

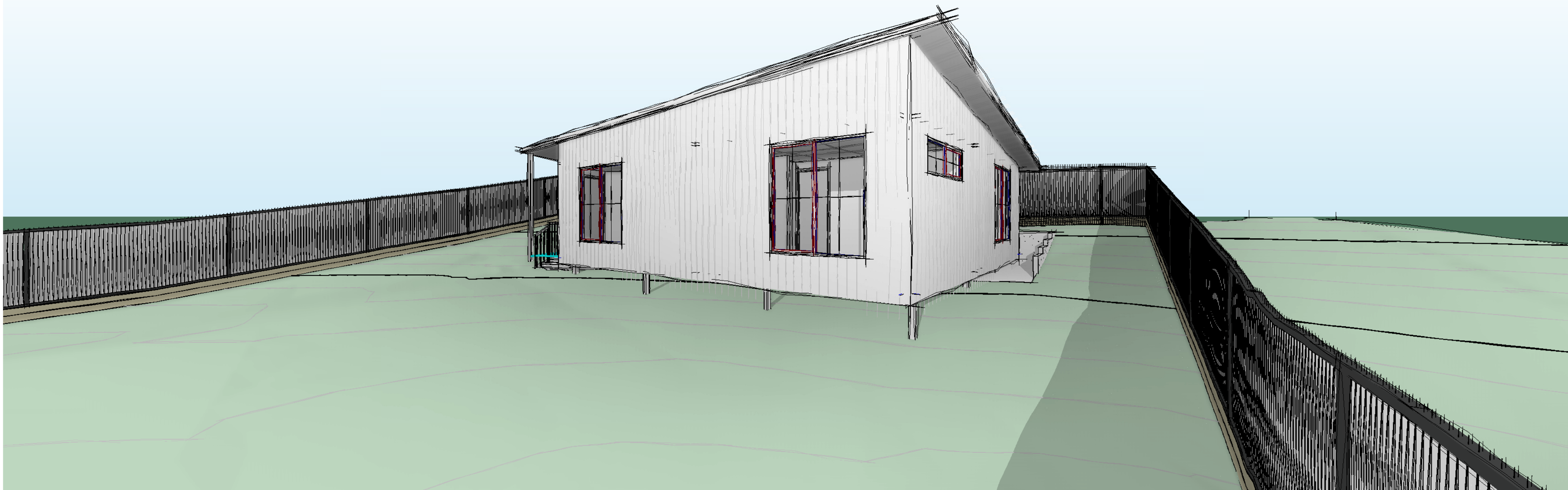
DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-26-217
PROPOSED DEVELOPMENT:	Secondary Residence (Residential) with retaining wall
LOCATION:	2 Bonar Place Glenorchy
APPLICANT:	K R Sharma
ADVERTISING START DATE:	29/09/2026
ADVERTISING EXPIRY DATE:	13/09/2026

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **13/09/2026**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **13/09/2026**, or for postal and hand delivered representations, by 5.00 pm on **13/09/2026**.



PROPOSED ANCILLARY DWELLING 2, BONAR PLACE, GLENORCHY, TAS

CONSTRUCTION CERTIFICATE | REVISION 08 | 26TH MARCH 2026



13 Windsor Street, Kingston Beach, Tasmania 7050
office@urbart.au | +61 6224 1111 | www.urbart.au

6.6
NATIONWIDE
HOUSE
ENERGY RATING SCHEME
130.7
MJ/m²
www.nathers.gov.au

QPI7HG43RE-01 5 May 2026

Assessor Steven Glynn
Accreditation No. DMN/13/1498
Address 2 BONAR PLACE -
ANCILLARY
GLENORCHY
TAS 7010

Building Surveying Tasmania
Reference: 200228
Date: 04/09/2026
Shane Lumsden
Building Surveying (Limited License Class)
3 & 10
300742283

<https://www.fr5.com.au/QRCodeLanding?PublicId=QPI7HG43RE-01>

PRELIMINARY ONLY
NOT FOR CONSTRUCTION

SITE INFORMATION:

Title Reference: CT: 61117 / 18
Site Class: M Geo-Environmental Solutions Pty Ltd
Climate Zone: 7 www.abcb.gov.au
Design Wind Speed: N3 Geo-Environmental Solutions Pty Ltd
BAL Rating: Low Geo-Environmental Solutions Pty Ltd

Notes:

1. All work to be carried out in accordance with The Building Code of Australia, The HIA Specification, Glenorchy City Council By-Laws and approval.
2. Builder to check and verify all dimensions, set-outs and levels prior to commencement of any building works.
3. All plumbing shall be in accordance with Local Council By-Laws and the National Plumbing and Drainage Code AS 3500.

SITE COVERAGE:

Proposed Dwelling: 57.22m²
Existing House: 99.15m²
Total Footprint: 156.37m²
Lot Size: 640m²
Site Coverage: 24.43%

DRAWING SCHEDULE:

D01 LOCATION PLAN
D02 PROPOSED FLOOR PLAN
D03 PROPOSED ELEVATIONS
D04 DRAINAGE PLAN

GLENORCHY CITY COUNCIL
PLANNING SERVICES

APPLICATION No. : PLN-26-217

DATE RECEIVED: 08/09/2026

PROPOSED
ANCILLARY
FFL 59.50

Water
storage.

EXISTING
HOUSE

LOT 18
640m²

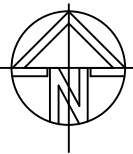
BAROSSA ROAD

27m2 Private open space,
with a gradient not greater
than 1 in 10.

Existing concrete driveway
Longitudinal grade = 1.88%
Crossfall grade = 2.45%
2 Carparking spaces.

LOCATION PLAN

Scale 1:200
Contour interval 0.1 metres
Level Datum AHD.



B	05/05/24	TasWater / Council additional information request.
A	10/03/24	TasWater / Council additional information request.
Rev.	Date	Details

