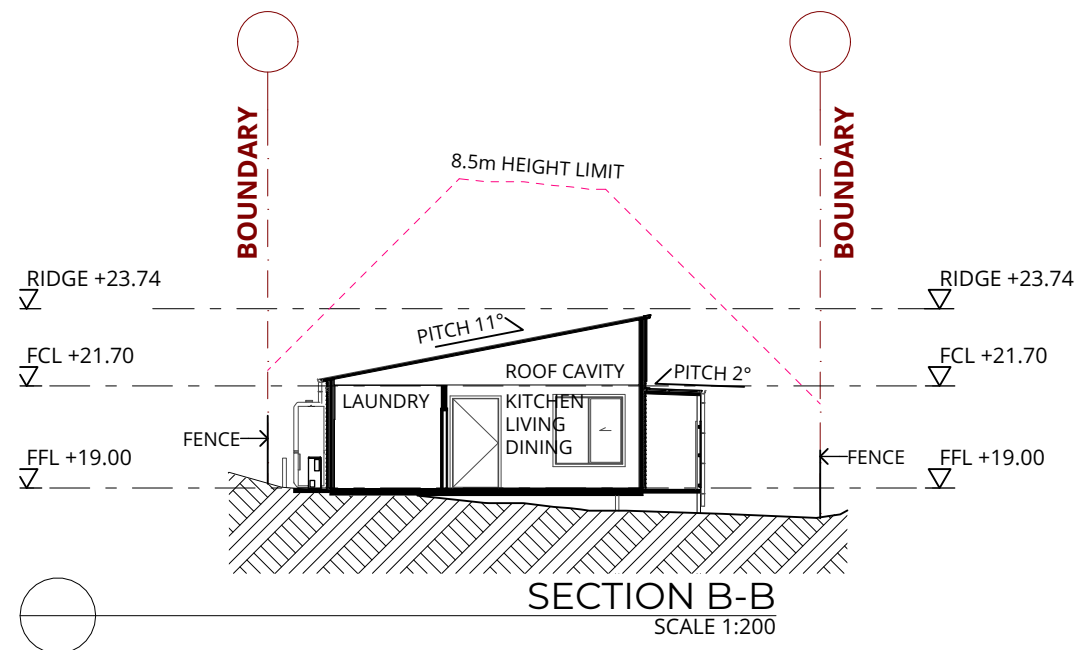
LOCATION
5 AMBER STREET, CLAREMONT TAS

DRAWING NO. DD302
ISSUE NO. B
SCALE 1:200@A3



ects\02 Drawings\02_d
- DA\CAD\5 Amber\2025-027 5

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DRAWING NO.	ISSUE NO.	SCALE
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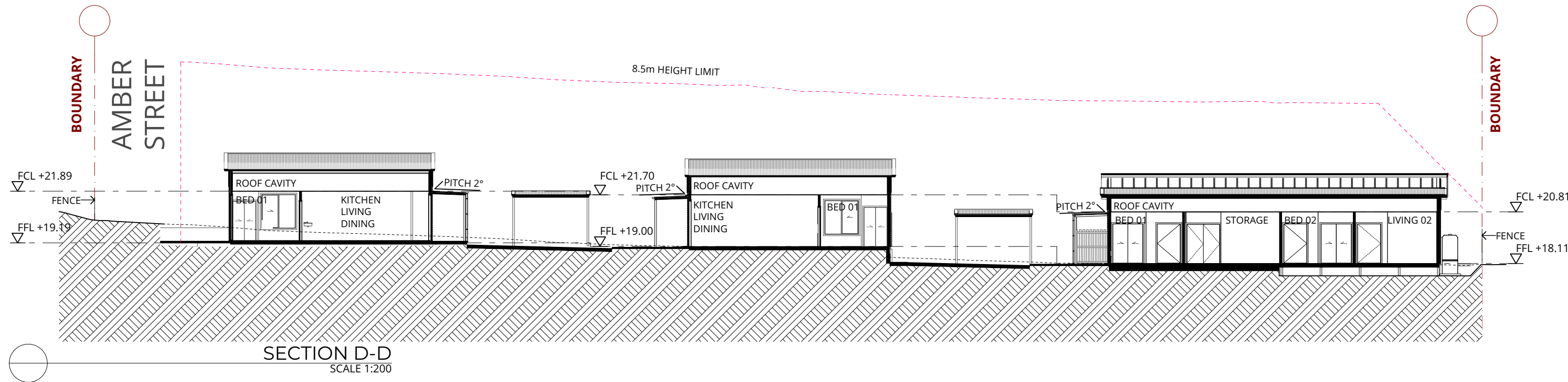
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- DA\ICAD\5 Amber\2025-027 5