PROPOSED ANCILLARY DWELLING

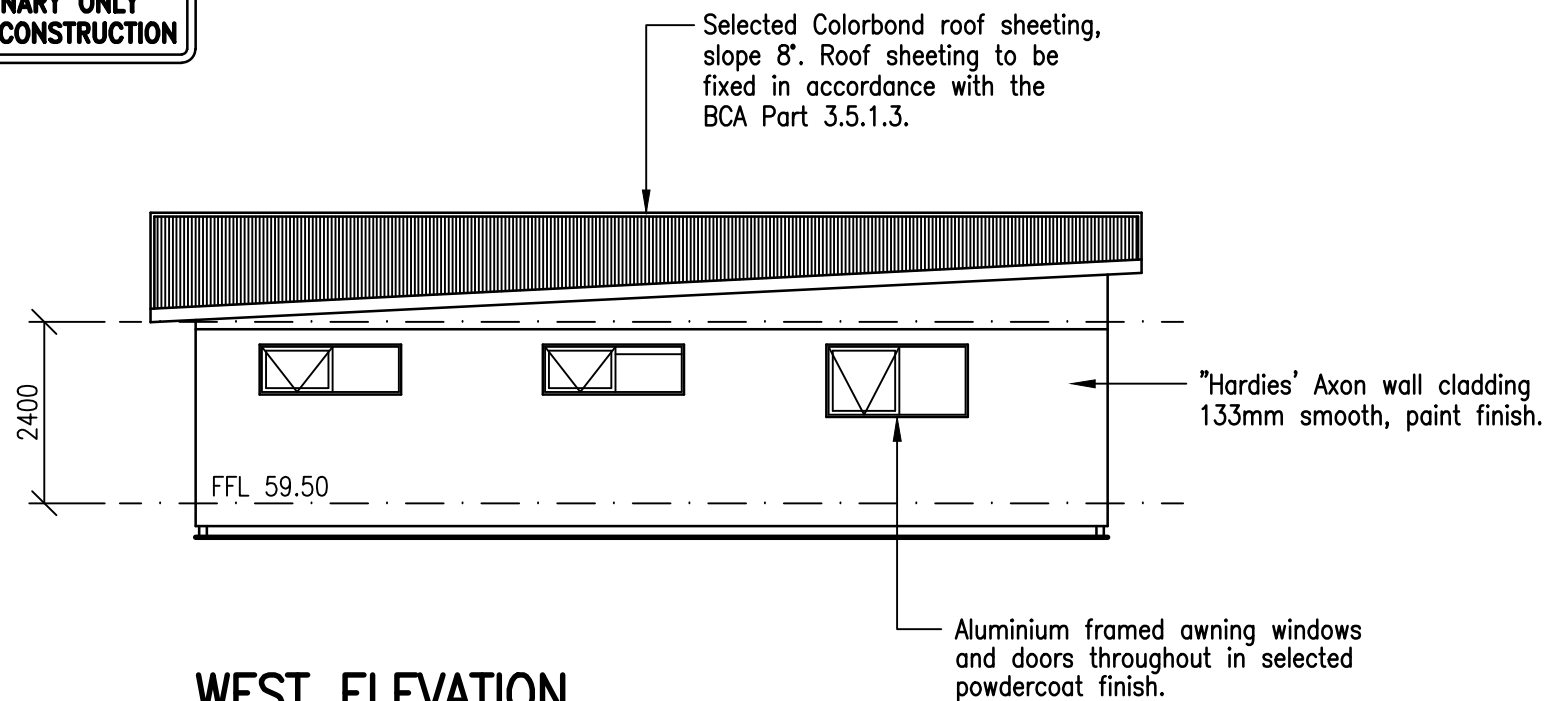
K. SHARMA
2 BONAR PLACE, GLENORCHY

DATE: 20th.February,2024
DRAWN BY: A. Coombe

SCALES: 1:200,
Accreditation No: CC104R

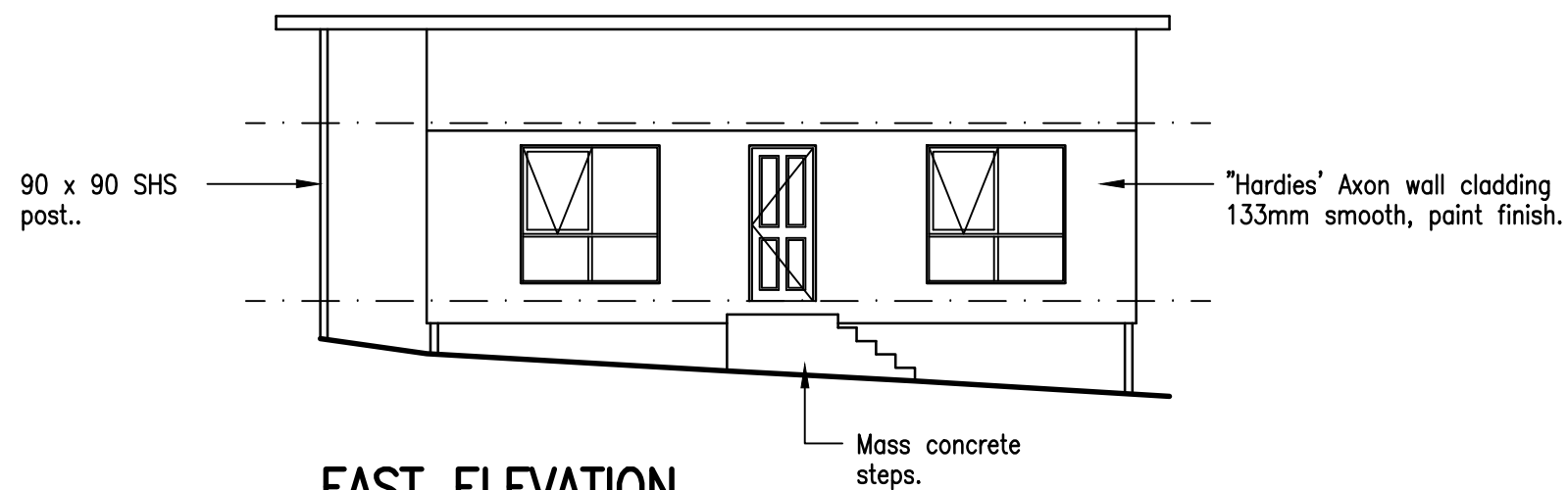
D01
Revision B

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WEST ELEVATION

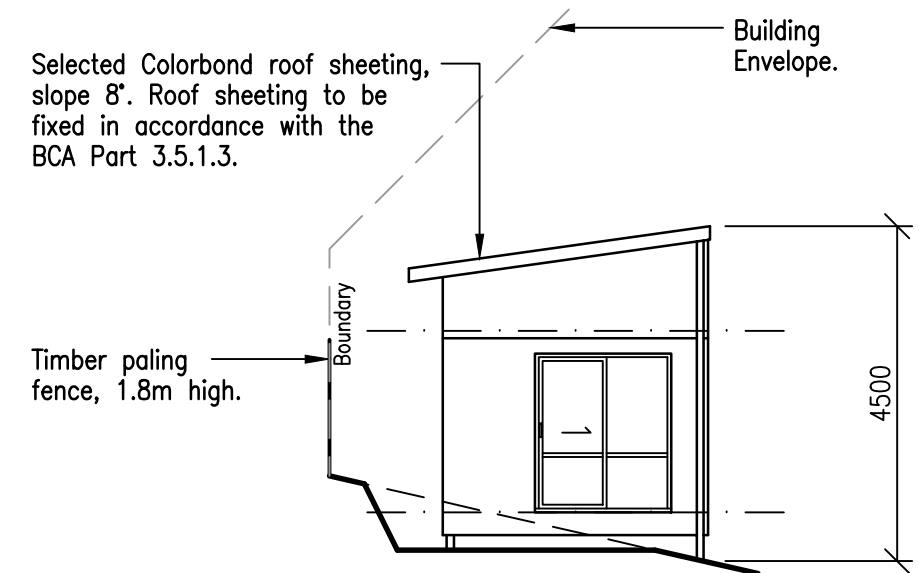
SCALE 1:100



EAST ELEVATION

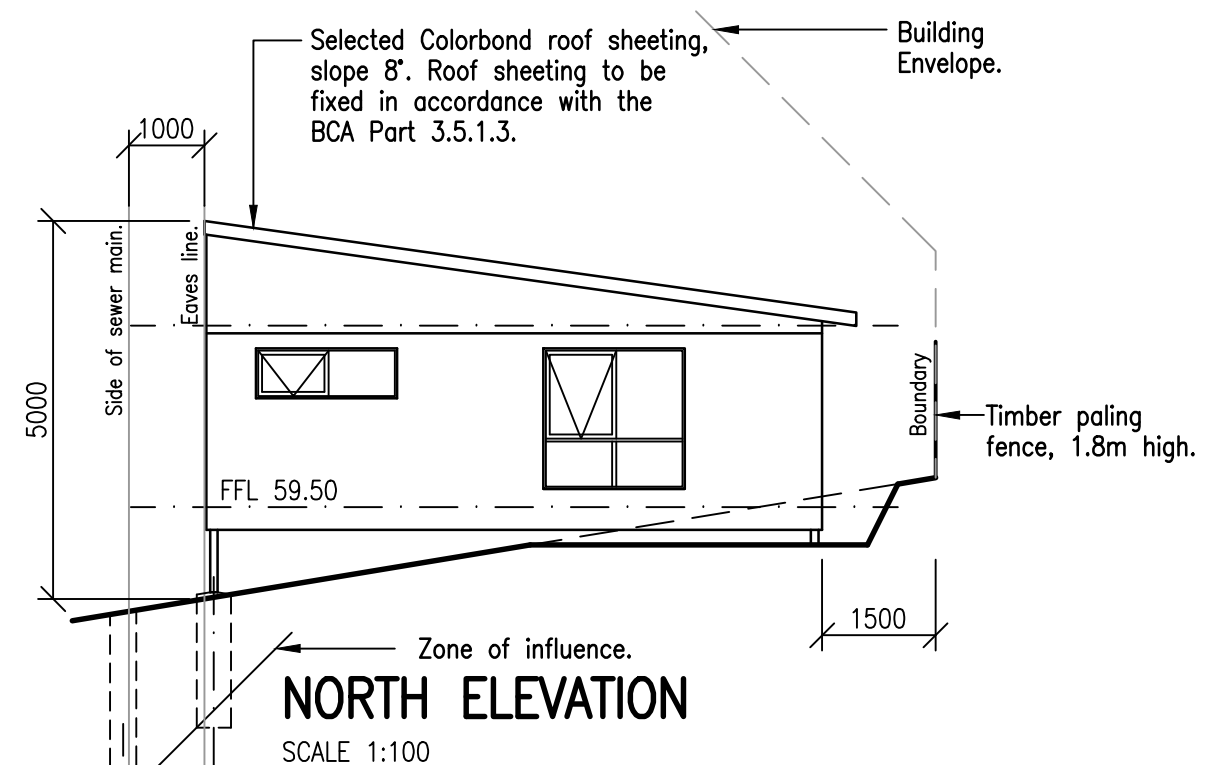
SCALE 1:100

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No. : PLN-26-217
DATE RECEIVED: 08/09/2026



SOUTH ELEVATION

SCALE 1:100



NORTH ELEVATION

SCALE 1:100

DN150 TasWater sewer main
located on site by Land Surveyor,
no easement recorded on title.
Trench width 350mm for zone of
influence reference.

B	05/05/24	TasWater / Council additional information request.
A	10/03/24	TasWater / Council additional information request.
Rev.	Date	Details

PROPOSED ANCILLARY DWELLING

K. SHARMA

2 BONAR PLACE, GLENORCHY

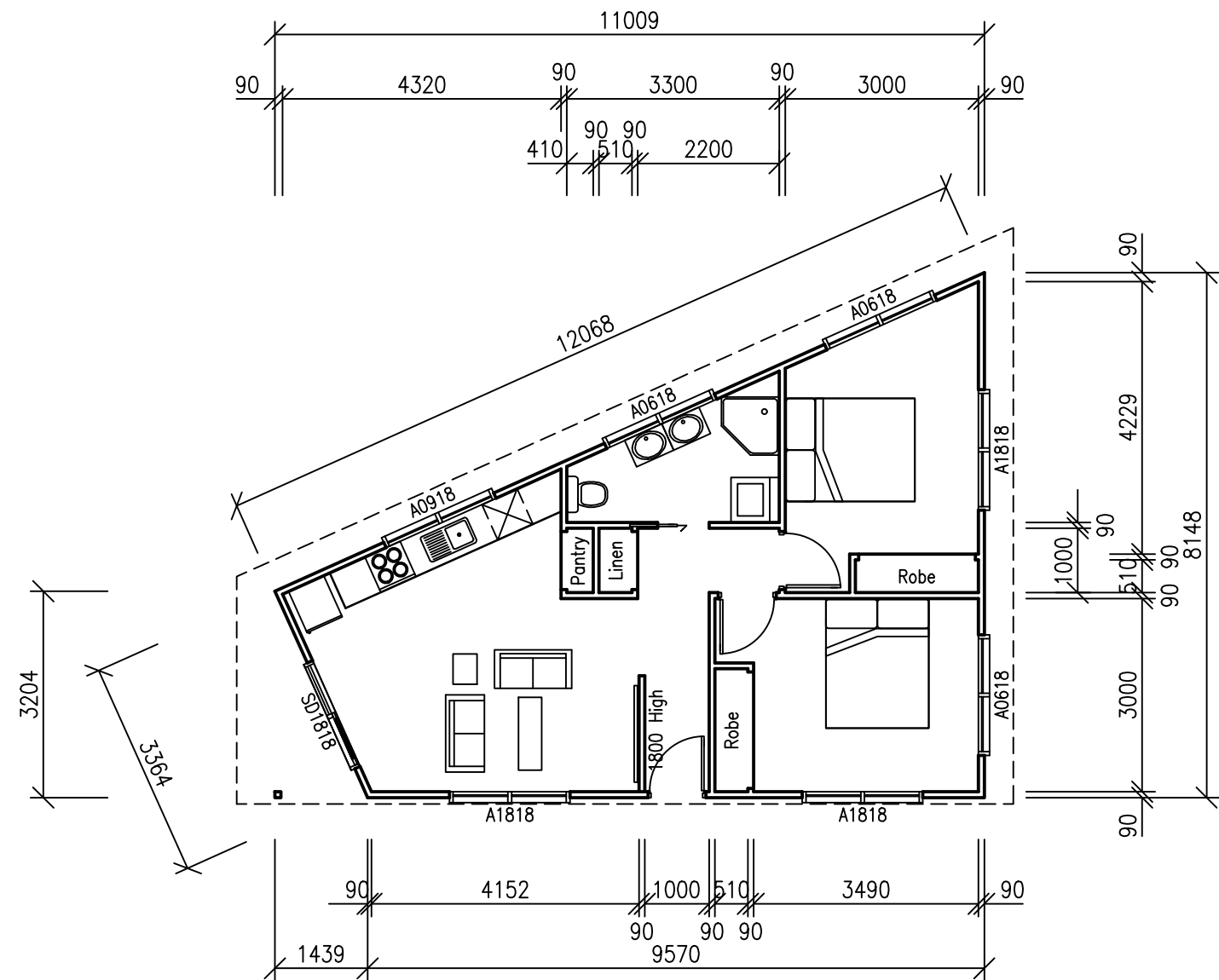
DATE: 20th.February,2024
DRAWN BY: A. Coombe