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-21-121

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ISSUE	DESCRIPTION	BY	CHK	DATE
A	DEVELOPMENT APPLICATION	GR		5/11/2025
B	DEVELOPMENT APPLICATION	AF		21/05/2026

PROJECT
AMBER STREET NDIS HOUSING

CLIENT
KUNAMA

DRAWING
SECTIONS - SHEET 2

PROJECT NO.
2025-027

LOCATION
5 AMBER STREET, CLAREMONT TAS

DRAWING NO. DD401
ISSUE NO. B
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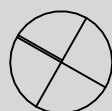


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North Carolina

SHADOW GENERATED BY
DWELLINGS



ISSUE	DESCRIPTION	BY	CHK	DATE
A	DEVELOPMENT APPLICATION	GR		5/11/2025
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DD500	B	1:500@A3

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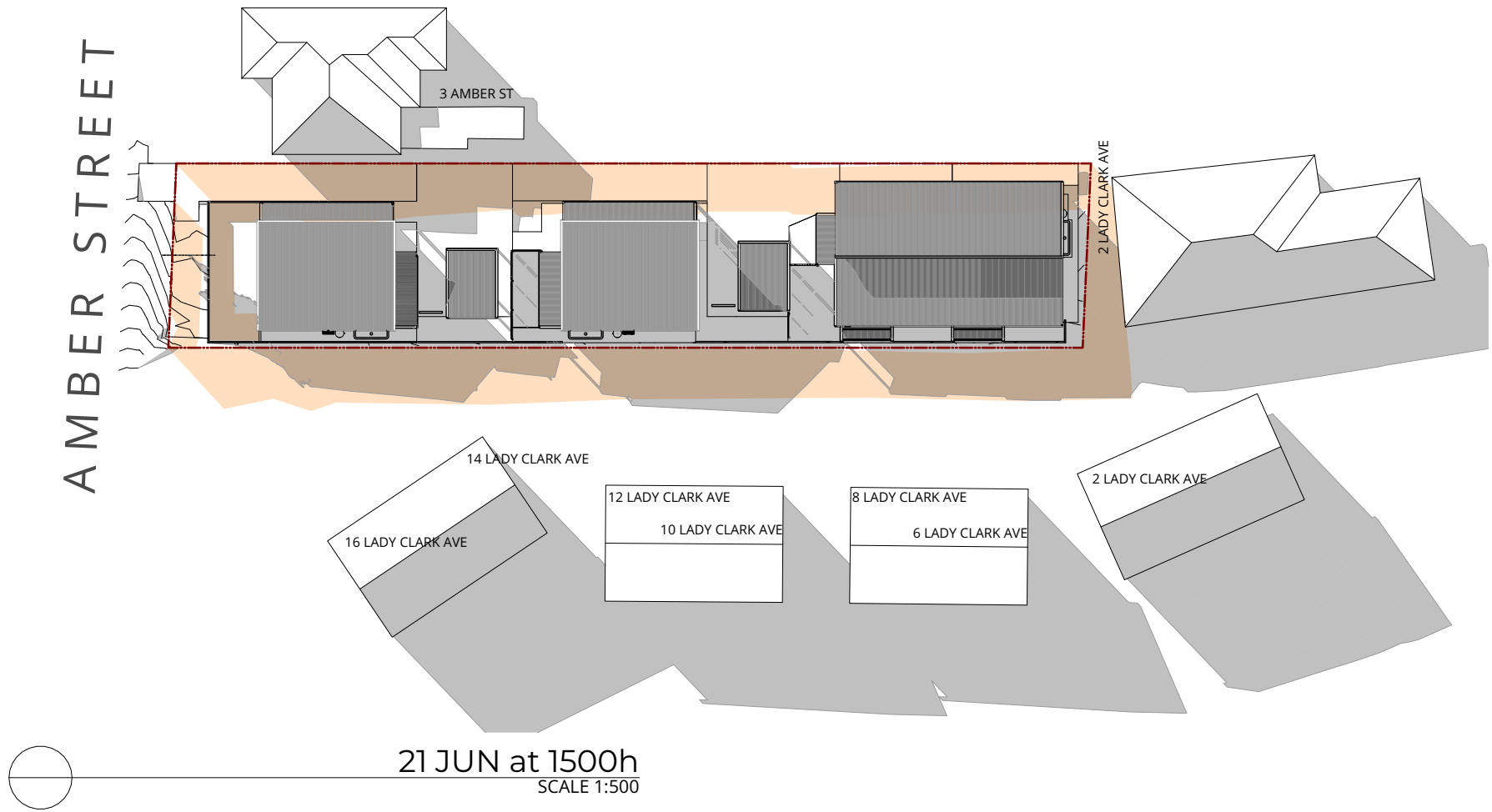
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- DAICAD15 Amber12025-027 5