SCALES: 1:100,
Accreditation No: CC104R

D03
Revision B

PRELIMINARY ONLY
NOT FOR CONSTRUCTION

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No. : PLN-26-217
DATE RECEIVED: 08/09/2026



FLOOR PLAN Floor Area = 57.22m² (6.16sq.)
SCALE 1:100

B	05/05/24	TasWater / Council additional information request.
A	10/03/24	TasWater / Council additional information request.
Rev.	Date	Details

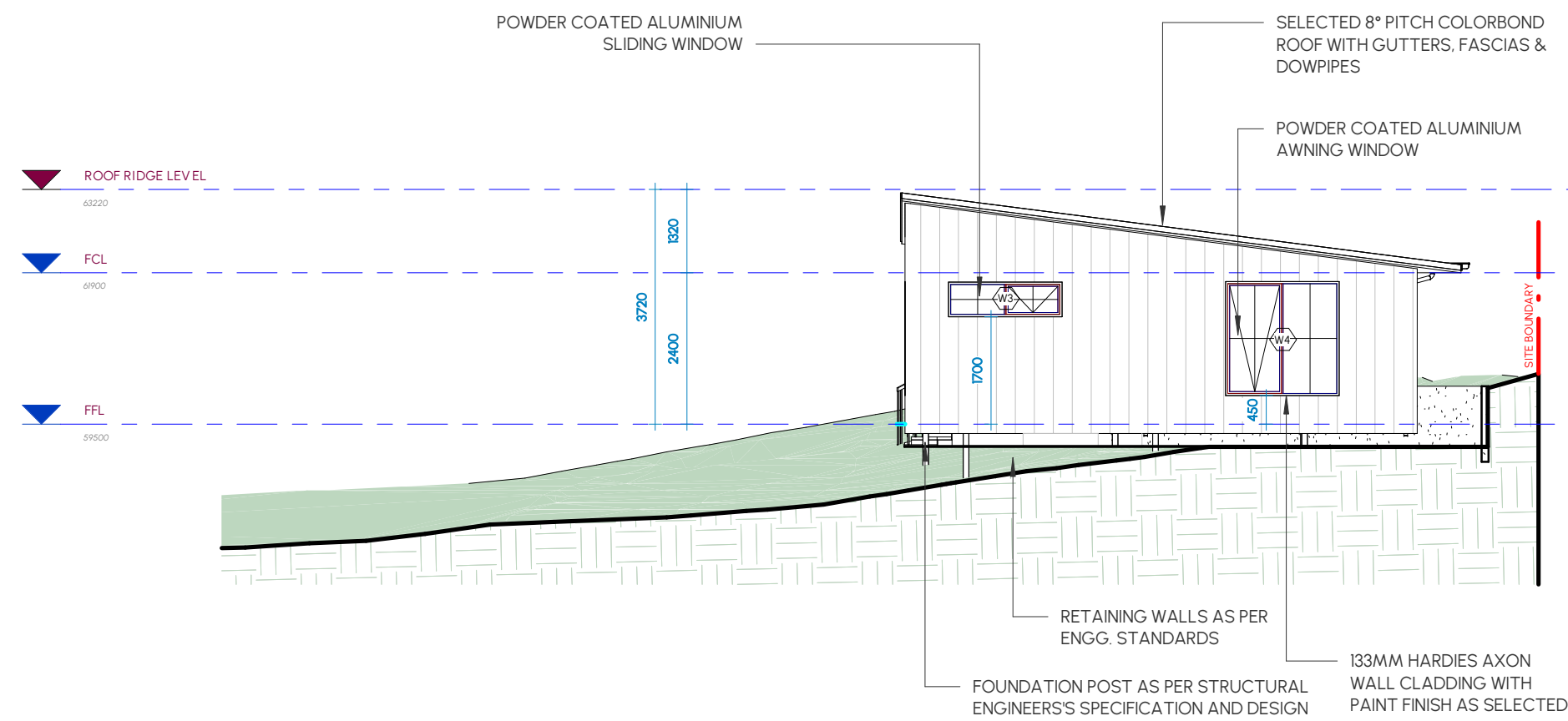
PROPOSED ANCILLARY DWELLING

K. SHARMA
2 BONAR PLACE, GLENORCHY

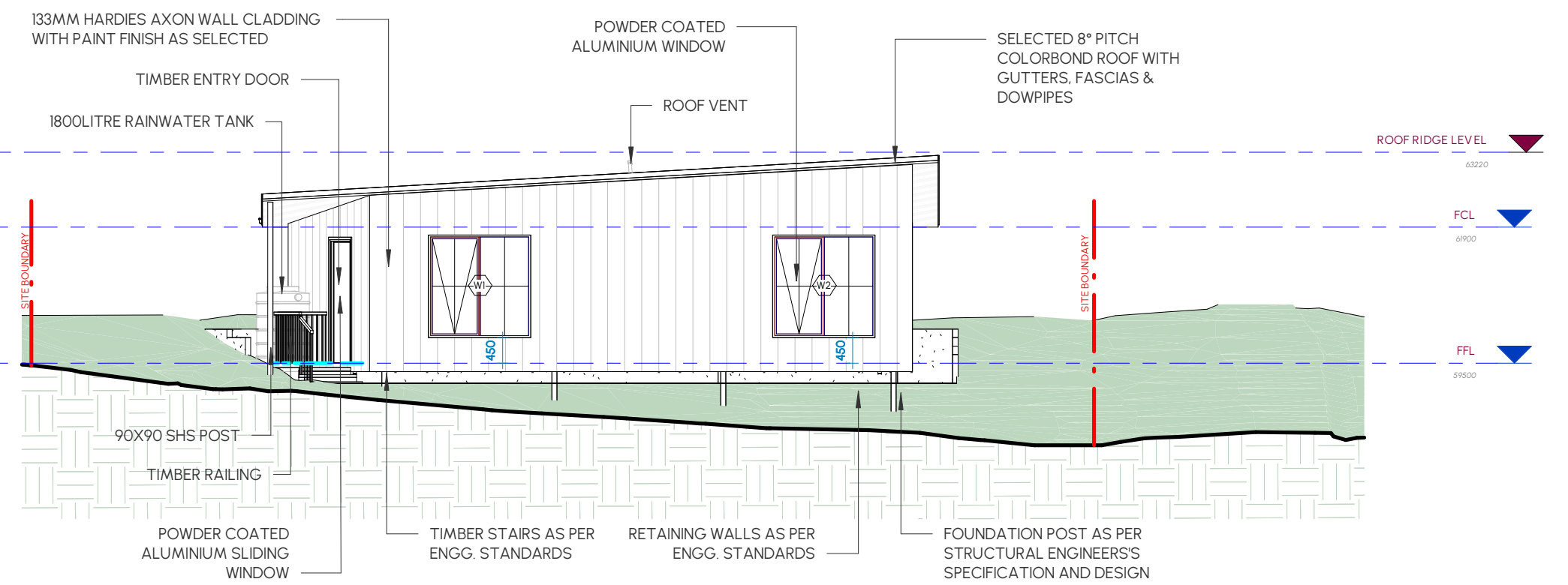
DATE: 20th.February,2024
DRAWN BY: A. Coombe

SCALES: 1:100,
Accreditation No: CC104R

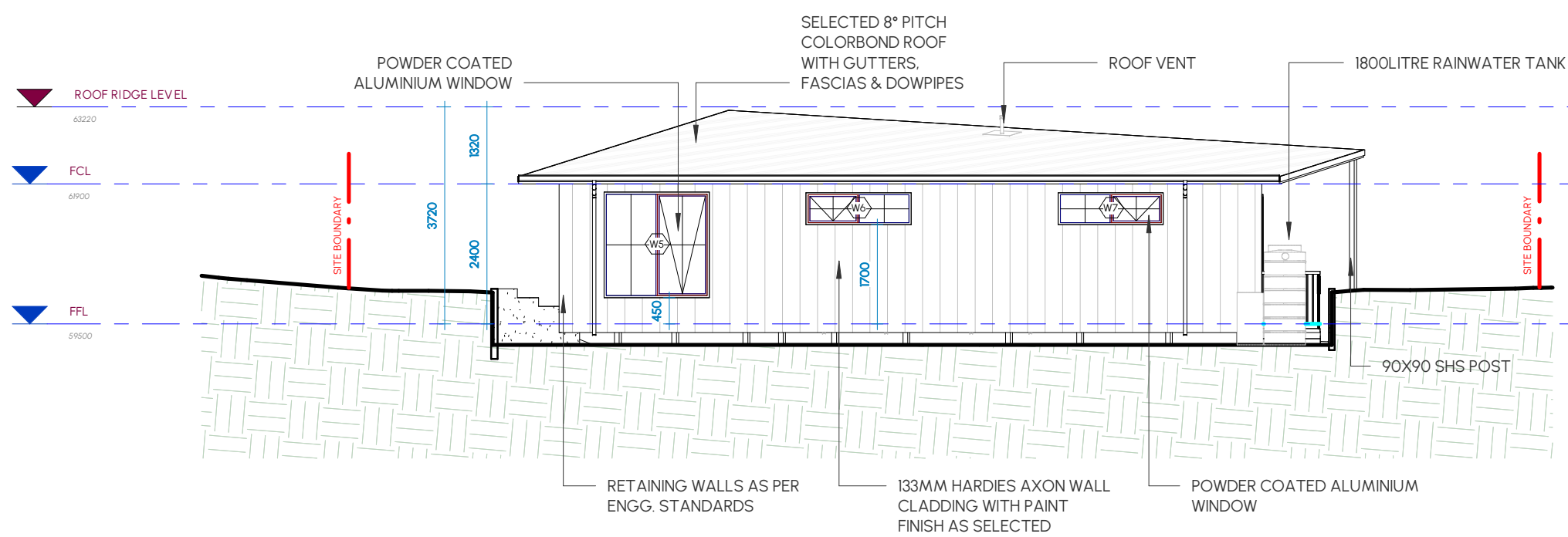
D02
Revision B



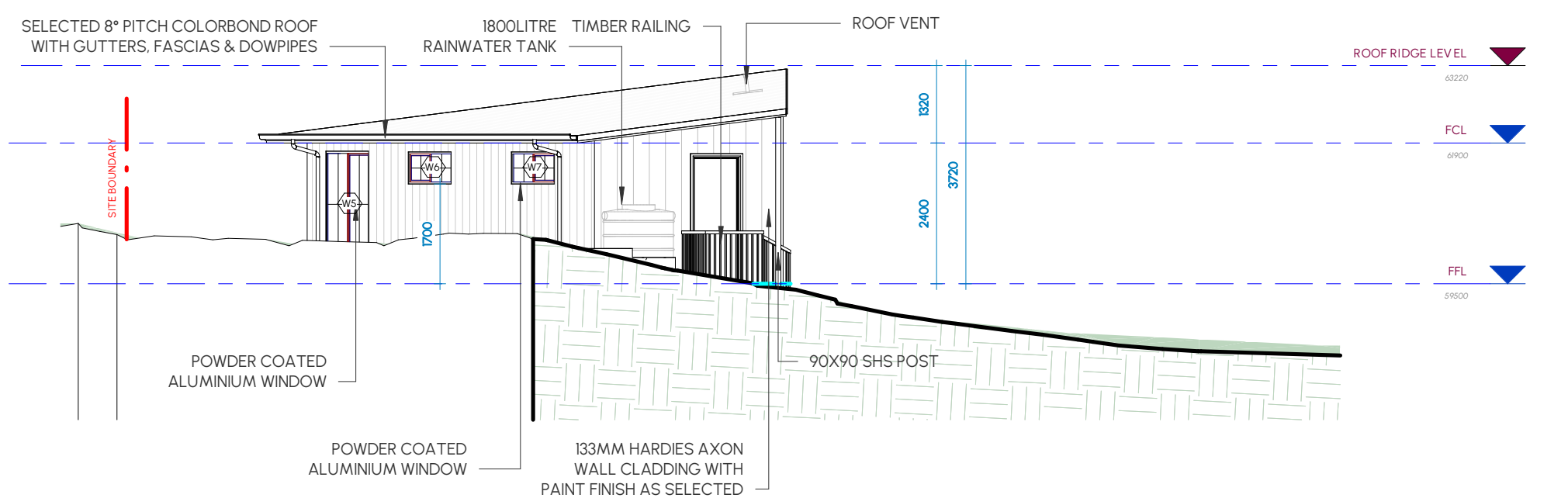
1 NORTH EAST ELEVATION
1:100



3 SOUTH EAST ELEVATION
1:100



2 NORTH WEST ELEVATION
1:100



4 SOUTH WEST ELEVATION
1:100

6.6
NATIONWIDE
HOUSE
ENERGY RATING SCHEME
130.7
MJ/m²

QPI7HG43RE-01 5 May 2026

Assessor Steven Glynn
Accreditation No. DMN/13/1498

Address
2 BONAR PLACE -
ANCILLARY
GLENORCHY
TAS 7010

www.nathers.gov.au

https://www.fr5.com.au/QRCodeLanding?PublicId=QPI7HG43RE-01

WET AREAS

Wet areas are to be designed and constructed in accordance with H4D1,H4D2, and H4D3 of the NCC Volume Two and Part 10.2 of the Housing Provisions, or as per Clauses 10.2.1 to 10.2.6, 10.2.12, and AS 3740: Waterproofing of Domestic Wet Areas.

EXTERNAL BALCONIES: WATERPROOFING

External balconies must be waterproofed in compliance with H2D8 of the NCC and AS 4654.1 & AS 4654.2: Waterproofing of External Above-Ground Areas.

EXTERNAL BALCONIES, PATIOS AND ALFESCO

External balconies, patios, and alfresco areas are to have a minimum stepdown of:
- 50mm for N2 wind classifications or
- 70mm for N3 wind classifications. Alternatively, a strip drain may be provided across the doorway to ensure compliance.

FLOOR WASTE

Wet area plans must specify the location of floor wastes, with falls graded between 1:50 to 1:80 towards all floor wastes in compliance with NCC Housing Provisions Clause 10.2.12.

MASONRY WORKS

1. Adjacent surface/s to be below the Class 1 FFL, i.e. 50mm concrete, 150mm other surfaces as per NCC Clause 3.3.3 is satisfied for masonry accessories if they are constructed and installed in accordance with one of the following:
(a) AS 3700 & AS 4773 Parts 1 and 2.

TERMITE MANagementsystem

Are treated/compliant in accordance with AS 3660.1 & AS 3660.3

SMOKE ALARM

Are installed in accordance with AS 3786 and AS 3660.3 &NCC HOUSING PROVISIONS CLAUSE9.5.2

STAIRS

Stairs are installed in accordance with NCC clause 11.2.2 GOING - 250mm and RISERS - 179mm

STAIR HANDRAILS

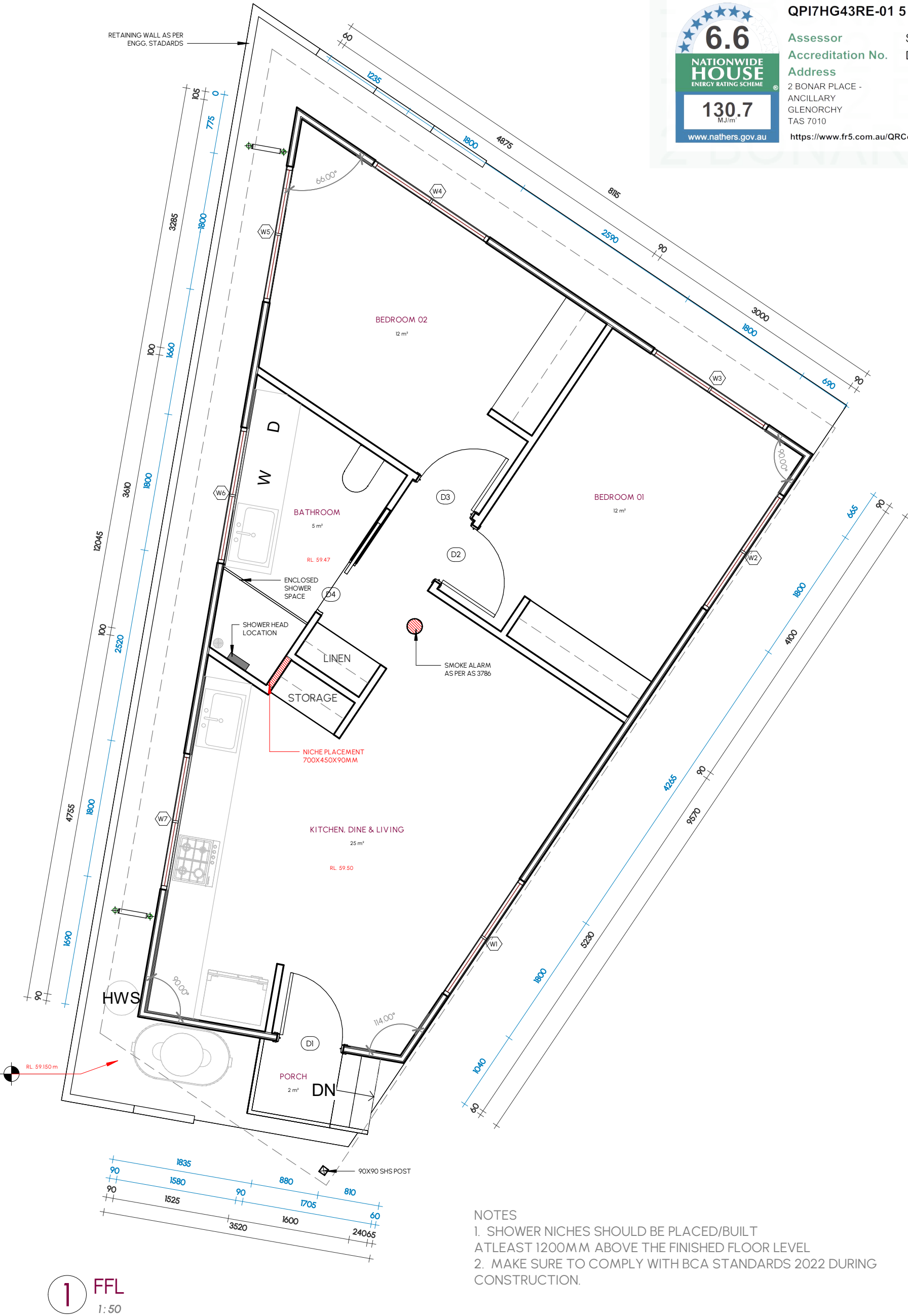
Handrails are to be provided for stairs where the change in elevation exceeds 1m, as per the requirements of NCC Housing Provisions Clause 11.3.5.