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 SHADOW GENERATED BY FENCE
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ISSUE	DESCRIPTION	BY	CHK	DATE
A	DEVELOPMENT APPLICATION	GR		5/11/2025
B	DEVELOPMENT APPLICATION	AF		21/05/2026

PROJECT
AMBER STREET NDIS HOUSING

CLIENT
KUNAMA

DRAWING
SHADOW DIAGRAMS - SHEET 2

PROJECT NO.
2025-027

LOCATION
5 AMBER STREET, CLAREMONT TAS

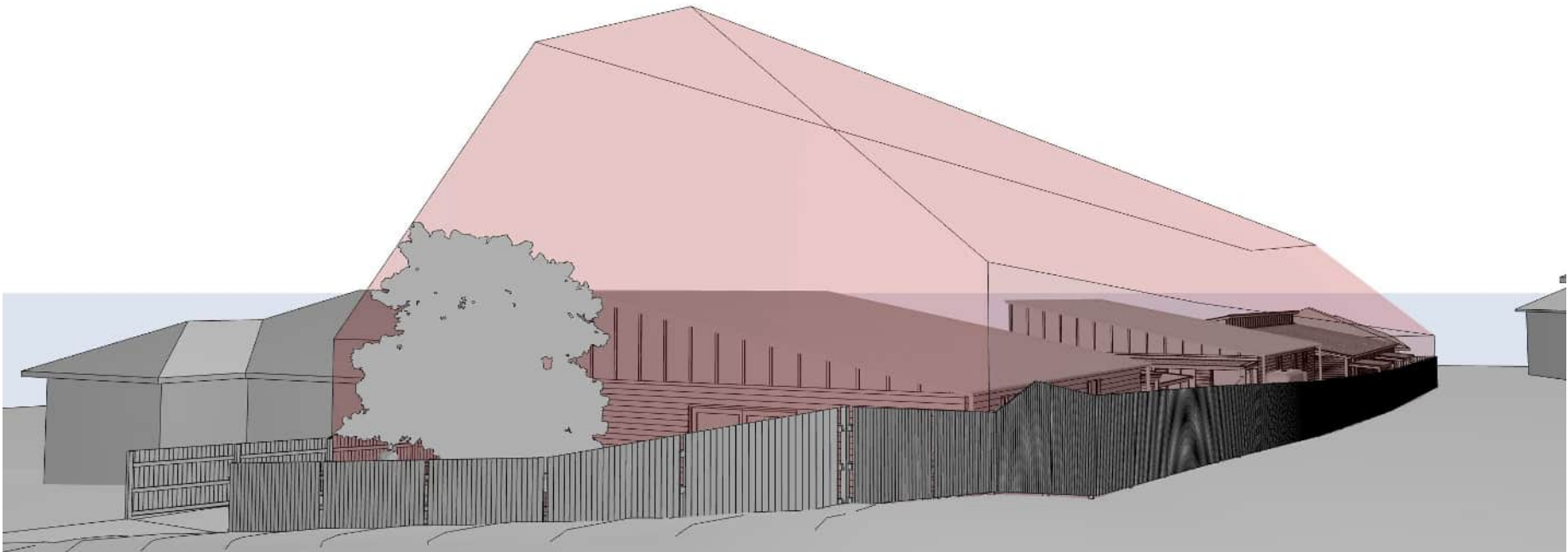
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SCALE 1:500@A3