ENERGY RATING

1. External walls = R2.5 bulk insulation
2. Ceiling = R4.0 bulk insulation
3. Timber frame floor = R2.0 bulk insulation
4. Glazing = Generic standard aluminum double glazing: U-value=4.8 & SHGC=0.51

Window Schedule		
Mark	Width	Height
W1	1800	1810
W2	1800	1810
W3	1800	550
W4	1800	1810
W5	1800	1810
W6	1800	550
W7	1800	550

Door Schedule		
Mark	Height	Width
D1	2140	820
D2	2140	820
D3	2140	820
D4	2340	820
Grand total: 4		



- NOTES
1. SHOWER NICHES SHOULD BE PLACED/BUILT ATLEAST 1200MM ABOVE THE FINISHED FLOOR LEVEL
 2. MAKE SURE TO COMPLY WITH BCA STANDARDS 2022 DURING CONSTRUCTION.

6.6

NATIONWIDE HOUSE ENERGY RATING SCHEME

130.7

MJ/m²

www.nathers.gov.au

QPI7HG43RE-01 5 May 2026

Assessor Steven Glynn

Accreditation No. DMN/13/1498

Address 2 BONAR PLACE - ANCILLARY GLENORCHY TAS 7010

QR CODE

https://www.fr5.com.au/QRCodeLanding?PublicId=QPI7HG43RE-01

2 ROOF PLAN
1:100

3 FLOORING PLAN
1:100

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No. : PLN-26-217
DATE RECEIVED: 08/09/2026

- COMPOSITE WOODEN BOARD
26.2 SQ.M
- CARPET
24.7 SQ.M
- ANTI SLIPPERY TILE
5.4 SQ.M
- EXTERIOR TILE
1.53 SQ.M

URBART

BUILDING DESIGN | URBANISM | PROJECT MANAGEMENT

13 Windsor Street, Kingston Beach, Tasmania 7050
office@urbart.au | +61 03 6224 1111 | www.urbart.au

CLIENT
KHUM RAJ SHARMA

DEVELOPER :
TBC

Building Surveying Tasmania
Reference: 260218
Date: 04/09/2026
Shane Sumdson
Building Surveying (Limited License Class - A, U1)
309747293
www.shanesumdson.com.au

PROJECT :
PROPOSED ANCILLARY DWELLING

2 BONAR PLACE, GLENORCHY, TAS 7100
PROPERTY ID: 5356014 | TITLE REFERENCE: 61117/118

SHEET TITLE :
FLOOR ,ROOF AND FLOORING PLAN

STATUS :
CONSTRUCTION CERTIFICATE

REVISION	Rev. No	Date	Description
	5	12/12/2025	CC R5
	6	22/01/2026	CC R6
	7	02/02/2026	CC R7
	8	26/03/2026	CC R8

DESIGNED BY : A.COOMBE
APPROVED BY : ADI

CHECKED BY : ADI
DATE : 26/03/2026

SHEET NUMBER
ARO5

SCALE :
As

REVISION:
8

indicated

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Document Set ID: 3663888
Version: 1, Version Date: 08/09/2026

29/03/2026 11:07:34 PM

PRELIMINARY ONLY
NOT FOR CONSTRUCTION

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No. : PLN-26-217
DATE RECEIVED: 08/09/2026

- GENERAL NOTES:
1. All work to be carried out in accordance with The Building Code of Australia, The HIA Specification, Glenorchy City Council By-Laws and approval.
 2. Builder to check and verify all dimensions, set-outs and levels prior to commencement of any building works.
 3. All plumbing shall be in accordance with Local Council By-Laws and the National Plumbing and Drainage Code AS 3500.
 4. Walls and roofs are to be framed, fixed and braced in accordance with AS 1684. All timber sizes are in direct reference to AS 1684 and manufactured sizes must not be undersized to those specified.
 5. All glazing must conform to the requirements of AS 1288 and the BCA Part 3.6.
 6. Smoke alarms shall be fitted in accordance with AS 3786 and the BCA Part 3.7.2. Alarms shall be hard wired to consumer mains power and interconnected.
 7. Provide water resistant plasterboard and splash backs to wet areas all in accordance with the BCA Part 3.8.1. and/or AS 3740.
 8. O.R.G. To be located a minimum of 150mm below Finished Floor Level.

SITE PLUMBING NOTES

Waste Pipe Key

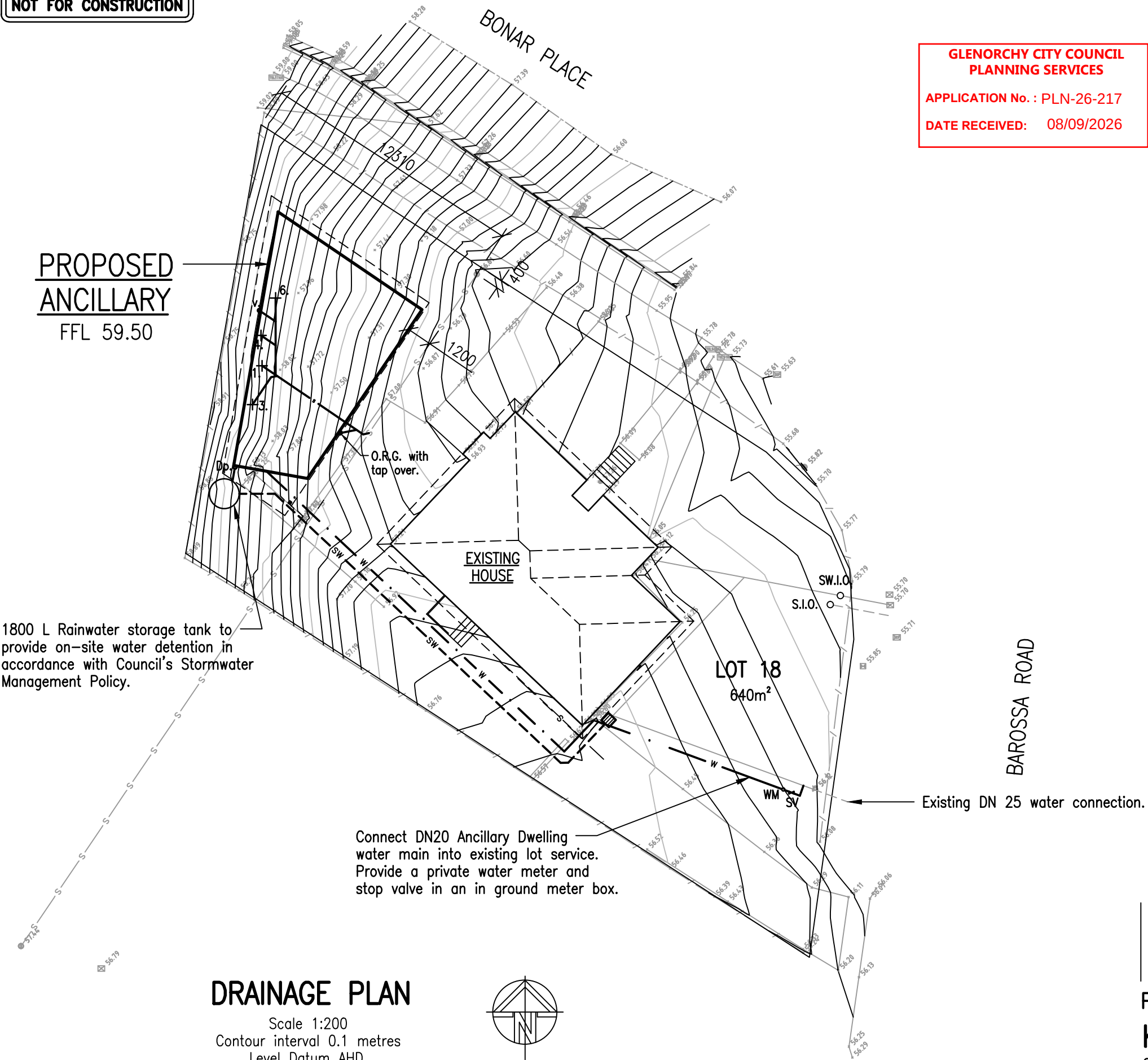
- | | |
|-----------|-------|
| 1. W.C. | 100 Ø |
| 3. Sink | 50 Ø |
| 4. Basin | 50 Ø |
| 5. Bath | 40 Ø |
| 6. Shower | 50 Ø |
| 7. Trough | 50 Ø |
| V. Vent | 50 Ø |

Hot and Cold water reticulation shall be generally 20 Ø and 15 Ø to fixtures.

Stormwater pipework shall be DN 100 UPVC Class SN6 unless noted otherwise.

Sewer pipework shall be DN 100 UPVC Class SN6 unless noted otherwise.

All downpipes Ø90 u.n.o.



DRAINAGE PLAN

Scale 1:200
Contour interval 0.1 metres
Level Datum AHD.

B	05/05/24	TasWater / Council additional information request.
A	10/03/24	TasWater / Council additional information request.
Rev.	Date	Details

PROPOSED ANCILLARY DWELLING

K. SHARMA
2 BONAR PLACE, GLENORCHY

DATE: 20th. February, 2024
DRAWN BY: A. Coombe

SCALES: 1:200,
Accreditation No: CC104R

D04
Revision B

NOTES:
SOIL CLASSIFICATION
SOIL CLASSIFICATION - M
SITE CLEARING
IT IS THE RESPONSIBILITY OF THE CLIENT TO UNDERTAKE REMOVAL OF ANY SITE SPOIL/STOCK PILES PRIOR TO COMMENCEMENT OF CONSTRUCTION. DETAILS OF ASSETS IN EASEMENTS NOT AVAILABLE AT THE TIME OF DRAFTING.
VERIFY ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION..
CONDENSATION MANAGEMENT PART 10.8 IS ACHIEVED.
THIS IS ONLY REQUIRED, IF ALL EXHAUST FANS (WC/KITCHEN ETC.) DISCHARGE TO WITHIN ROOF SPACE. IF IT COMPLIES WITH PART 10.8.2 (2) THEN NO NEED FOR 'WHIRLY BIRDS'.