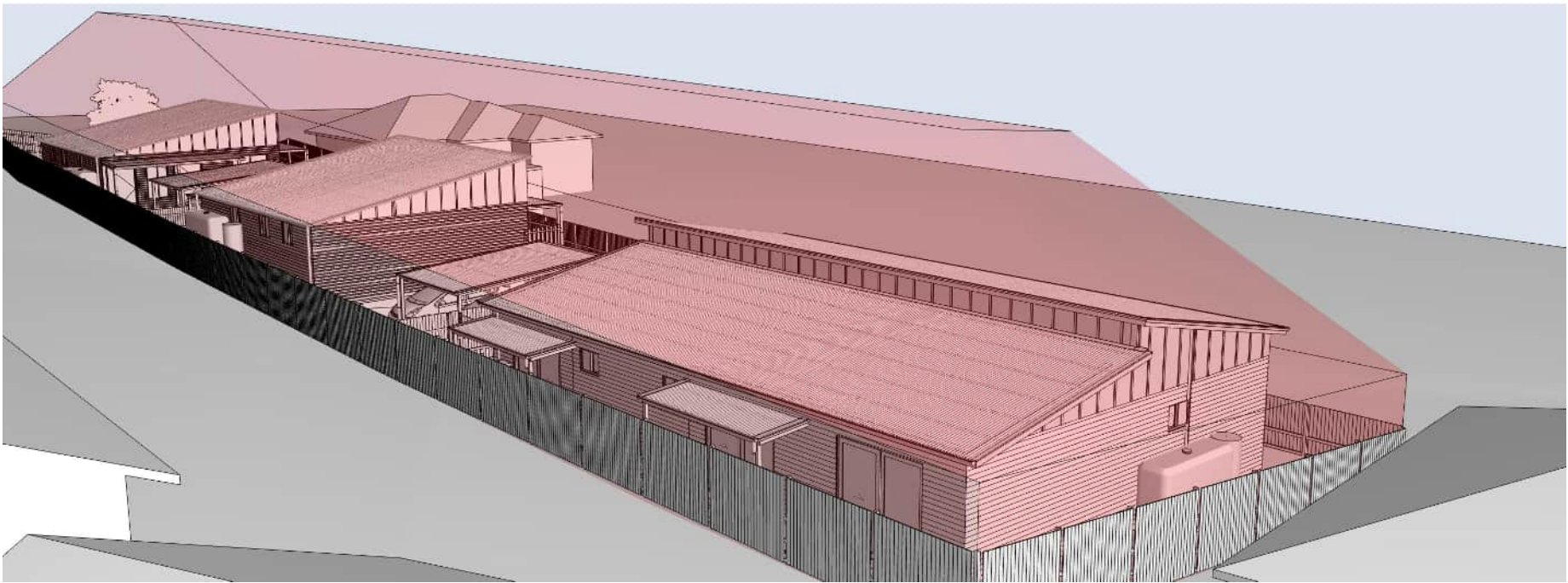
SPACE · DESIGN · ARCHITECTURE

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
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○ BUILDING ENVELOPE PERSPECTIVE - AMBER ST NORTH EAST



○ BUILDING ENVELOPE PERSPECTIVE - REAR BOUNDARY

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A	DEVELOPMENT APPLICATION	GR		5/11/2025
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PROJECT
AMBER STREET NDIS HOUSING

CLIENT
KUNAMA

DRAWING
BUILDING ENVELOPE PERSPECTIVES

PROJECT NO.
2025-027

LOCATION
5 AMBER STREET, CLAREMONT TAS

DRAWING NO. **ISSUE NO.** **SCALE**
DD600 **B** **@A3**