STORM WATER DRAIN LAYOUT IS INDICATIVE ONLY AND WILL BE LAID TO THE DRAINERS DISCRETION

AREA ANALYSIS

Area	SQM	SQ
PROPOSED ANCILLARY	60.0 m ²	6.5
EXISTING DWELLING	99.2 m ²	10.7
Grand total	159.2 m ²	17.1

SITE PLAN NOTES
STORM WATER AND SEWER TO BE CONNECTED TO LEGAL POINT OF DISCHARGE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS DOWNPIPES (DP) TO APPROX. LOCATION MAX 12M CNTRS CONNECTED TO S/WATER SYS. IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENTS. ALL S/WATER DRAINS THAT PASS UNDER CONC. SLABS AND TRAFFICABLE AREAS TO BE LAID IN HEAVY DUTY SEWER PIPE.

BUILDER TO PROVIDE AGI DRAIN TO BASE OF BATTERS / RETAINING WALLS & WHERE EVER DEEMED NECESSARY. PROVIDE SILT PITS TO BASE OF BATTER, CONNECTED TO S/WATER SYSTEM. PROVIDE CUT - OFF (AGI) DRAIN AS REQUIRED TO BASE OF ANY EXCAVATION AND CONNECT INTO STORM WATER VIA SILT PITS
PROPERTY LAYOUT IS BASED UPON INFORMATION PROVIDED BY BUILDER OR OWNER AND THEREFORE ALL DIMENSIONS, OFFSETS AND DETAILS MUST BE VERIFIED ONSITE PRIOR TO COMMENCING ANY SETOUTS AND OR BUILDING WORKS. LEVELS MUST BE VERIFIED ON SITE TO DETERMINE DEPTH OF EXCAVATIONS AND AFFECTED WALL HEIGHTS

Surface Water Drainage

Ground to fall away from building in all Directions in compliance with AS2870 & N.C.C 2022 3.3.3 .

Surface water must be diverted away from a Class 1 building as follows:

(a) Slab-on -ground - Finished ground level adjacent to a building: the external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than

- (i) 25 mm over the first 1m from the building
(A) in low rainfall intensity areas for surfaces that are reasonably impermeable (such as concrete or clay paving); or
(B) for any reasonably impermeable surface that forms part of an access path or ramp provided for the purposes of Clauses 1.1 (2) or (4)(c) of the ABCB Standard for Livable Housing Design; or
(ii) 50 mm over the first 1m from the building in any other case.
(b) Slab-on -ground - finished slab heights: the height of the slab-on -ground above external finished surfaces must not be less than:
(i) 100 mm above the finished ground level in low rainfall intensity areas or sandy, well drained areas; or
(ii) 50 mm above impermeable (paved or concrete) areas that slope away from the building in accordance with(a); or

- (iii) 150 mm in any other case.
(c) The ground beneath suspended floors must be graded so that the area beneath the building is above the adjacent external finished ground level and surface water is prevented from ponding under the building.

Subsoil Drainage

To comply with AS2870, AS3500 & N.C.C 2022 3.3.4 .

Where a subsoil drainage system is installed to divert subsurface water away from the area beneath a building, the subsoil drain must-

- (a) be graded with a uniform fall of not less than 1:300 ; and
(b) discharge into an external silt pit or sump with-
(i) the level of discharge from the silt pit or sump into an impervious drainage line not less than 50 mm below the invert level of the inlet; and provision for cleaning and maintenance.

PLIABLE BUILDING MEMBRANE – PART 10.8.1: WHERE A PLIABLE BUILDING MEMBRANE IS INSTALLED IN AN EXTERNAL WALL, COMPLY WITH AS/NZS 4200.1; AND BE INSTALLED IN ACCORDANCE WITH AS 4200.2; AND BE A VAPOUR PERMEABLE MEMBRANE FOR CLIMATE ZONES 6, 7 AND 8; AND BE LOCATED ON THE EXTERIOR SIDE OF THE PRIMARY INSULATION LAYER OF WALL ASSEMBLIES THAT FORM THE EXTERNAL ENVELOPE OF A BUILDING

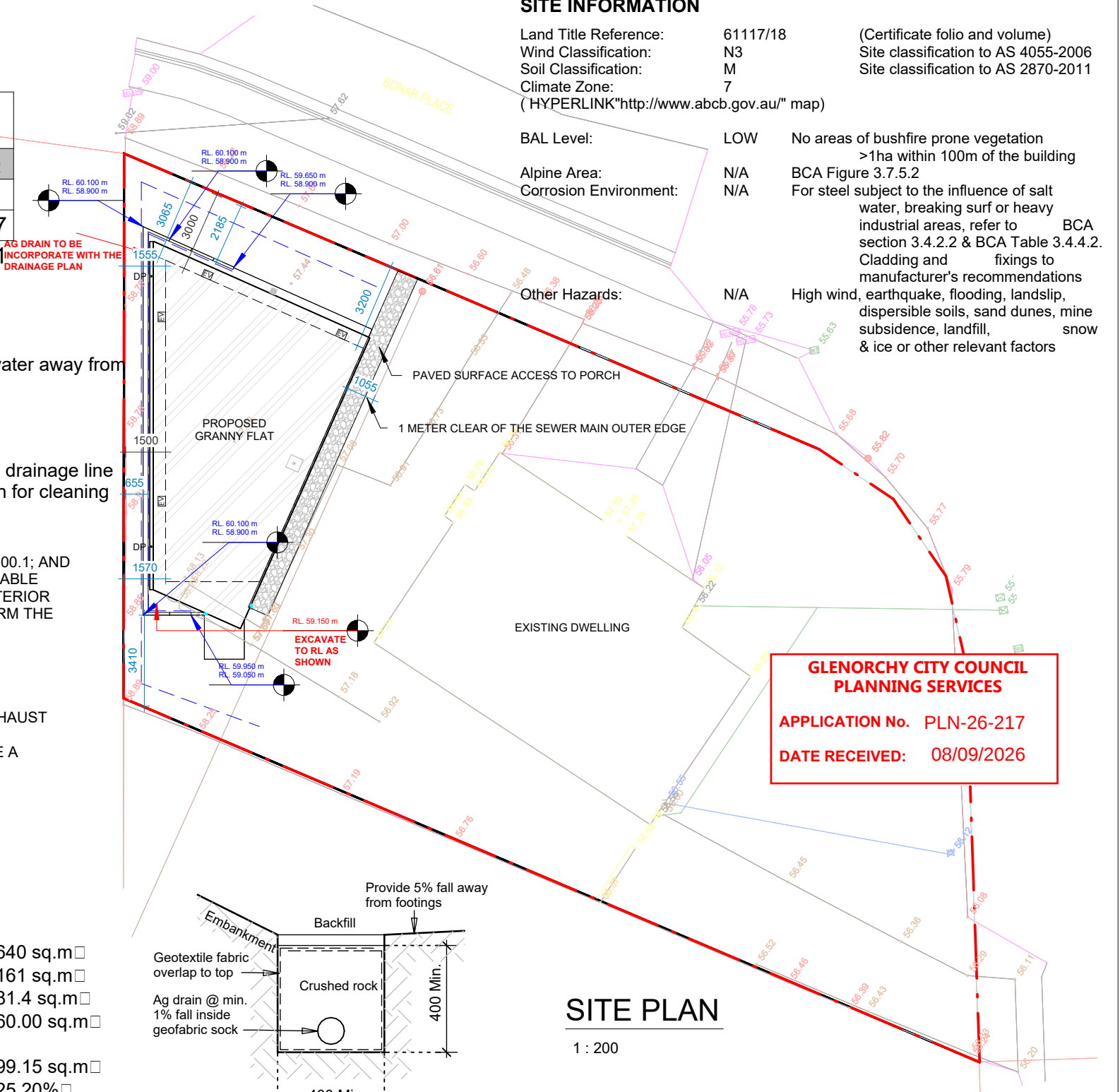
FLASHINGS TO WALL OPENINGS ARE ACCORDANCE WITH PART 7.5.6
ALL MASONRY VENEER WALLS TO COMPLY WITH PART 5.2
DESIGN OF ANTI-PONDING DEVICE/BOARD IN ACCORDANCE WITH 7.3.5
FLOW RATE AND DISCHARGE OF EXHAUST SYSTEMS – PART 10.8.2: AN EXHAUST SYSTEM INSTALLED IN A KITCHEN, BATHROOM, SANITARY COMPARTMENT OR LAUNDRY MUST HAVE A MINIMUM FLOW RATE OF—
O 25 L/S FOR A BATHROOM OR SANITARY COMPARTMENT; AND
O 40 L/S FOR A KITCHEN OR LAUNDRY.

DEVELOPMENT SUMMARY

SITE AREA	640 sq.m
TOTAL FLOOR AREA	161 sq.m
PROPOSED ROOF AREA	81.4 sq.m
PROPOSED ANCILLARY DWELLING - FLOOR AREA	60.00 sq.m
EXISTING DWELLING - FLOOR AREA	99.15 sq.m
SITE COVERAGE	25.20%
PROPOSED POS	24 sq.m

SITE INFORMATION

Land Title Reference:	61117/18	(Certificate folio and volume)
Wind Classification:	N3	Site classification to AS 4055-2006
Soil Classification:	M	Site classification to AS 2870-2011
Climate Zone:	7	
(HYPERLINK"http://www.abcb.gov.au/" map)		
BAL Level:	LOW	No areas of bushfire prone vegetation >1ha within 100m of the building
Alpine Area:	N/A	BCA Figure 3.7.5.2
Corrosion Environment:	N/A	For steel subject to the influence of salt water, breaking surf or heavy industrial areas, refer to BCA section 3.4.2.2 & BCA Table 3.4.4.2. Cladding and fixings to manufacturer's recommendations
Other Hazards:	N/A	High wind, earthquake, flooding, landslide, dispersible soils, sand dunes, mine subsidence, landfill, snow & ice or other relevant factors



**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No. PLN-26-217
DATE RECEIVED: 08/09/2026

SITE PLAN

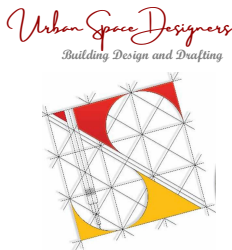
1 : 200

DETAIL - AG DRAIN

1 : 20

DP - Downpipe 90dia (UNO)
EV - Eave Vents (1 vent every 5m)

Total Area	SQM	SQ	Lot Area	Coverage	Permeable area	Permeability	Garden Area	Min. Garden Area % for this Lot	Current Percentage of Garden Area
GROUND FLOOR	159.2 m ²	17.1	640 m ²	24.9%	479.0 m ²	74.8%	460 m ²	30%	72%



Phone:
0402438170
Email:
info@urbanspacedesigners.com.au
Website:
www.urbanspacedesigners.com.au
Accreditation:
TAS - 381246362
VIC - DP-AD 72846

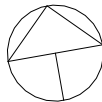
The information contained in this document is copyright and may not be used or reproduced for any other project or purpose. Verify all dimensions and levels on site and report any discrepancies to Urban Space Designers for direction prior to the commencement of work. Drawings to be read in conjunction with all other contract documents. Use figured dimensions only. Do not scale from drawings.
USD cannot guarantee the accuracy of content and format for copies of drawings issued electronically.
IF IN DOUBT ASK.
The completion of the issued details checked and authorized section below is confirmation of the status of the drawing. The drawing shall not be used for the construction unless endorsed "for construction" and authorized for issue. Read these drawings in conjunctions with drawings prepared by USD. Refer any discrepancies with the architect before proceeding with any building works.
The drawing is prepared as built and strict instructions to builders to have a physical measurement before referring this drawing and inform USD if there are any gaps in dimensions.

Client:
K SHARMA
Project:
ANCILLARY DWELLING
Address:
2, BONAR PLACE, GLENORCHY, TAS

Rev	Description	Date
1	Electrical & Service Plan revised as per RFI dt. 04/03/2026	08/04/2026
2	FINALSET	17/07/2026

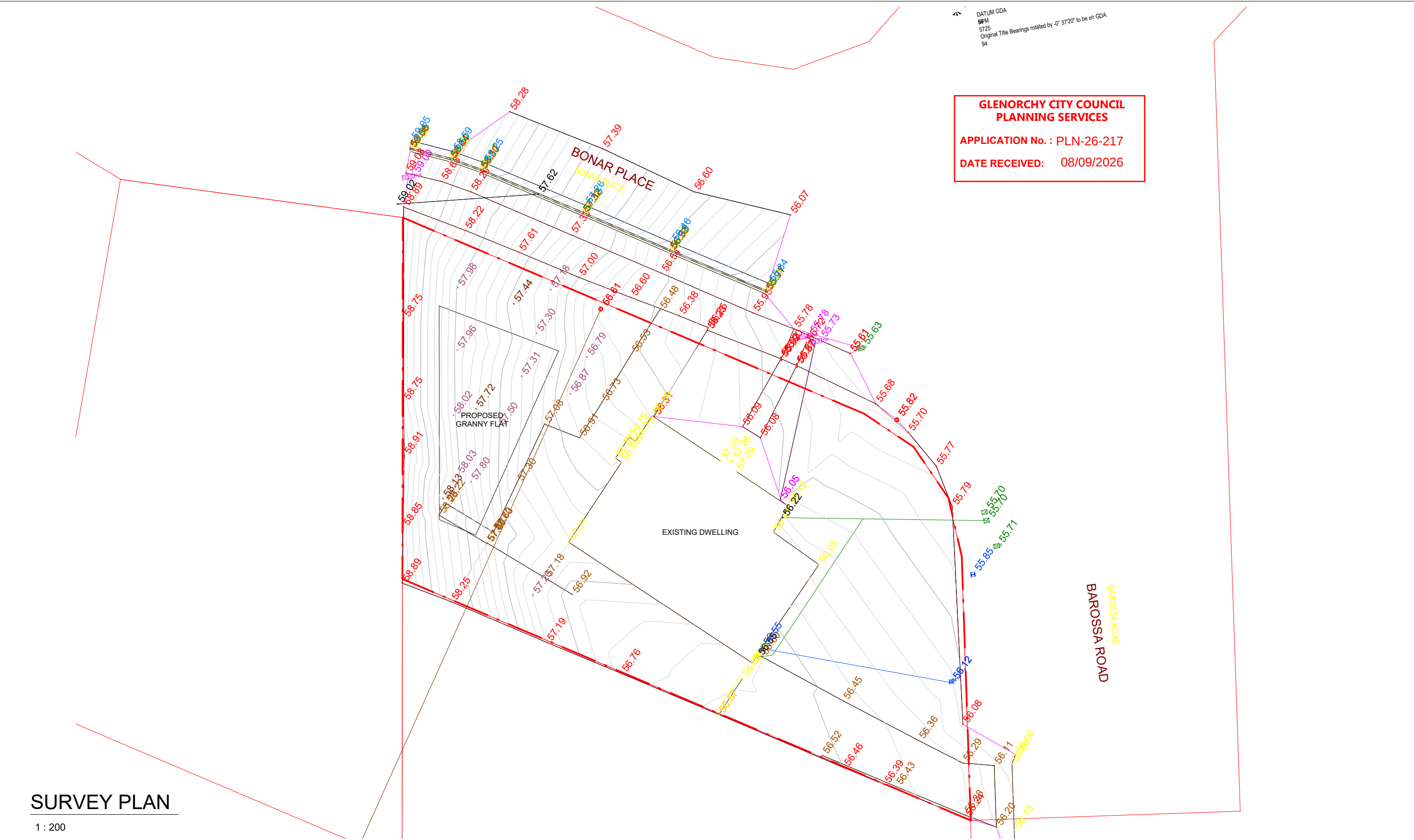
DRAWINGS

CHECK all dimensions and measurements on site prior to fabrication and or construction. Dimensions are in millimeters "frame to frame" and do not allow for interior linings.
ALL work in Accordance with The Building Code of Australia (BCA) as amended, relevant Australian Standards (AS) Codes and good building practices. Drawings to be read in conjunction with specifications and schedules.



Sheet:	SITE PLAN		
Drawn:	GK		
Scale:	As indicated	Size:	A3
Date:	16.7.2026		
Project:	2BPGL/Arch/2026	Sheet No.:	A02
Rev:	2		



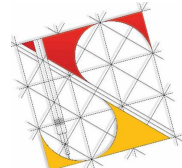


SURVEY PLAN

1 : 200

Urban Space Designers

Building Design and Drafting



Phone:

0402438170

Email:

info@urbanspacedesigners.com.au

Website:

www.urbanspacedesigners.com.au

Accreditation:

TAS - 381246362

VIC - DP-AD 72846

The information contained in this document is copyright and may not be used or reproduced for any other project or purpose. Verify all dimensions and levels on site and report any discrepancies toUrban Space Designersfor direction prior to the commencement of work. Drawings to be read in conjunction with all other contract documents. Use figured dimensions only. **Do not scale from drawings.**

USD cannot guarantee the accuracy of content and format for copies of drawings issued electronically.

IF IN DOUBT ASK.

The completion of the issued details checked and authorized section below is confirmation of the status of the drawing. The drawing shall not be used for the construction unless endorsed "for construction" and authorized for issue. Read these drawings in conjunctions with drawings prepared by**USD**. Refer any discrepancies with the architect before proceeding with any building works.

The drawing is prepared as built and strict instructions to builders to have a physical measurement before referring this drawing and inform USD if there are any gaps in dimensions.

Client:

K SHARMA

Project:

ANCILLARY DWELLING

Address:

2, BONAR PLACE, GLENORCHY,TAS

Rev	Description	Date
1	Electrical & Service Plan revised as per RFI dt. 04/03/2026	08/04/2026
2	FINALSET	17/07/2026

DRAWINGS

CHECK all dimensions and measurements on site prior to fabrication and or construction. Dimensions are in millimeters "frame to frame" and do not allow for interior linings.

ALL work in Accordance with The Building Code of Australia (BCA) as amended, relevant Australian Standards (AS) Codes and good building practices. Drawings to be read in conjunction with specifications and schedules.



Sheet:

SURVEY PLAN

Drawn:

GK

Scale:

1 : 200

Size:

A3

Date:

16.7.2026

Project:

2BPGL/Arch/2026

Sheet No.:

A03

Rev:

2

Building Surveying Testimonials

Reference: 2022-28

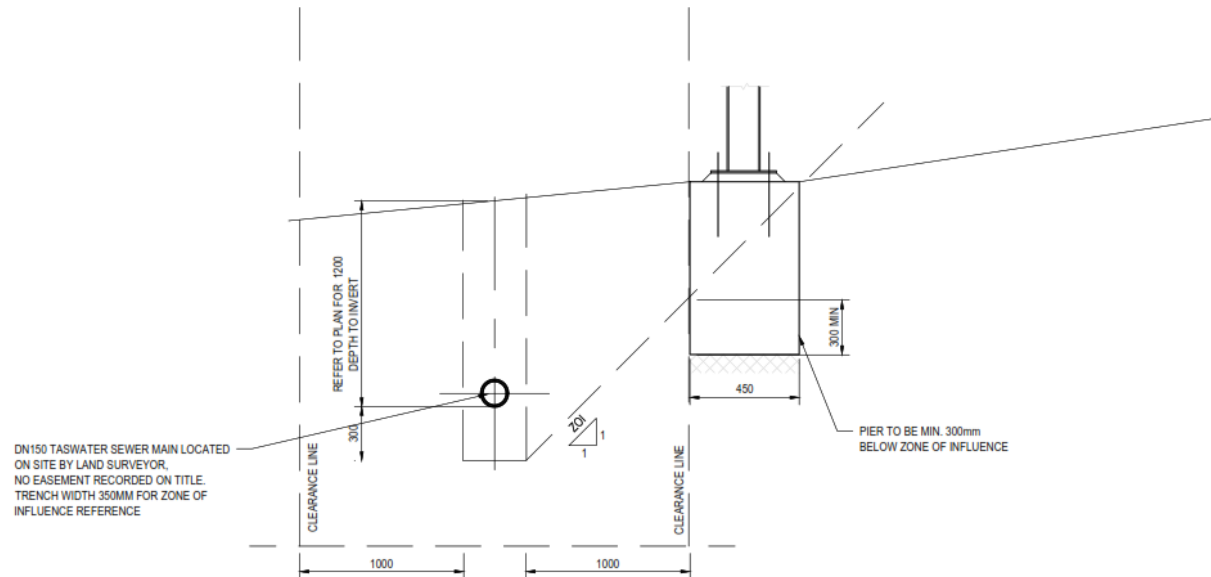
Date: 04/09/2024

Shane Lumsden

Building Surveying (Limited License) Class

1 & 303

3007412289



SECTION A
SCALE 1:20
ST-2.0

REVISIONS & AMENDMENTS					 MATRIX ENGINEERING CONSULTANTS STRUCTURAL - CIVIL - STORMWATER - REMEDIAL - GEOTECH E-MAIL : admin@mec-au.com PHONE: 0257472001	PROJECT		PROJECT NUMBER	DRAWN BY	DATE	PRINT DATE
REV.	DESCRIPTION	ENGINEER	DRAWN	DATE		2 BONAR PLACE GLENORCHY TAS 7100		MEC-STR-25210	E.N	16.02.26	16.02.26
D	ISSUE FOR CONSTRUCTION	K.J	E.N	16.02.26		DRAWING CONTENT		APPROVED BY	CHECKED BY	SHEET SIZE	SCALE
C	ISSUE FOR CONSTRUCTION	K.J	E.N	04.02.26		TYPICAL SEWER DETAIL		K.J	K.J	A3	1:20
B	ISSUE FOR CONSTRUCTION	K.J	E.N	27.11.25							
A	ISSUE FOR CONSTRUCTION	K.J	E.N	06.11.25							
					CLIENT		URBART DESIGNS		DRAWING No.	REVISION	
									ST-3.1	D	

CONCRETE COMPRESSIVE STRENGTH	
PAD FOOTING DP	25 MPa

PAD FOOTING DESIGN SUMMARY (U.N.O)	
DESIGNATED PF1	450 DIA x1000 DEEP PIER FOOTING (MASS CONCRETE)
PAD FOUNDATION	STIFF CLAY
APPROXIMATE DEPTH	1000

MINIMUM BEARING CAPACITY	
PAD FOOTING PF1	200 Kpa

GEOTECH REPORT	
SLAB AND FOOTINGS HAS BEEN DESIGNED IN ACCORDANCE WITH THE GEOTECH REPORT	
PREPARED BY	GEO-ENVIRONMENTAL SOLUTIONS
REF	-
DATED	SEP 2025

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No. : PLN-26-217

DATE RECEIVED: 08/09/2026

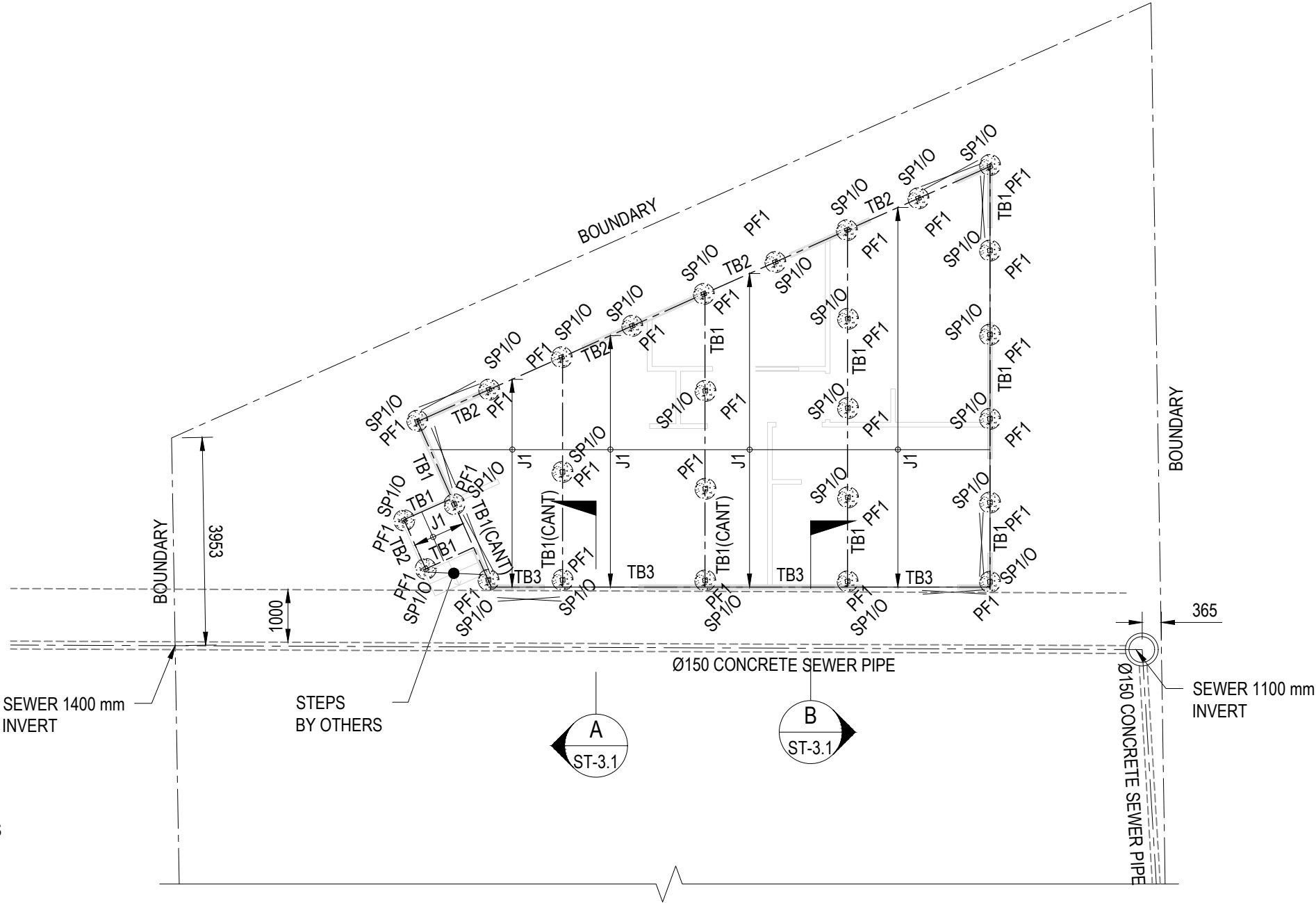
LEGEND	
	GROUND FLOOR WALLS OVER
	DENOTES FLOOR JOISTS DIRECTION
	DENOTES TIMBER BEAMS
	DENOTES 89*89*5 SHS
	CONCRETE PIER DESIGN SUMMARY FOR SPECIFICATIONS.
	STEEL BRACING REFER DETAIL

MEMBER SCHEDULE		
MEMBER	DETAIL	REMARKS
BEARER		
TB1	2/240x45 HYPAN LVL	
TB2	2/200x45 HYPAN LVL	
TB3	2/240x45 HYPAN LVL	
GROUND FLOOR JOISTS		
J1	170 x 45 HYPAN LVL @450 C/C SPACING	

FOOTING & FLOORING PLAN

SCALE 1:100

- DRAWINGS TO BE READ IN CONJUNCTION WITH ARCHITECTURAL.
- REFER TO ARCHITECTURAL DRAWINGS FOR ALL SETOUT, LEVELS, FALLS ETC.
- PROVIDE DOUBLE FLOOR JOISTS UNDER ALL WALLS RUNNING PARALLEL TO JOISTS
- TIMBER BEAMS / LINTELS TO BE PROVIDED ON OVER ALL OPENINGS.
- PROVIDE DOUBLE STUDS (U.N.O) UNDER ALL TIMBER AND HEADER BEAM.
- ALL EXPOSED STEEL TO BE HOT DIPPED GALVANIZED.
- ALL STEEL FIXINGS TO BE IN ACCORDANCE TO AS4100.
- ALL DETAILS TO BE CONFIRMED DURING CONSTRUCTION.
- ALL TIMBER FRAMING TO BE INSTALLED IN ACCORDANCE TO AS1684.



REVISIONS & AMENDMENTS				
REV.	DESCRIPTION	ENGINEER	DRAWN	DATE
D	ISSUE FOR CONSTRUCTION	K.J	E.N	16.02.26
C	ISSUE FOR CONSTRUCTION	K.J	E.N	04.02.26
B	ISSUE FOR CONSTRUCTION	K.J	E.N	27.11.25
A	ISSUE FOR CONSTRUCTION	K.J	E.N	06.11.25

Document Set ID: 3669188
Version: 1, Version Date: 08/09/2026



MATRIX
ENGINEERING CONSULTANTS
STRUCTURAL - CIVIL - STORMWATER-
REMEDIAL- GEOTECH
E-MAIL : admin@mec-au.com
PHONE: 0287472601

PROJECT	2 BONAR PLACE GLENORCHY TAS 7100
DRAWING CONTENT	FOOTING AND FLOORING PLAN

PROJECT NUMBER	MEC-STR-25210	DRAWN BY	E.N	DATE	16.02.26	PRINT DATE	16.02.26
APPROVED BY	K.J	CHECKED BY	K.J	SHEET SIZE	A3	SCALE	AS SHOWN
CLIENT	URBART DESIGNS	DRAWING No.	ST-2.0	REVISION	D		